

Planning and Building Departments
The Town of Oakville
1225 Trafalgar Road
Oakville, ON L6H 0H3

May 3, 2024
File 9871-1

**RE: Addendum to Construction Management Plan
85 Bronte Road
Town of Oakville**

Weston Consulting is the planning consultant Bronte Lakeside Ltd., the legally registered owner of the property addressed as 85 Bronte Road in the Town of Oakville (herein referred to as the 'subject property'). The following describes the requested items specified in the Construction Management Plan, which were received during the demolition permit process:

Description of phased demolition

The demolition at Bronte will occur in two distinct phases:

Phase 1 – Interim Demolition Plan:

Commencing with the removal of 77, 87, and 93 Bronte, followed by 2452 Lakeshore Rd. West, the demolition will progress eastward to 2436 Lakeshore Rd. W. Throughout this phase, 2432 Lakeshore Rd. W. will remain operational as a sales center for approximately six months.

Parking arrangements will be adjusted to comply with zoning and by-law standards. Six regular parking spaces and one accessible space will be provided off of the drive aisle. Access to the sales center will be facilitated via a dedicated walkway leading from the existing sidewalk. Construction fencing will direct access solely to the parking lot area, with visitors prohibited from entering the construction zone. Trade access to the site will be directed from Bronte Rd. on the western side, opposite the parking and sales center.

Refer to the Interim Construction Management Sketch prepared by Weston Consulting.

Phase 2 – Full Demolition Plan:

Upon the decision to remove the sales center and the issuance of the relevant permit, the construction fencing and sidewalk protection will be extended along Lakeshore Rd. W. to the east, enclosing the entire site, including 2432 Lakeshore Rd. W. and its parking lot. Subsequently, 2432 Lakeshore Rd. W. will undergo complete demolition, thus concluding the demolition process. Refer to the Construction Management Plan prepared by Lanhack Consulting.

Should you have any questions, please contact the undersigned at extension 266.

Yours truly,

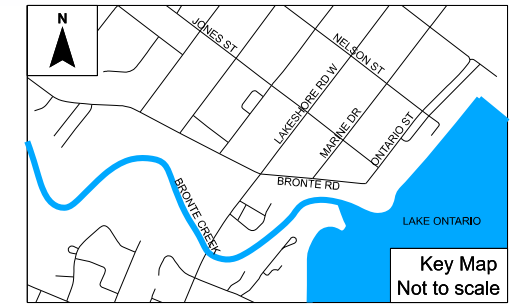
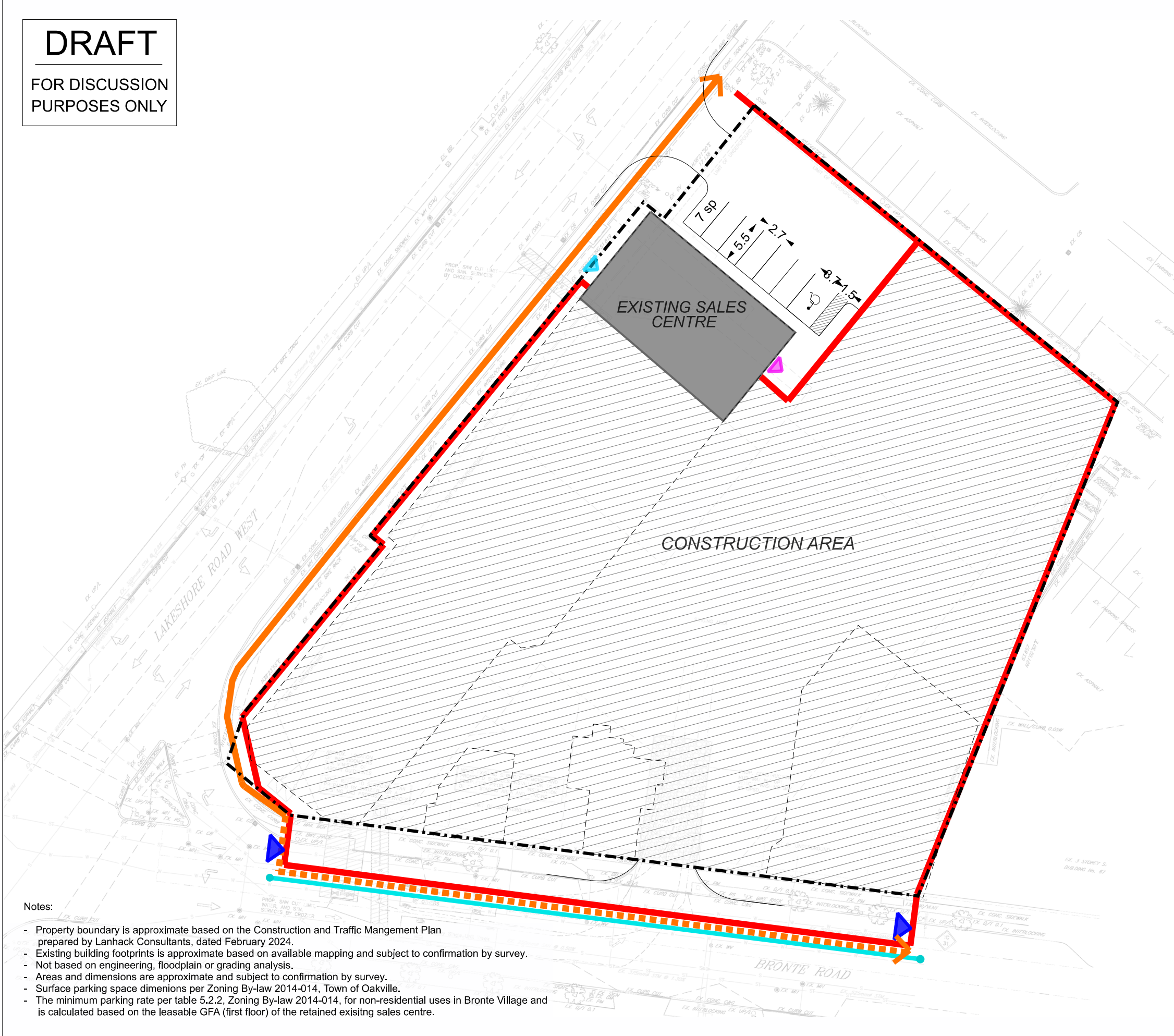
Weston Consulting

Per:



Martin Quarcoopome, BES, MCIP, RPP
Vice President

DRAFT
FOR DISCUSSION
PURPOSES ONLY



LEGEND

- Property Boundary
- Existing Building To Remain
- Existing Building Entrance
- Emergency Exit
- Existing Sidewalk
- Proposed Temporary Sidewalk
- Proposed Urban Barrier
- Proposed Perimetre Fencing
- Truck Gate

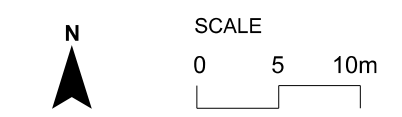
PARKING STATISTICS:

Total Parking Required:	7 sp
1 sp per 40m ² of net floor area	
Total Parking Provided:	7 sp
Regular	6 sp
Barrier-free	1 sp

DRAWN / REVISED	
11 APR 2024	Revised Draft - Issued for Review
10 APR 2024	First Draft - Issued for Review

INTERIM CONSTRUCTION MANAGEMENT SKETCH

2452-2432 LAKESHORE ROAD AND
87-99 BRONTE ROAD
CITY OF OAKVILLE



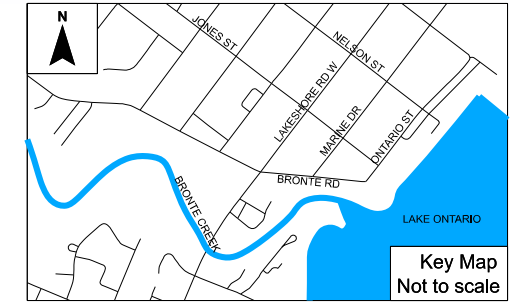
File Number: 9871-1
Date: 2024-04-12
Drawn By: GA
Planner: MQ
CAD: 9871-1_S1_2024-04-12.dgn

Drawing
S1

- Notes:
- Property boundary is approximate based on the Construction and Traffic Mangement Plan prepared by Lanhack Consultants, dated February 2024.
 - Existing building footprints is approximate based on available mapping and subject to confirmation by survey.
 - Not based on engineering, floodplain or grading analysis.
 - Areas and dimensions are approximate and subject to confirmation by survey.
 - Surface parking space dimensions per Zoning By-law 2014-014, Town of Oakville.
 - The minimum parking rate per table 5.2.2, Zoning By-law 2014-014, for non-residential uses in Bronte Village and is calculated based on the leasable GFA (first floor) of the retained existing sales centre.

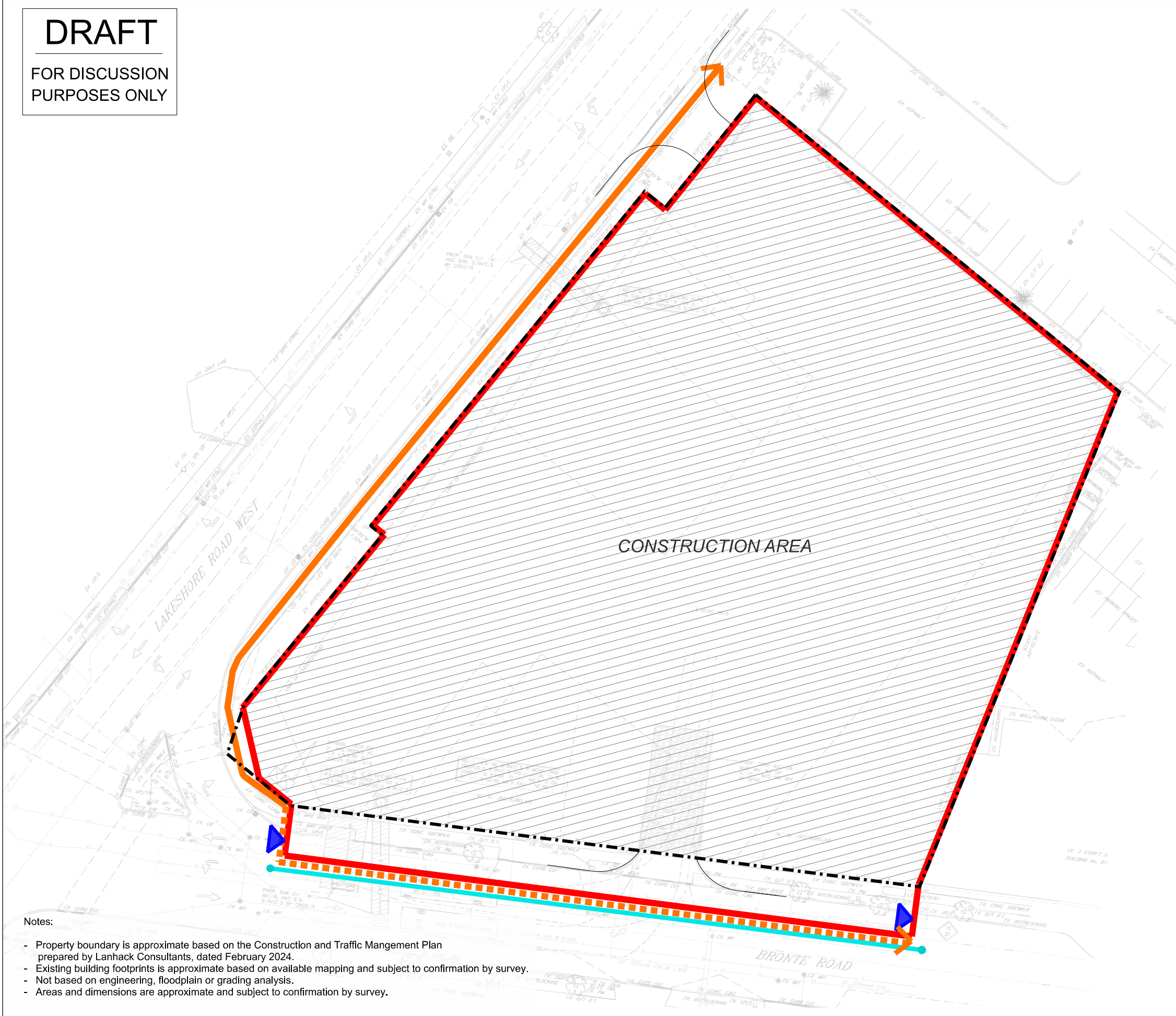
DRAFT

FOR DISCUSSION
PURPOSES ONLY



LEGEND

- Property Boundary
- Existing Sidewalk
- Proposed Temporary Sidewalk
- Proposed Urban Barrier
- Proposed Perimetre Fencing
- Truck Gate



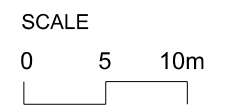
CONSTRUCTION AREA

DRAWN / REVISED

12 APR 2024	Revised Draft - Issued for Review
11 APR 2024	First Draft - Issued for Review

**LONG-TERM CONSTRUCTION
MANAGEMENT SKETCH**

2452-2432 LAKESHORE ROAD AND
87-99 BRONTE ROAD
CITY OF OAKVILLE



WESTON
CONSULTING



File Number: 9871-1
Date: 2024-04-12
Drawn By: GA
Planner: MQ
CAD: 9871-1_S1_2024-04-12.dgn

Drawing

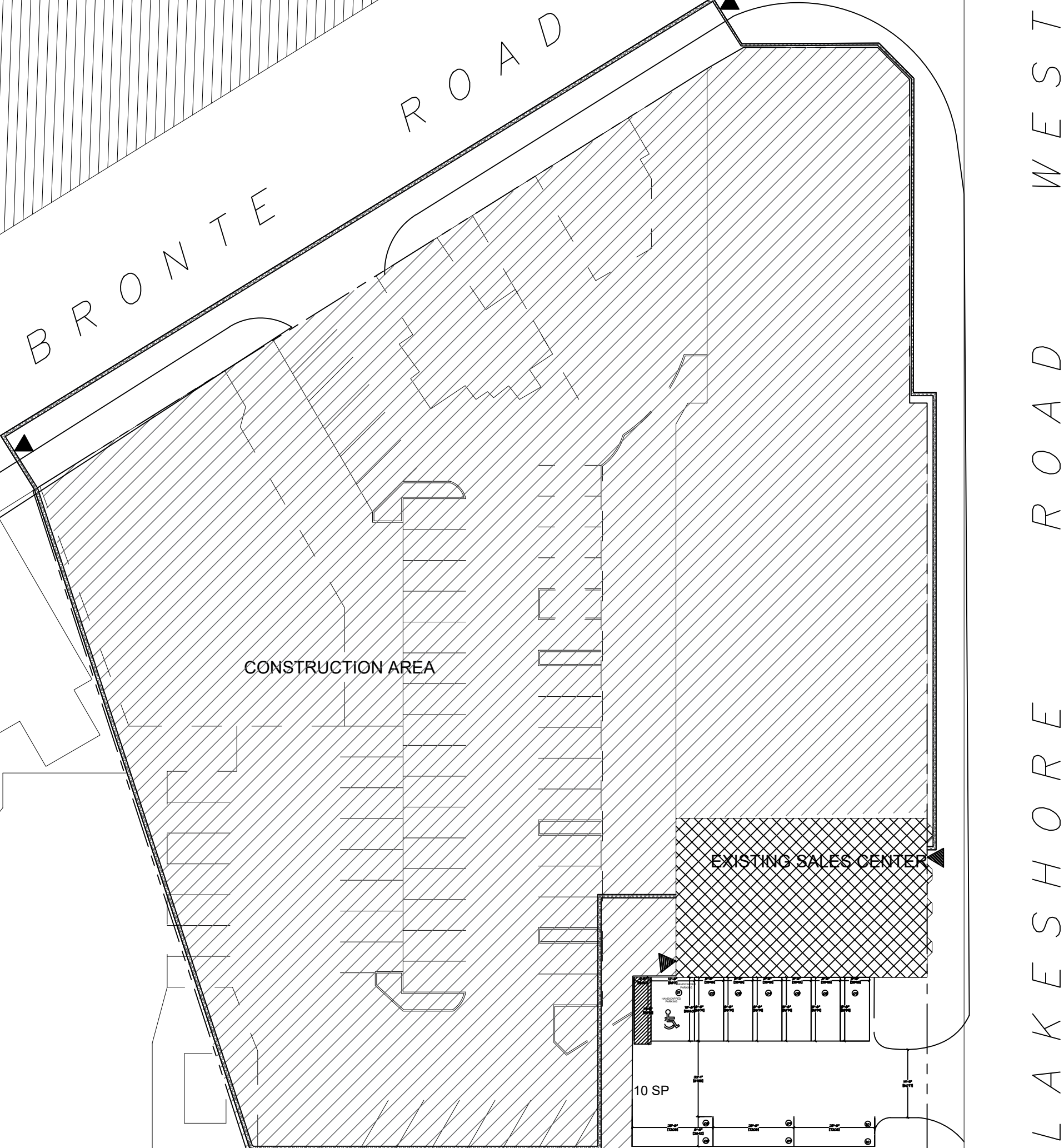
S2

Notes:

- Property boundary is approximate based on the Construction and Traffic Mangement Plan prepared by Lanhack Consultants, dated February 2024.
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- Areas and dimensions are approximate and subject to confirmation by survey.

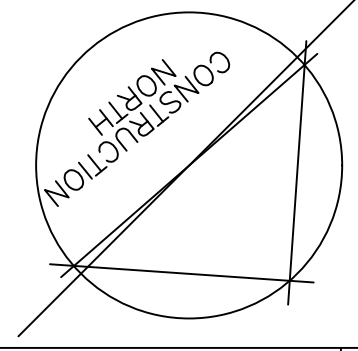
2452 LAKESHORE RD W, OAKVILLE, ON L6L 1H7

MARINE DRIVE



PROPOSED SITE PLAN

SITE STATISTICS:			
ZONE CATEGORY: HI-MU2 MIXED USE			
LOT AREA: 5,120 M ²			
EXISTING BUILDING AREA: 1658.4 M ²			
LOT COVERAGE: 24 %			
HEIGHT: 1.64M (FROM EST. GRADE TO TOP OF PARAPET)			
PROPOSED BUILDING AREA AFTER DEMOLISHING: 281.41 M ²			
GROSS FLOOR AREA (GFA)	1ST FLOOR	2ND FLOOR	BASEMENT
EXISTING	1658.4 M ²	1658.4 M ²	172 M ²
PROPOSED AFTER DEMOLISHING	281 M ²	281 M ²	172 M ²
TOTAL GFA:	281 M ²	281 M ²	172 M ²
PROPOSED FLOOR AREAS			
PROPOSED FLOOR AREAS	FLOOR AREAS	DEDUCTION	NET FLOOR AREAS
BASEMENT FLOOR	172 SQ.M	172 SQ.M	0.00 SQ.M
GROUND FLOOR- (BUSINESS OFFICE)	281.12 SQ.M	53.71 SQ.M	233.35 SQ.M
SECOND FLOOR (RESIDENTIAL)	281.12 SQ.M	10.24 SQ.M	276.88 SQ.M
TOTAL	746.24 SQ.M	236.01 SQ.M	510.23 SQ.M
<ul style="list-style-type: none"> DEDUCTION PER DEFINITION FOR FLOOR AREA, NET FLOOR (2015-2018) 			
PARKING STALLS REQUIREMENT			
NON RESIDENTIAL	1 STALL PER 40 SQ.M		5.8 STALLS
RESIDENTIAL	1 STALL PER UNIT	4 UNITS	4.0 STALLS
TOTAL			9.8 STALLS
TOTAL PROVIDED PARKING : 10 SPACES			
ACCESSIBLE PARKING SPACES: 1 SPACES			
REGULAR SPACE PROVIDED: 9 SPACES			
<ul style="list-style-type: none"> PER MAP 14(2a) (BRONTE VILLAGE) 			



REV.	DATE	NAME	DESCRIPTION
2a	01 MAY 2024	SA	ISSUED FOR BUILDING PERMIT
1a	25 MAR 2024	SA	ISSUED FOR BUILDING PERMIT
0a	01 MAR 2024	SA	ISSUED FOR BUILDING PERMIT

CCCEI
 CANADIAN CONSTRUCTION & CONSULTANT ENGINEERS INC.
 UNIT # 205, 3950 14 TH AVE., MARKHAM, ON L3R 0A9, Canada
 Tel: (416) 827-5551
 Fax: (647) 795-9189
 safo@cccei.ca

PROJECT NAME:
 2432 LAKESHORE RD W
 OAKVILLE, ON L6L 1H7

CLIENT:
 DRAWING TITLE:
 PROPOSED SITE PLAN

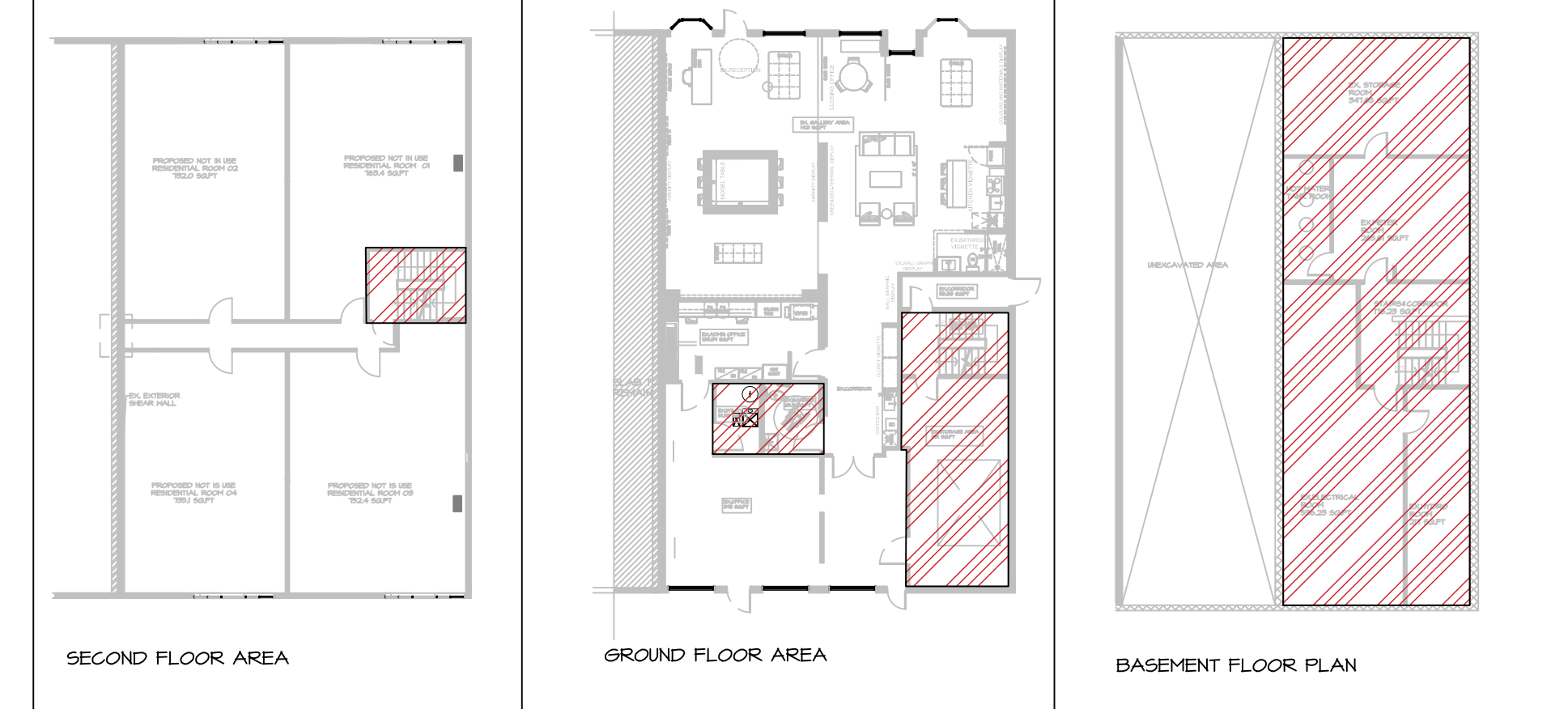
DATE: FEB 2024
 SCALE: 1/8"=1'
 CHECKED: S.A.
 DRAWN: N.N., N.N.

APPROVED BY:

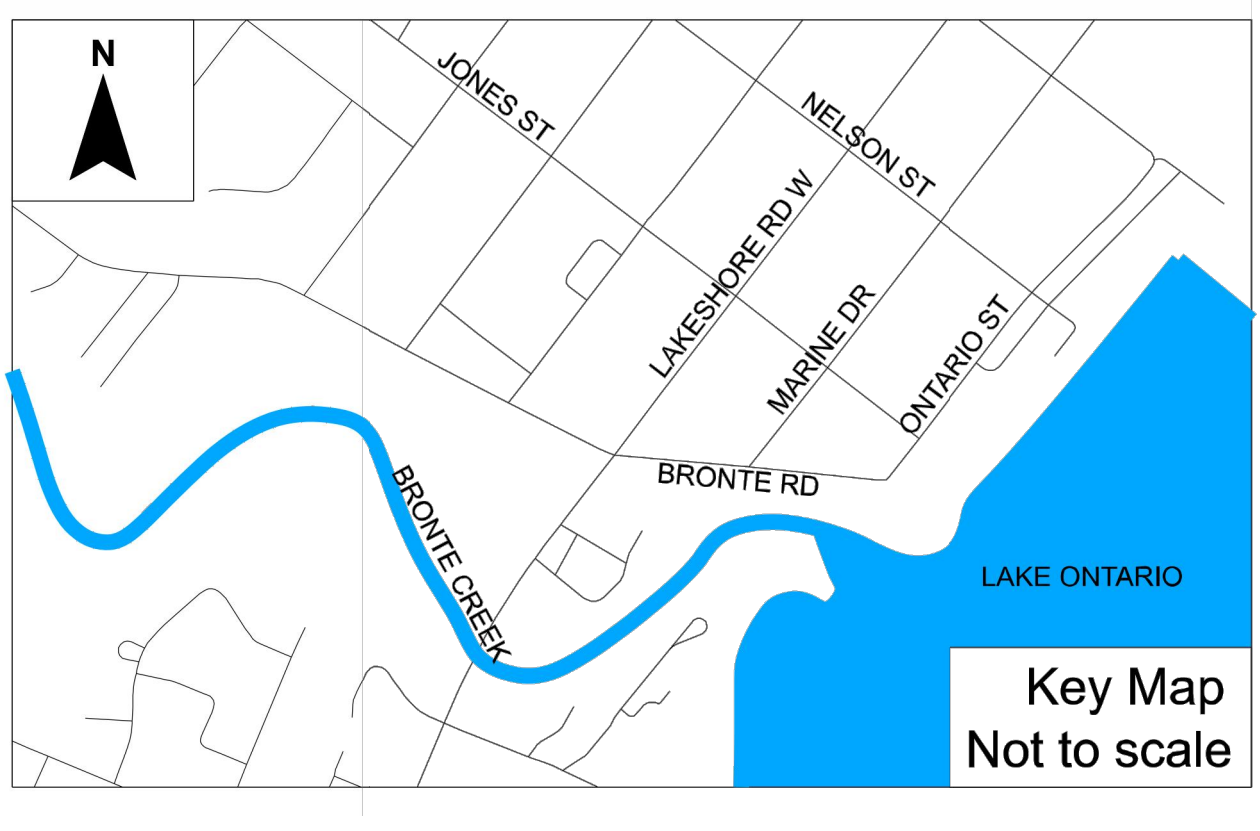
PROJECT NO.: 24-1015

FILE NO.: 24-1015-A200-2a

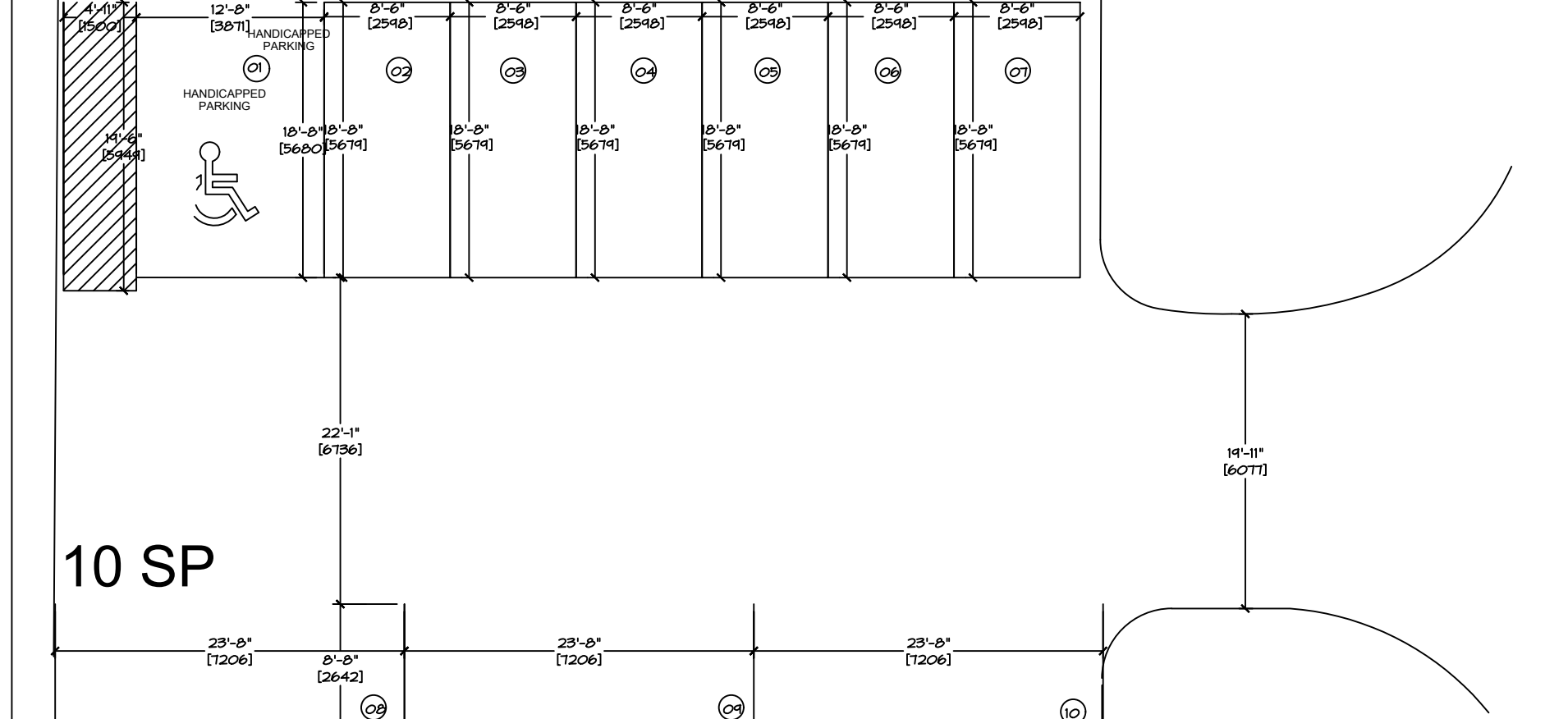
DRAWING NO.: **A200**



DEDUCTION AREA



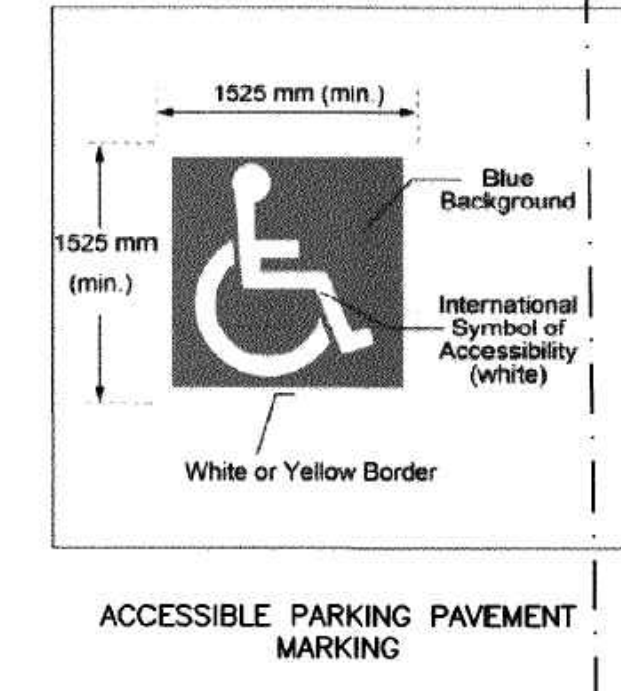
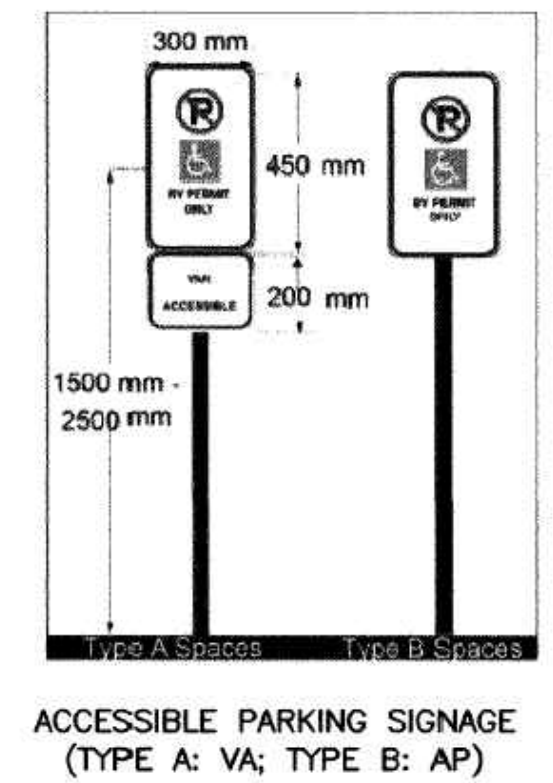
Key Map
 Not to scale



10 SP

LEGEND

	PROPERTY LINE
	BUILDING LINE
	EXISTING SIDE WALK
	PROPOSED FENCE
	LANDSCAPE
	EXISTING BUILDING TO BE DEMOLISHED
	EXISTING BUILDING TO REMAIN
	TRUCK GATE PATH
	EXISTING BUILDING ENTRANCE

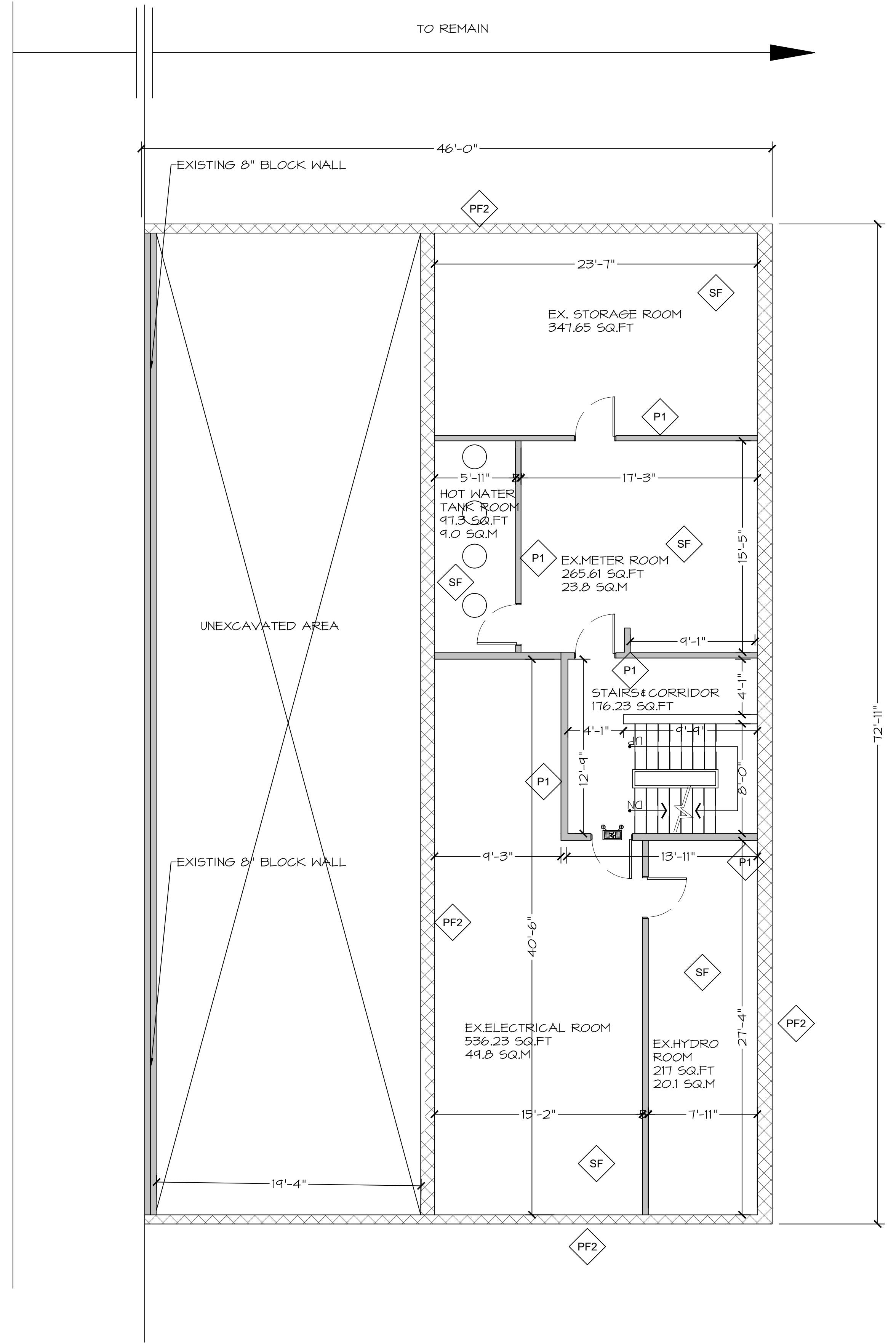


EXTERIOR WALL ASSEMBLY			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
W1			EXISTING MASONRY WALL: 8" BLOCK WALL +3" BRICK RAIN SCREEN WALL TO REMAIN AS IS. PATCH AND REPAIR WHERE REQUIRED TO BE READY FOR NEW FINISHES. EXISTING FRR NOT LESS THAN 45MIN
W2			EXISTING MASONRY WALL 8" BLOCK WALL +3" BRICK RAIN SCREEN TO BE DEMOLISHED.

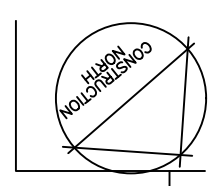
INTERIOR PARTITION WALLS			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
P1			EXISTING INTERIOR PARTITION WALL TO REMAIN PATCH AND REPAIR: - INTERIOR FINISH - 1/2" (12.7MM) REGULAR GWB - 2X4 WOOD STUD @ 16" O.C. - 1/2" (12.7MM) REGULAR GWB - INTERIOR FINISH
PF2			EXISTING FOUNDATION BLOCK WALL - TO REMAIN AND PATCH - EXISTING CONCRETE BLOCK WALL TO REMAIN - 1 LAYER GYPSUM BOARD LAMINATED TO CONCRETE BLOCK ON BOTH SIDE TO REMAIN - PAINT FINISH
P3			EXISTING INTERIOR PARTITION WALL - TO DEMOLISH

FLOOR & ROOF ASSEMBLY		
FLOOR TAG	FLOOR CONSTRUCTION	FLOOR ASSEMBLY DESCRIPTION
F1		EXISTING GROUND FLOOR ASSEMBLY - TO BE REMOVED - EXISTING CONCRETE TOPPING TO REMOVE - EXISTING STEEL DECK TO REMOVE - EXISTING OWSJ TO REMOVE
EF		EXISTING GROUND FLOOR ASSEMBLY - TO REMAIN - 4" EXISTING CONCRETE TOPPING TO REMAIN - EXISTING STEEL DECK TO REMAIN - EXISTING OWSJ TO REMAIN
SF		EXISTING BASEMENT SLAB & GROUND FLOOR SLAB ON GRADE ASSEMBLY 4" - TO REMAIN

ROOF TAG	ROOF CONSTRUCTION	ROOF ASSEMBLY DESCRIPTION
R1		EXISTING ROOF ASSEMBLY - EXISTING ROOF FINISH TO REMAIN - EXISTING ROOF MEMBRANE TO REMAIN - EXISTING ROOF STRUCTURAL ASSEMBLY TO REMAIN - EXISTING ROOF CEILING JOIST W/ INSULATION TO REMAIN - EXISTING 1 LAYER 1/2" REGULAR GWB - NEW CEILING FINISH FRR NOT LESS THAN 45MIN (5B-3, TABLE 2, R1)



1 EXISTING BASEMENT FLOOR PLAN TO REMAIN AS IS
E101/E101 SCALE : AS NOTED

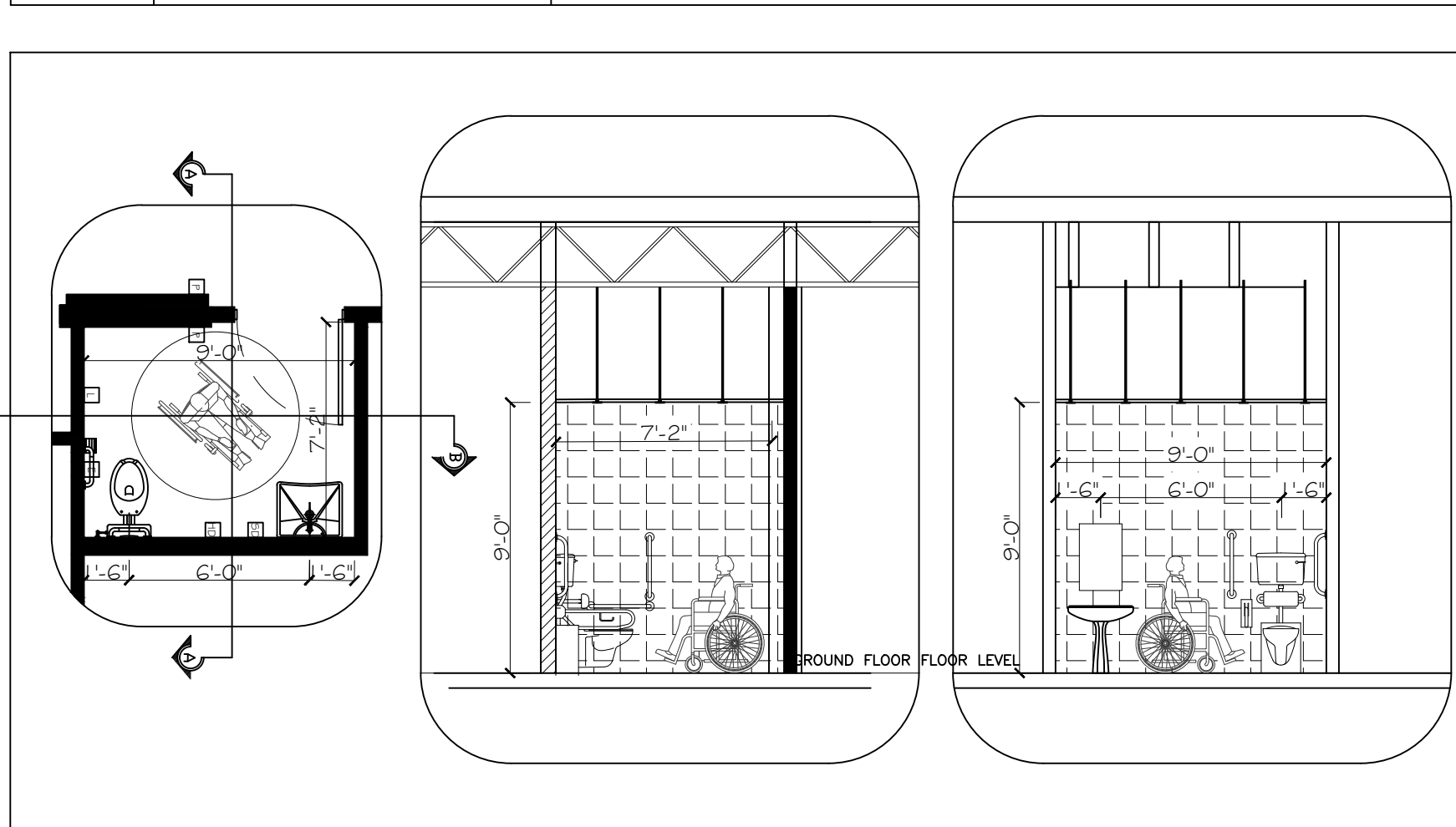


REV.	DATE	NAME	DESCRIPTION
2a	01 MAY 2024	SA	ISSUED FOR BUILDING PERMIT
1a	25 MAR 2024	SA	ISSUED FOR BUILDING PERMIT
0a	01 MAR 2024	SA	ISSUED FOR BUILDING PERMIT
PROJECT NAME: 2432 LAKESHORE RD W OAKVILLE, ON L6L 1H7			
CLIENT:			
DRAWING TITLE: EXISTING BASEMENT FLOOR PLAN TO REMAIN			
DATE: FEB 2024			
SCALE: 1/8"=1'			
CHECKED: S.A.			
DRAWN: N.N., N.N.			
APPROVED BY: 			
PROJECT NO.: 24-1015			
FILE NO.: 24-1015-A201-2a			
DRAWING NO.: A201			

EXTERIOR WALL ASSEMBLY			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
W1			EXISTING MASONRY WALL: 8" BLOCK WALL +3" BRICK RAIN SCREEN WALL TO REMAIN AS IS. PATCH AND REPAIR WHERE REQUIRED TO BE READY FOR NEW FINISHES. EXISTING FRR NOT LESS THAN 45MIN
W2			EXISTING MASONRY WALL 8" BLOCK WALL +3" BRICK RAIN SCREEN TO BE DEMOLISHED.

INTERIOR PARTITION WALLS			
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FLOOR & ROOF ASSEMBLY		
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SF		EXISTING BASEMENT SLAB & GROUND FLOOR SLAB ON GRADE ASSEMBLY 4" - TO REMAIN
ROOF TAG	ROOF CONSTRUCTION	ROOF ASSEMBLY DESCRIPTION
R1		EXISTING ROOF ASSEMBLY - EXISTING ROOF FINISH TO REMAIN - EXISTING ROOF MEMBRANE TO REMAIN - EXISTING ROOF STRUCTURAL ASSEMBLY TO REMAIN - EXISTING ROOF CEILING JOIST W/ INSULATION TO REMAIN - EXISTING 1 LAYER 1/2" REGULAR GWB - NEW CEILING FINISH FRR NOT LESS THAN 45MIN (SB-3, TABLE 2, R1)



TOWN OF OAKVILLE ZONING BY-LAW

ZONING HI-MU2
MIXED USE (EXISTING)

BUILDING AREA 287.12 m² (EXISTING)

UNIT TOTAL AREA 287.12 m²
UNIT NET AREA 260.00 m²
MAIN STREET 2 (MU2)
REQUIRED PARKING:
NON-RESIDENTIAL REQUIRED PARKING SPACES = 6.5 (SAY 7)
1 PER 40.0 m² NET FLOOR AREA (GROUND FLOOR) (Map 19(2a) [Bronte Village])
RESIDENTIAL USE (SECOND FLOOR APARTMENT) = 3.75 (SAY 4)
1.25 PER DWELLING UNIT (3 NO) = 11
TOTAL REQUIRED PARKING = 11
PROVIDED PARKING = 11

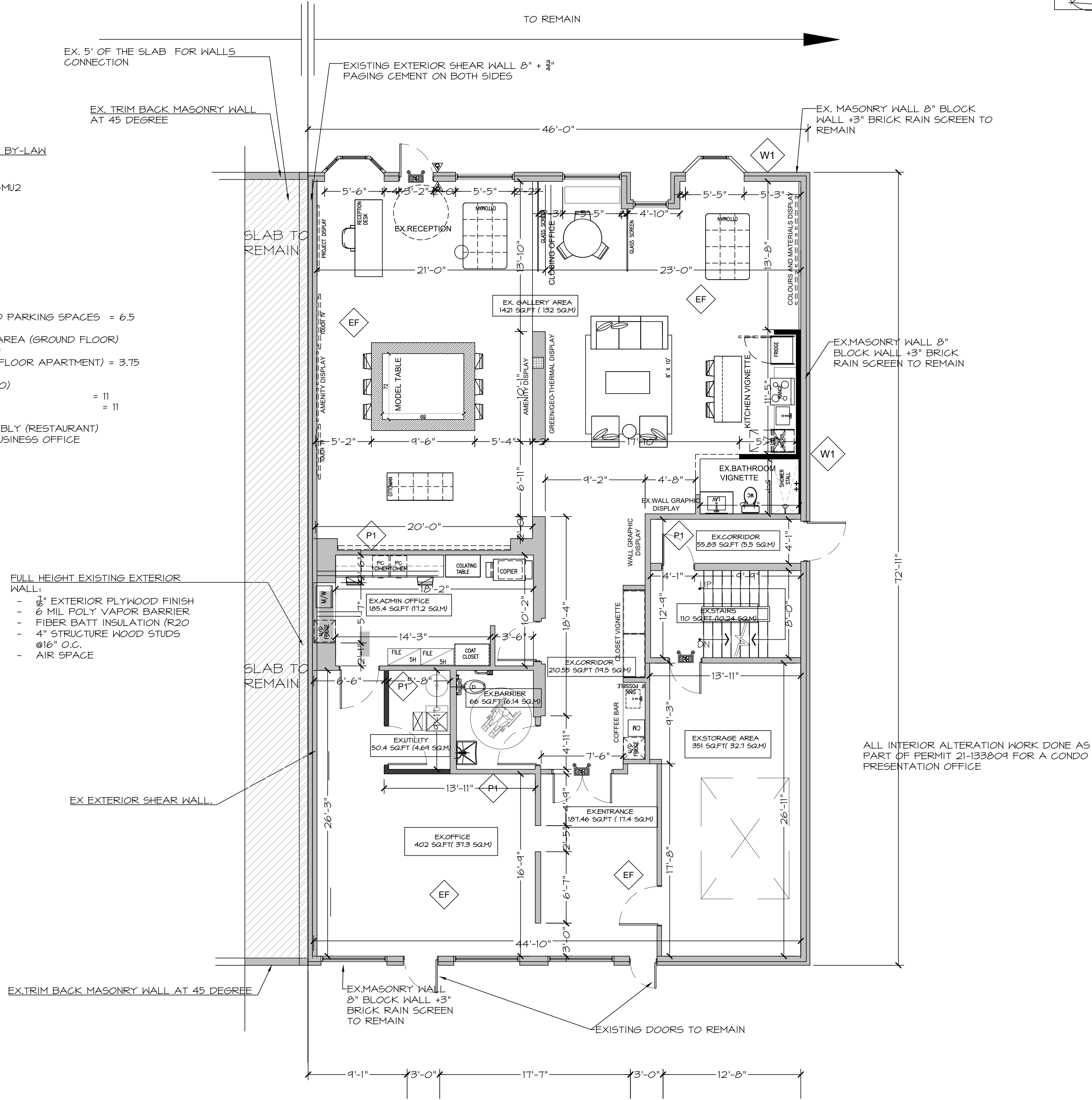
EXISTING USE: ASSEMBLY (RESTAURANT)
PROPOSED USE: BUSINESS OFFICE (PRESENTATION CENTER)
1.

- FULL HEIGHT EXISTING EXTERIOR WALL:
- 1/4" EXTERIOR PLYWOOD FINISH
 - 6 MIL POLY VAPOR BARRIER
 - FIBER BATT INSULATION (R20)
 - 4" STRUCTURE WOOD STUDS @ 16" O.C.
 - AIR SPACE

EX. TRIM BACK MASONRY WALL AT 45 DEGREE

1 EXISTING GROUND FLOOR PLAN TO REMAIN AS IS - CONDO PRESENTING OFFICE

E101 E101 SCALE: AS NOTED



ALL INTERIOR ALTERATION WORK DONE AS PART OF PERMIT 21-133809 FOR A CONDO PRESENTATION OFFICE

REV.	DATE	NAME	DESCRIPTION

CCCEI
CANADIAN CONSTRUCTION & CONSULTANT ENGINEERS INC.
UNIT # 205, 3950 14 TH AVE., MARKHAM, ON L3R 0A9, Canada
Tel: (416) 827-5551
Fax: (647) 795-9189
info@cccei.ca

PROJECT NAME:
2432 LAKESHORE RD W
OAKVILLE, ON L6L 1H7

CLIENT:

DRAWING TITLE:
EXISTING GROUND FLOOR PLAN TO REMAIN

DATE: FEB 2024

SCALE: 1/8"=1'

CHECKED: S.A.

DRAWN: N.N., N.N.

APPROVED BY:

PROJECT NO.: 24-1015

FILE NO.: 24-1015-A202-2a

DRAWING NO.: **A202**

7 OF 8

EXTERIOR WALL ASSEMBLY

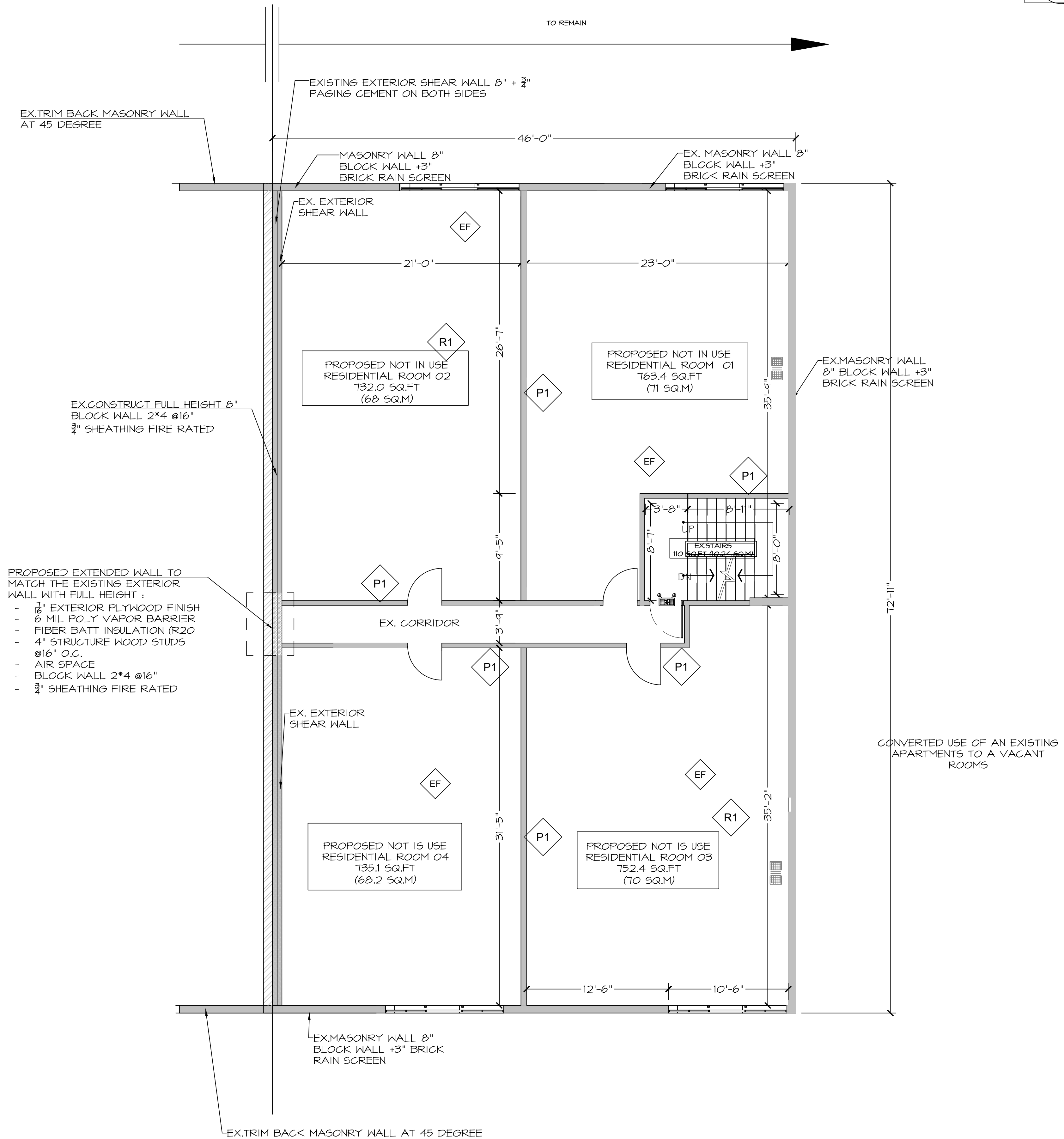
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INTERIOR PARTITION WALLS

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1 EXISTING SECOND FLOOR PLAN TO REMAIN
E101/E101 SCALE: AS NOTED

CCCEI
CANADIAN CONSTRUCTION & CONSULTANT ENGINEERS INC.
UNIT # 205, 3950 14 TH AVE., MARKHAM, ON L3R 0A9, Canada
Tel: (416) 827-5551
Fax: (647) 795-9189
saf@cccei.ca

PROJECT NAME:
2432 LAKESHORE RD W
OAKVILLE, ON L6L 1H7

CLIENT:

DRAWING TITLE:
EXISTING SECOND FLOOR PLAN TO REMAIN

DATE: FEB 2024
SCALE: 1/8"=1'
CHECKED: S.A.
DRAWN: N.N., N.N.

APPROVED BY:

PROJECT NO.: 24-1015
FILE NO.: 24-1015-A203-2a
DRAWING NO.: **A203**

8 OF 8