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#### INTRODUCTION

This Construction Management and Community Awareness Plan sets out the framework for the construction of 77 East St., Oakville. It illustrates how we intend to construct the project, how we will communicate with the neighboring community and how we will comply with the site plan, permitting and by law requirements.

#### SITE

The site is situated on the southeast corner of Lakeshore and East St. The outline of the proposed site has been shown in the below aerial image in red.



The proposed development consists of a 10-storey building plus mechanical penthouse and three levels underground parking. The primary use of the building will be residential with commercial retail and amenity at grade.

#### COMMUNICATION

Podium recognizes the importance of communicating with all project stakeholders including the Community, Neighbors, Town, Consultants, Trades and Owners. Our general communication strategy for this project includes:

- Holding a pre-construction meeting with relevant stakeholders which will outline the construction management plan. Appendix D contains the proposed agenda for this meeting.
- Providing this construction management plan as part of the site plan submission for review, discussion, and comments.
- Prior to starting construction, notifying the immediate neighbors of the pursuant work.
- Posting our contact information on the construction hoarding to facilitate receiving and addressing complaints.

Some construction activities such as utility servicing, shoring, cranes, landscaping, etc. will require specific communication closer to their construction dates. Refer to the relevant sections below for more detailed information pertaining to each task.

#### **BUILDER CONTACT INFORMATION**

Project Manager: Andrew Mills (888) 411-7685

#### **MILESTONES**

The anticipated project milestones (which are subject to site plan approval and building permit issuance) are as follows:

Phase	Start	Finish	Duration	Dwg. Ref.
Early Works	October 2023	June 2024	9 Months	SS1
Structure	July 2024	March 2026	19 Months	SS2
Cladding / Interiors	April. 2026	April 2027	12 Months	SS2
Landscaping	Jan. 2027	April 2027	3 Months	SS3
Occupancy	-	April 2027	-	-

These milestones will be periodically updated throughout the course of the project to accurately reflect their status. Please note that there is overlap between each phase of the project, with the overall duration being less than the sum of each individual phase.

#### **LOGISTICS**

We prepared preliminary staging plans for each major aspect of work to assess the impacts and communicate them broadly. Refer to the appendices for details. Below is a summary of each phase.

#### **DEMOLITION**

DRAWING: SS1

SCHEDULE: Part of Early Works.

SITE OFFICE: Trailer located on site.

**HOARDING**: Construction fencing located along East St and Lakeshore.

Sidewalk closure along East St.

**TRADE PARKING:** 2-3 Vehicles per day on site.

**HEAVY VEHICLES:** 2-3 Waste disposal trucks on site per day.

**EQUIPMENT:** Excavator(s) on site.

MATERIALS: N/A.

#### **SHORING**

**DRAWING**: SS1

SCHEDULE: Part of Early Works.

SITE OFFICE: Trailer located on site.

**HOARDING**: Construction fencing located along East St and Lakeshore.

Sidewalk closure along East St.

**TRADE PARKING:** 2-3 cars per day parked on site.

**HEAVY VEHICLES:** 1-2 concrete and steel deliveries per day.

**EQUIPMENT:** Excavator / drill rig on site.

**MATERIAL:** Steel piles and wood lagging store on site.

#### **EXCAVATION**

**DRAWING:** SS1

**SCHEDULE:** Part of Early Works

**SITE OFFICE:** Trailer located on site.

**HOARDING**: Same as above

**TRADE PARKING:** 2-3 cars per day parked in paid lots.

**HEAVY VEHICLES:** 10 - 20 dump trucks per day.

**EQUIPMENT:** Excavator on site.

MATERIAL: N/A

#### **SUBSTRUCTURE**

**DRAWING:** SS2

**SCHEDULE:** Part of Structure.

**SITE OFFICE:** Trailer located on site.

**HOARDING**: Same as above

**TRADE PARKING:** 10-15 cars per day to park on Ontario St.

Construction manager

**HEAVY VEHICLES:** 1-15 concrete and steel deliveries per day.

**EQUIPMENT:** Tower crane erected on site.

**MATERIALS:** Steel forms and rebar laid down within work area.

#### **SUPERSTRUCTURE**

DRAWING: SS2

**SCHEDULE:** Part of Structure

**SITE OFFICE:** Office moved into building.

**HOARDING**: Same as above.

**TRADE PARKING:** 20 cars parked in underground garage.

**HEAVY VEHICLES:** 1-15 concrete, steel, and other material deliveries per day.

**EQUIPMENT:** Person and material hoist erected.

**MATERIALS:** Steel forms and rebar laid down on building.

#### **CLADDING AND INTERIORS**

**DRAWING**: SS2

**SCHEDULE:** Cladding and Interiors

SITE OFFICE: Same as above. HOARDING: Same as above.

**TRADE PARKING:** 20 cars parked in underground garage.

**HEAVY VEHICLES:** 1-15 material deliveries per day.

**EQUIPMENT:** Mast climbers and scaffolding masonry installation.

**MATERIALS:** Stored inside building.

#### **LANDSCAPING**

**DRAWING:** SS3

SCHEDULE: Landscaping SITE OFFICE: Same as above.

**HOARDING**: Temporary closure of sidewalk along Lakeshore. Detour to be

provided for 2-3 months.

**TRADE PARKING:** 20 cars parked in underground garage plus paid lots as required.

**HEAVY VEHICLES:** 2-3 material deliveries per day.

**EQUIPMENT:** N/A

**MATERIALS:** Stored inside building.

#### **PARKING**

We have provided an estimate of the volume of parking required throughout the project in the above logistics section. It is estimated that public parking will only be required while forming the parking garage of the building. After that, the parking garage of the development will serve as trade parking. During construction of the parking garage, it is expected that there is sufficient public parking along Ontario Street to accommodate the trades. The construction manager will purchase parking permits to park along Ontario Street at the on-street parking stalls.

#### **TRAFFIC**

Podium Developments has prepared and submitted traffic management plans to the Town of Oakville. These plans are intended as a concept and for communication purposes. Prior to implementing any TMP Podium will additionally engage a third-party traffic consultant. Refer to the attached appendices for details. In addition to implementing the plans, the following traffic management strategies will be employed.

- For excavation and concrete deliveries, trade contractors will be instructed to stagger pickups and deliveries and not que at the site gate. This will minimize disruptions to the neighbours.
- For most of the project trades will be able to park onsite. During substructure construction, trades will be directed to park on in public parking areas available on Ontario St,
- All trades will be provided with a copy of the traffic control plan for strict adherence.

- All work will be completed in accordance with Ministry of Transportation Book 7.
- Temporary ROW permits will be obtained prior any road closure or occupancies.
- Flag people will be available to facilitate any temporary vehicle stops.
- For shutdowns not covered under the staging plans permits will be applied for with the Town of Oakville. Examples of some shutdowns include utility servicing, tower crane erections and final landscaping.

Anticipated traffic types and volumes through each stage of the project are outlined the logistics section.

#### **HOURS AND NOISE**

Throughout the course of construction our site will adhere to all Town of Oakville Noise By-Law 2008-089, specifically:

Monday to Friday 07:00 to 19:00Saturday 09:00 to 19:00

Sunday and Statutory Holidays No construction noise permitted.

Where possible work will be completed within the designated time periods, however some work may need to extend beyond these time periods. Work such as large concrete pours, crane work and municipal infrastructure work may need to be completed outside of these hours. For work that extends outside of these hours, Podium will apply for an exemption permit in accordance with the noise by-law.

#### **EROSION, SEDIMENT AND DUST CONTROL**

Throughout the course of construction our site will adhere to all Town of Oakville Nuisance By-Law 2007-143.

Erosion and sediment controls will be implemented as per the Owners 3<sup>rd</sup> party civil consultant's erosion and sediment controls plans, including but not limited to:

- Silt fence installed and maintained around property boundary.
- Mud mat installed and maintained at entrances.
- Fast fencing will be covered with debris netting.
- Roads will be monitored throughout each workday and cleaned as required.
- When operations are generating dust (primarily demolition and excavation) water or calcite will be sprayed to limit dust.
- Grading will be completed where possible to keep stormwater on site.

• Catch basins that may receive storm water runoff from site will be fitted with filter fabric and routinely cleaned.

#### FENCING AND HOARDING

Construction fencing will be required along Lakeshore and East St. throughout the project. Refer to the staging plans in the appendices for the extent. Fast fencing with debris mesh will be installed at these locations.

Overhead protection and hoarding will be installed along Lakeshore once the structure is above grade. When installed it will be:

- Constructed as per the schematic Traffic Management Plans
- Constructed in accordance with Book 7
- Constructed in accordance with Occupational Health and Safety Act.

Prior to installing any fencing, hoarding or overhead protection Podium will obtain access, hoarding and occupation permits with the Town's ROW department.

#### **SHORING**

Throughout the course of construction our site will adhere to all Town of Oakville Nuisance By-Law 2007-143

Shoring will be required in some locations to safely complete the excavation for the building. The following measures will be implemented to ensure shoring is completed safely.

- Shoring will be designed by 3<sup>rd</sup> party engineer.
- Tie backs, if required, will be designed to avoid known underground utilities.
- Permission will be obtained from neighboring landowners (public and private) if shoring or tie back extend beyond the property line.
- Shoring and encroachment permits will be obtained with the Town ROW department prior to proceeding with any shoring.

#### **VIBRATION MONITORING**

Throughout the course of construction our site will adhere to all Town of Oakville Nuisance By-Law 2007-143

The following precautions will be implemented to manage vibrations during the shoring, excavation, foundations and backfill.

- A professional engineer will prepare a zone of influence report.
- Pre-construction consultations and property inspections will be held with any properties within the zone of influence.
- A monitoring program will be implemented and utilized throughout construction to ensure that no construction activities exceed the allowable threshold in By Lay 363-5.2. Table 1 or lesser as determined by an engineer.
- At least 1 week prior to commencing work, notify neighbors within the zone of influence of the upcoming work and providing contact information.
- Monitoring reports will be made available for the building inspector

#### **CRANES**

The exact position and sizing of the cranes will be finalized with the formwork trade; however, the current proposal is to utilize one tower crane centrally located on site to complete the work.

Air right agreements will be finalized with the neighboring properties prior to erecting the tower crane.

If live loads will extend beyond the property line, a site-specific health and safety program will be created. This site-specific plan will detail site health and safety requirements as well as traffic control plans.

#### **SECURITY**

The following security precautions will be implemented:

- A 24hour video surveillance and remote monitoring system will be installed.
- Signage indicating the site is monitored will be posted conspicuously along the hoarding every 20m.
- Signage will include emergency contact information.

#### **HEALTH & SAFETY**

Podium Developments has retained a third-party health and safety who will audit the site on a regular basis and prepare a health and safety plan. In addition to providing emergency

planning and response procedures this plan will ensure the safety of all workers and the public.

#### **CONCLUSION**

We trust the above provides sufficient details on our plan to construct 77 East St and look forward to working with the Town of Oakville, Neighbors, Community, and other stakeholders to complete this project.

#### PODIUM DEVELOPMENTS

3 Bridgman Ave., Suite 101 Toronto ON M5R 3V4 888.411.7685 t | PodiumDevelopments.com

#### **APPENDICES**

APPENDIX A - STAGING PLANS

APPENDIX B - TRAFFIC MANAGEMENT PLANS

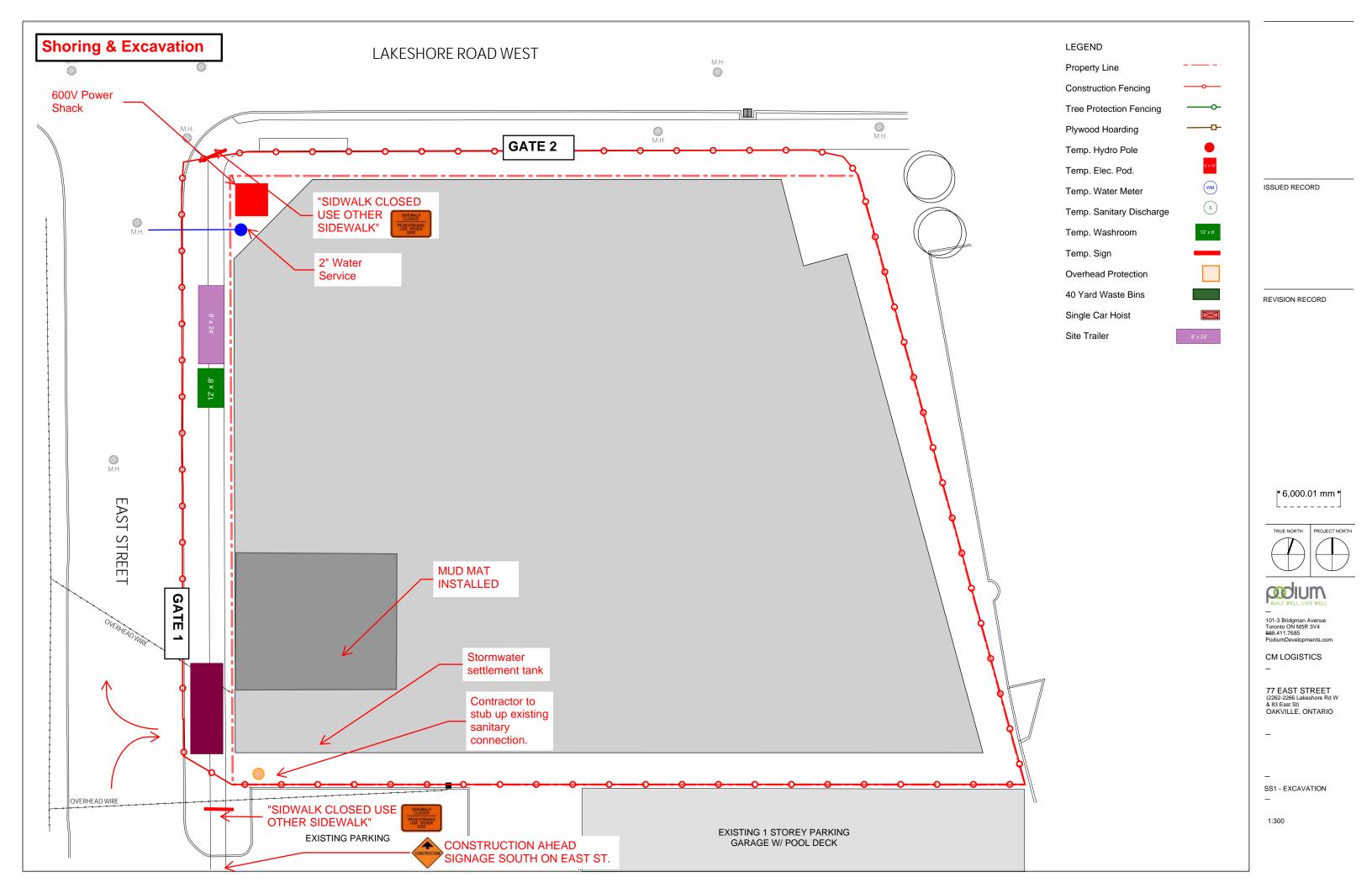
APPENDIX C - CRANE SWING PLANS

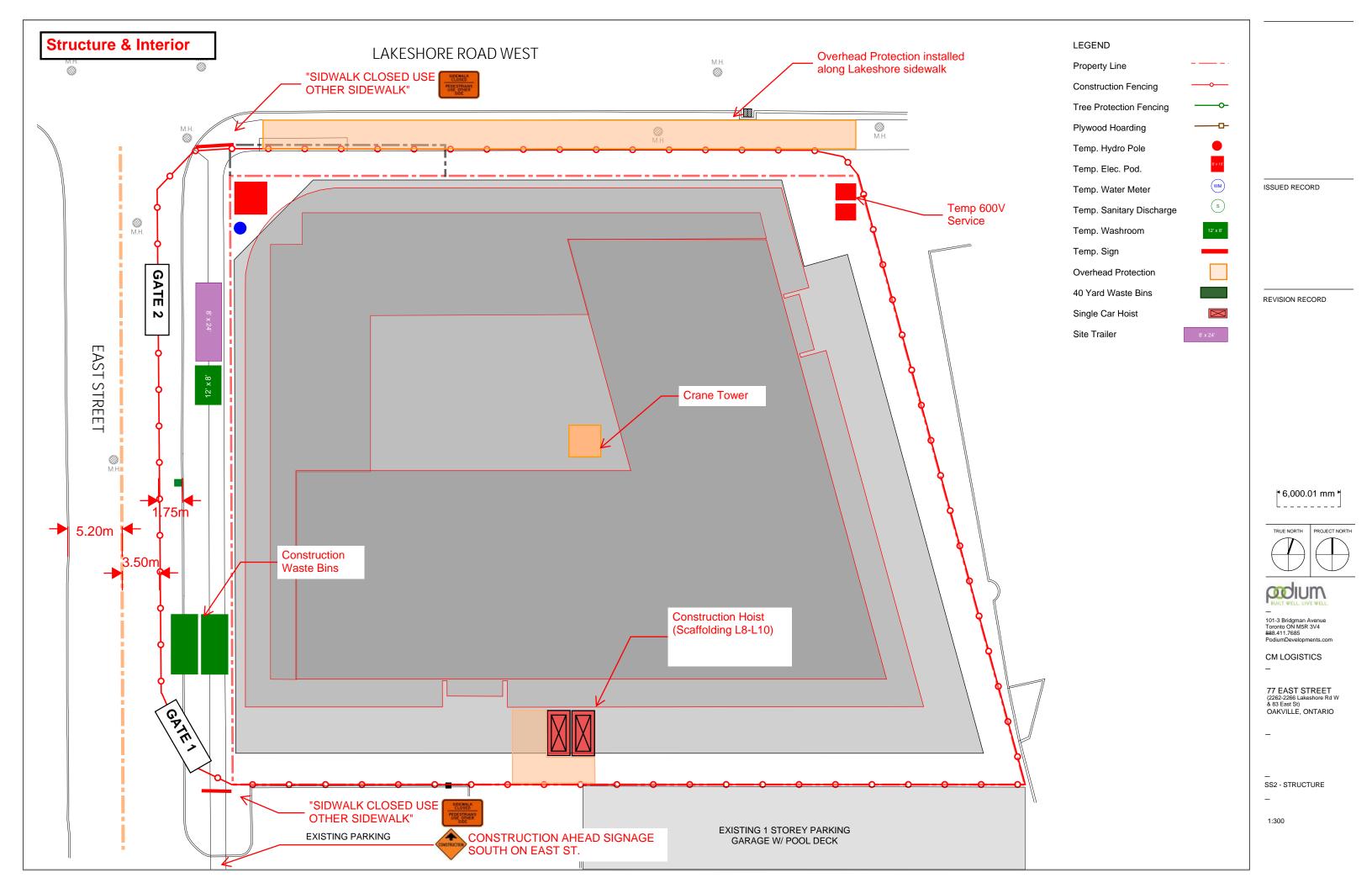
APPENDIX D - PRE-CONSTRUCTION MEETING AGENDA

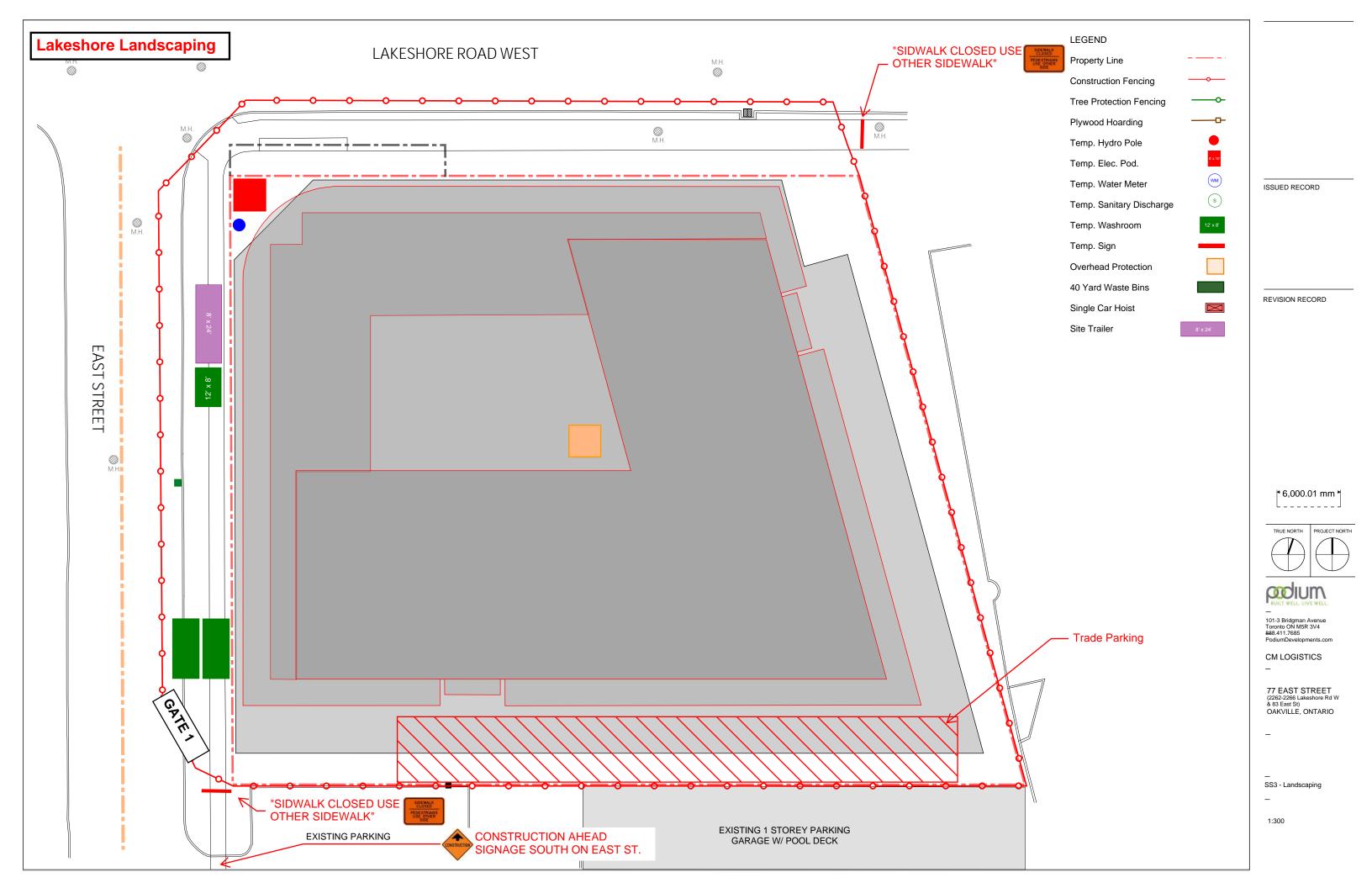
## **APPENDIX A**

## STAGING PLANS









### APPENDIX B

# TRAFFIC MANAGEMENT PLANS



**Shoring & Excavation** (Long Duration)

> Pedestrian Detour due to Sidewalk Closure

All deliveries will be run through Gate 1. Trucks will drive in / drive out.

Construction Fencing

ISSUED RECORD

REVISION RECORD

\* 6,000.01 mm \*

TRUE NORTH



101-3 Bridgman Avenue Toronto ON M5R 3V4 888.411.7685 PodiumDevelopments.com

CM LOGISTICS

77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

SS1 - EXCAVATION

1:300

OVERHEAD WIRE

#### **Structure & Interior** (Long Duration)

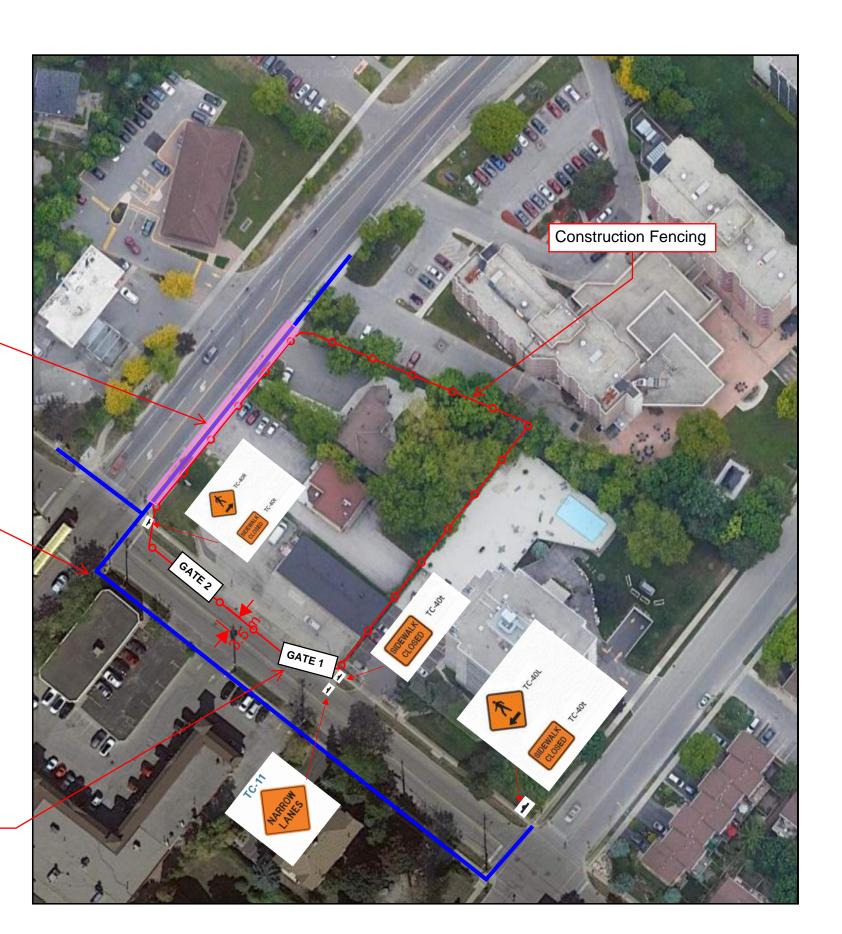
Overhead protection installed over sidewalk. 2.1m interior width.

Pedestrian Detour due to Sidewalk Closure

Contractor to maintain northbound lane width of 3.5 m from fencing to center line.

Deliveries will be received at Gate 1. Full length trailers will need to be backed in with the use of flag men.

Gate 2 will be reserved for construction management staff OVERHAND Personnel.



ISSUED RECORD

REVISION RECORD

\* 6,000.01 mm \*

TRUE NORTH

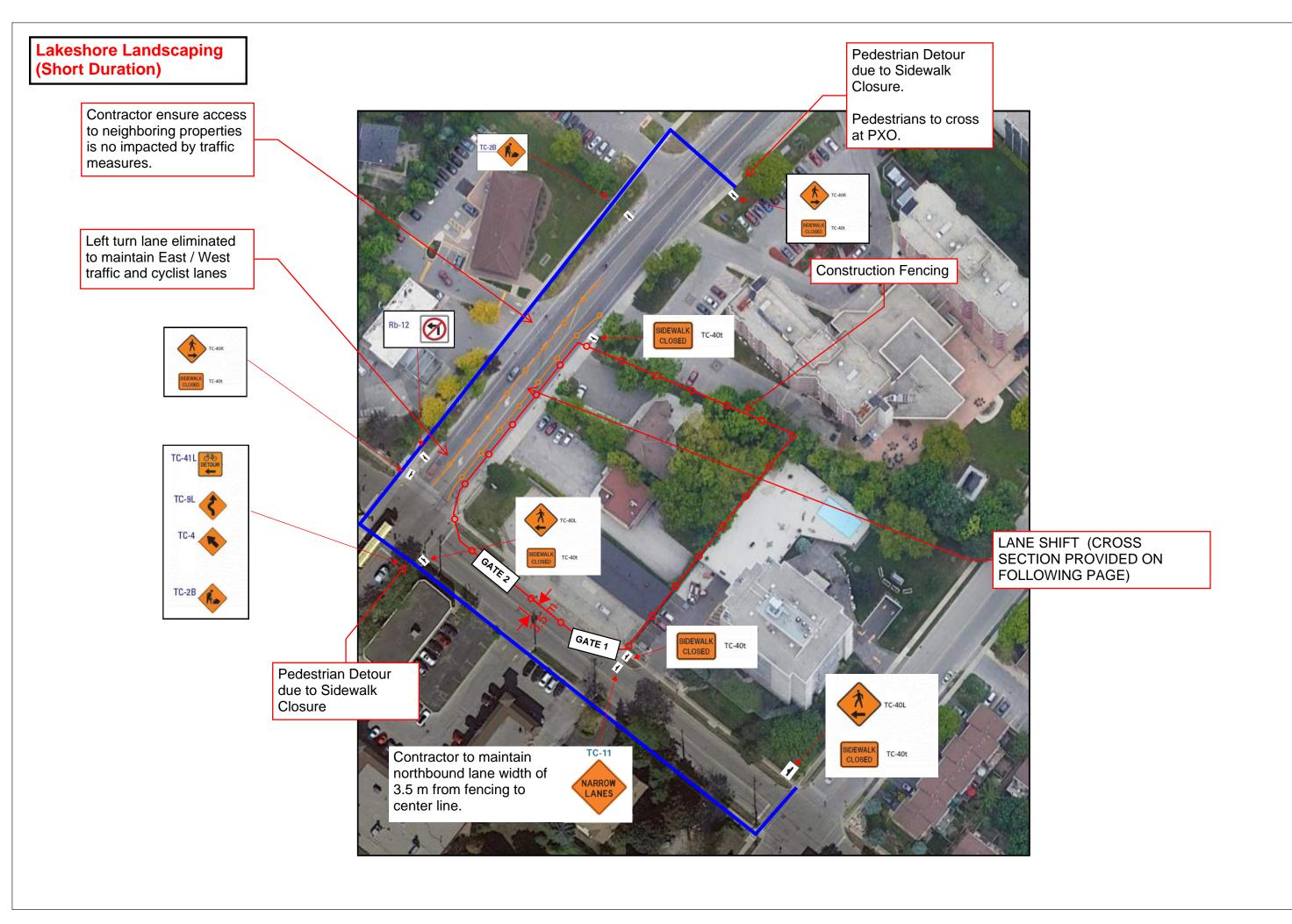
podium

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CM LOGISTICS

77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

SS1 - EXCAVATION



ISSUED RECORD

REVISION RECORD

─ 19.03 m →

TRUE NORTH

II IM

PROJECT NORTH

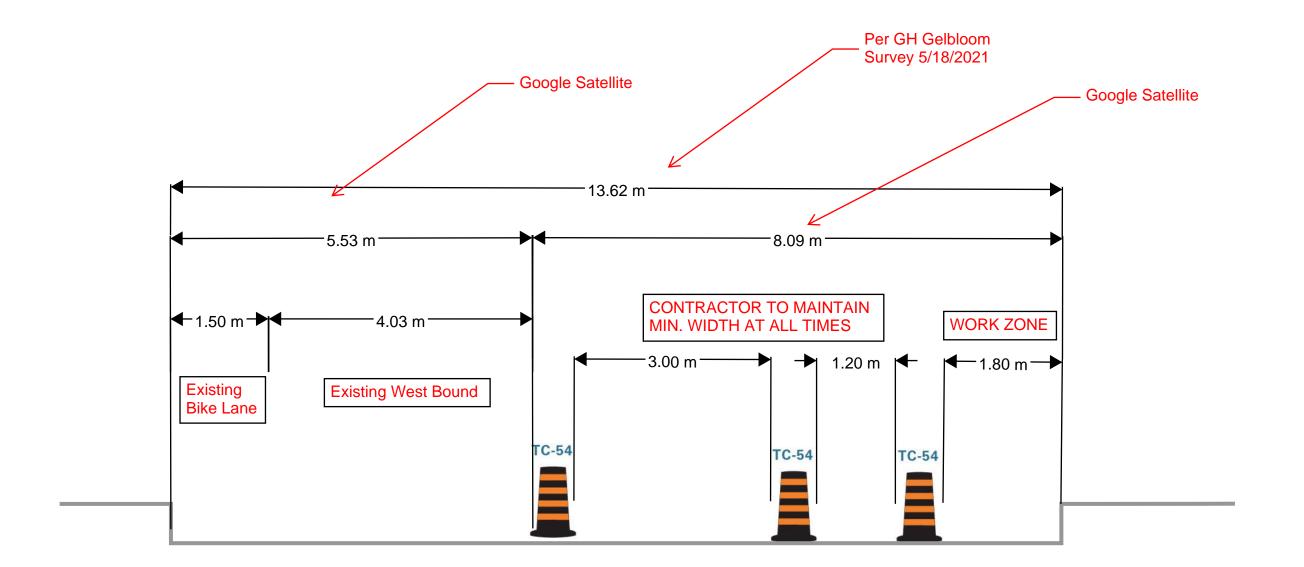
BUILT WELL. LIVE WELL

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77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

-

SS1 - EXCAVATION



LAKESHORE CROSS SECTION: EASTBOUND

ISSUED RECORD

REVISION RECORD

<u>← 1.15 m</u> →

TRUE NORTH PROJECT NORTH

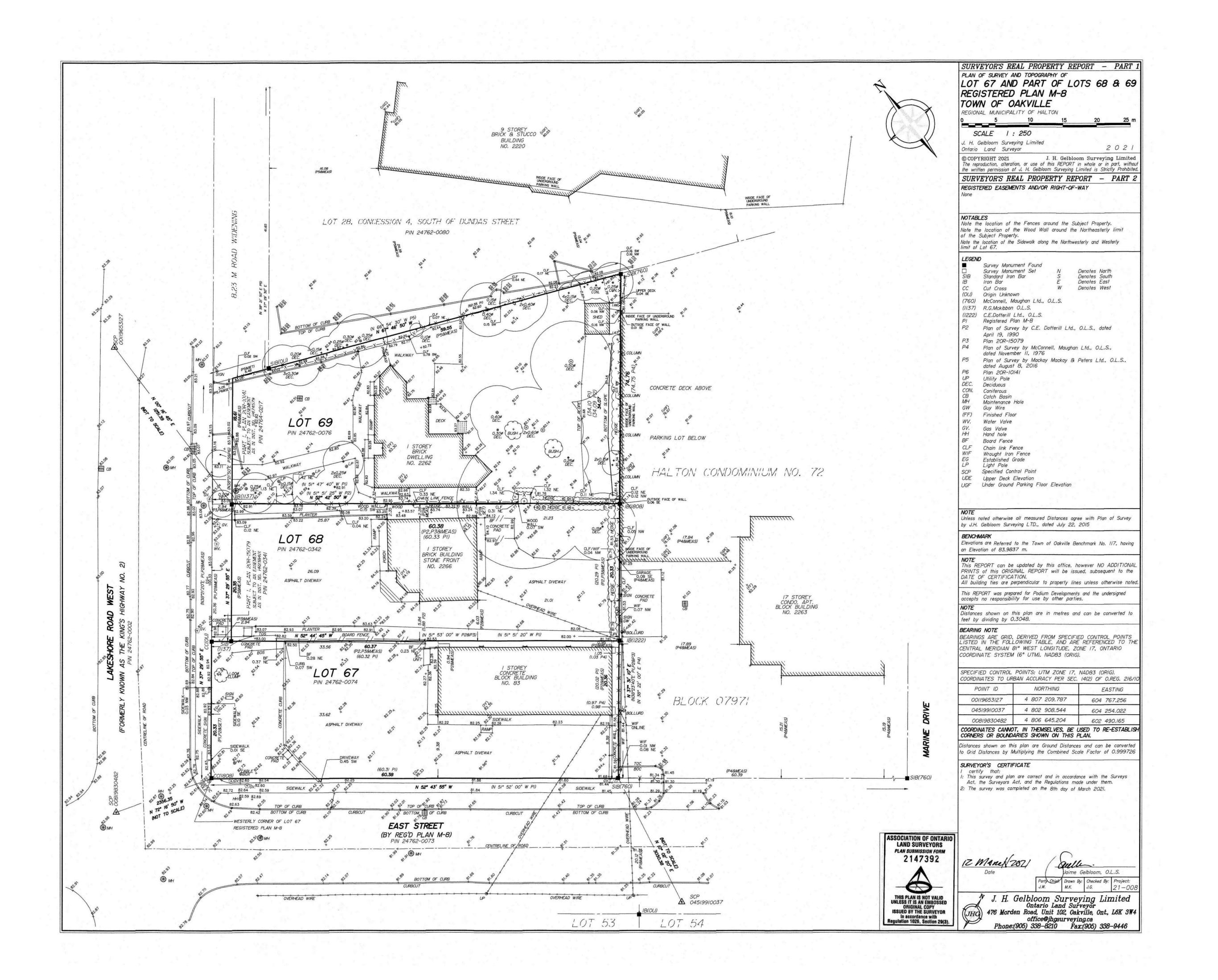


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CM LOGISTICS

77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

Landscaping TMP: Cross-section 1



PODIUM DEVELOPMENTS

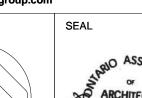
3 BRIDGMAN AVE. SUITE #101 TORONTO, ONTARIO M5R 3V4

ISSUED					
No.	DATE	DESCRIPTION			
1	2021/05/18	ISSUED FOR OPA & REZONING			

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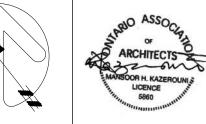
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PROJECT

77 EAST (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

SHEET TITLE SITE SURVEY

DRAWN BY:	CHKD' BY:	DATE:	SCALE:
Author	Checker	2021/06/18	1 : 25
PROJECT NO:		DWG NO.	
	132827		A0.02

## **Temporary Stopping of East St Traffic for Flyforms**

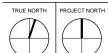




ISSUED RECORD

REVISION RECORD

\* 6,000.01 mm \*





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CM LOGISTICS

77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

OAKVILLE, ONTAF

SS1 - EXCAVATION

1:300

OVERHEAD WIRE

## **Temporary Stopping of Lake Shore Traffic for Flyforms**



ISSUED RECORD

REVISION RECORD

\* 6,000.01 mm \*

TRUE NORTH PROJECT NORTH



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CM LOGISTICS

77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

SS1 - EXCAVATION

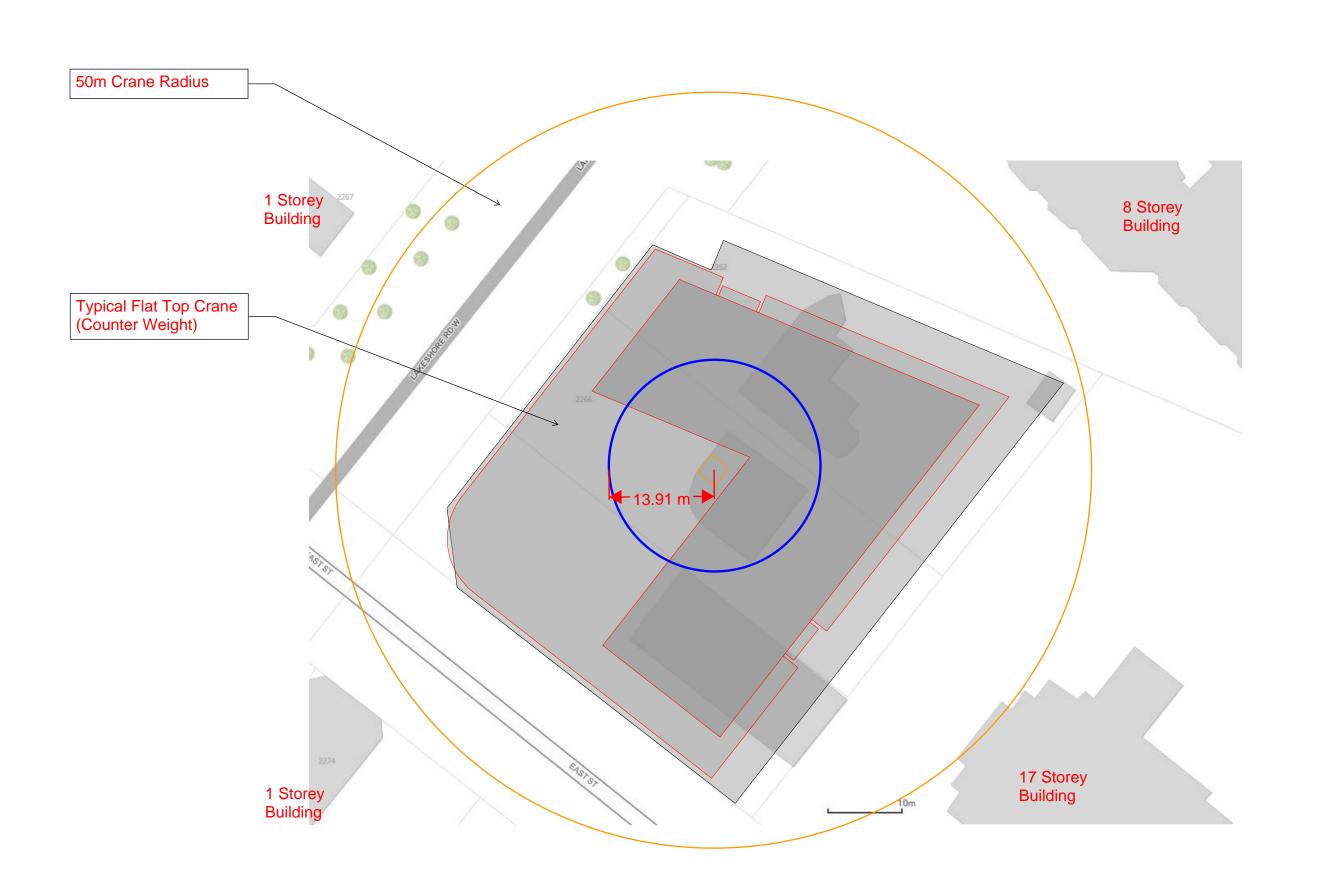
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OVERHEAD WIRE

## **APPENDIX C**

## **CRANE SWING**





ISSUED RECORD

REVISION RECORD

**├**─ 10.00 m →

TRUE NORTH PROJECT NORTH

**polium** 

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CM LOGISTICS

77 EAST STREET (2262-2266 Lakeshore Rd W & 83 East St) OAKVILLE, ONTARIO

CRANE SWING PLAN

### APPENDIX D

Pre-Construction Meeting Agenda



#### PRE CONSTUCTION MEETING AGENDA

#### **INTRODUCTION**

**SITE** 

**COMMUNICATION** 

**BUILDER CONTACT INFORMATION** 

**MILESTONES** 

**LOGISTICS** 

**TRAFFIC** 

**HOURS AND NOISE** 

**EROSION, SEDIMENT AND DUST CONTROL** 

FENCING AND HOARDING

**SHORING** 

**VIBRATION MONITORING** 

**CRANES** 

**SECURITY** 

**HEALTH & SAFETY** 

**QUESTIONS AND CONCERNS** 

