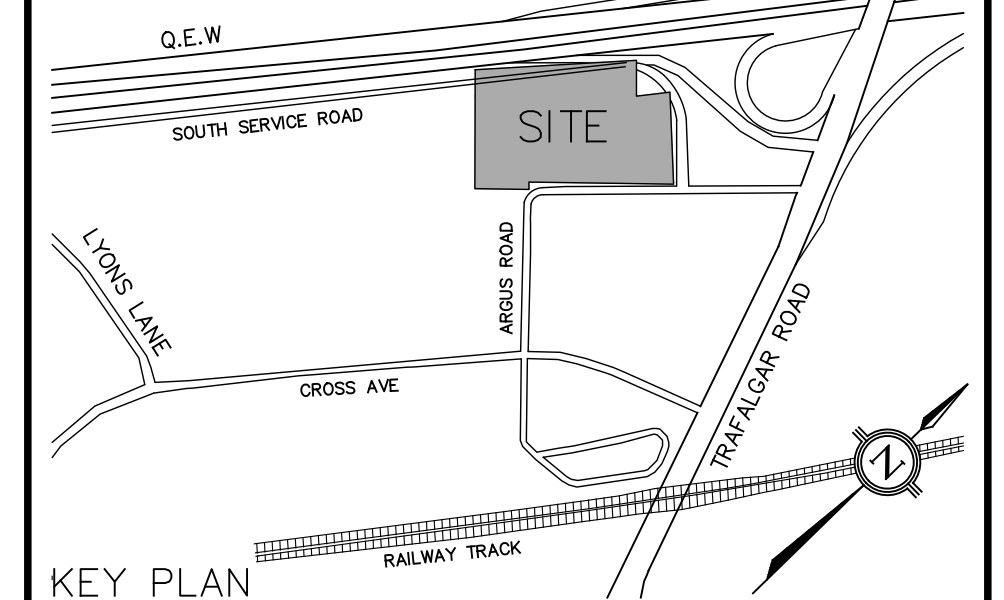


CROSSING	
C1	STM INV.=102.45 SAN OBV.=101.41 Δ =1.04m
C2	STM INV.=102.22 SAN OBV.=101.35 Δ =0.87m
C3	WS INV.=101.84 SAN OBV.=101.21 Δ =0.63m
C4	WS INV.=101.84 WM OBV.=100.25 Δ =1.59m
C5	STM INV.=102.20 WM OBV.=101.32 Δ =0.88m
C6'	STM INV.=102.19 WM OBV.=102.16 Δ =0.03m
C7	WS INV.=102.00 WM OBV.=101.15 Δ =1.85m
C8	WS INV.=101.97 SAN OBV.=100.65 Δ =1.32m
C9	WS INV.=102.23 SAN OBV.=99.84 Δ =2.39m
C10	WS INV.=102.23 WM OBV.=99.70 Δ =2.53m

* CONTRACTOR TO CONFIRM DEPTH OF EX. 300mm ϕ WATERMAIN. WATERMAIN WILL BE LOWERED IF REQUIRED.



- LEGEND**
- PROPOSED STORM SEWER + MANHOLE
 - EXISTING STORM SEWER + MANHOLE
 - - - PROPOSED WATER SERVICE
 - - - EXISTING WATERMAIN
 - PROPOSED SANITARY SEWER + MANHOLE
 - EXISTING SANITARY SEWER + MANHOLE
 - - - PROPERTY BOUNDARY
 - PROPOSED CATCHBASIN
 - PROPOSED CATCHBASIN C/W CB SHIELD
 - ⊕ PROPOSED WATER METER
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊕ PROPOSED VALVE & BOX
 - 153.78 PROPOSED FINISHED ELEVATION
 - 153.46 EXISTING ELEVATION
 - 153.46 EXISTING ELEVATION TO REMAIN
 - ⊕ EXISTING CATCHBASIN
 - ⊕ BOREHOLE
 - ⊕ PROPOSED AREA DRAIN
 - ▬ PROPOSED RETAINING WALL
 - ▬ PROPOSED TRENCH DRAIN

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
2	APR 06, 2023	MW/ZI	ISSUED FOR OPA/ZBA
1	MAR 24, 2023	MW/ZI	ISSUED FOR COORDINATION

ELEVATION NOTE
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LOCAL BENCHMARK
CUT CROSS IN CONCRETE SIDEWALK, LOCATED ON THE SOUTH SIDE OF ARGUS ROAD, APPROXIMATELY 11.6 METRES FROM THE WESTERN CORNER OF THE BUILDING AT No. 587 ARGUS ROAD AND 5.3 METRES FROM A WATER VALVE IN THE ROAD, AS SHOWN ON THE FACE OF PLAN. ELEVATION=104.28m

THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 17, 2022, BY J.D.BARNES LTD, LAND INFORMATION SPECIALISTS

LICENSED PROFESSIONAL ENGINEER
N.A. SYLVESTER
100199487
MARCH 2024
PROVINCE OF ONTARIO

DESIGNED BY: [Signature]
APPROVED BY:

TRAFALGAR ENGINEERING
81-481 MORRIS ROAD, OAKVILLE, ON, L6K 3W6
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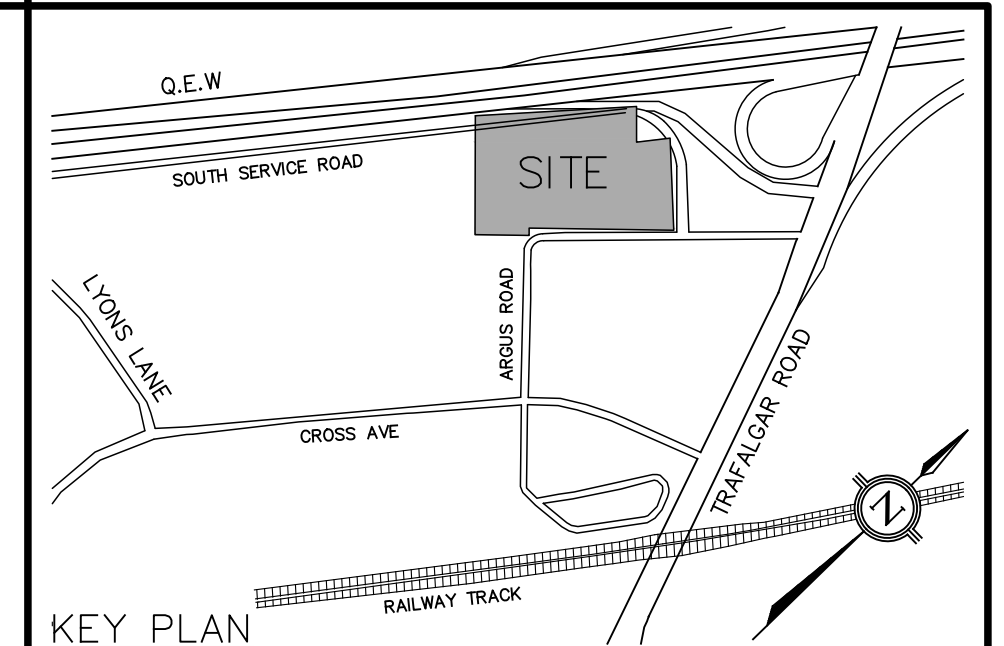
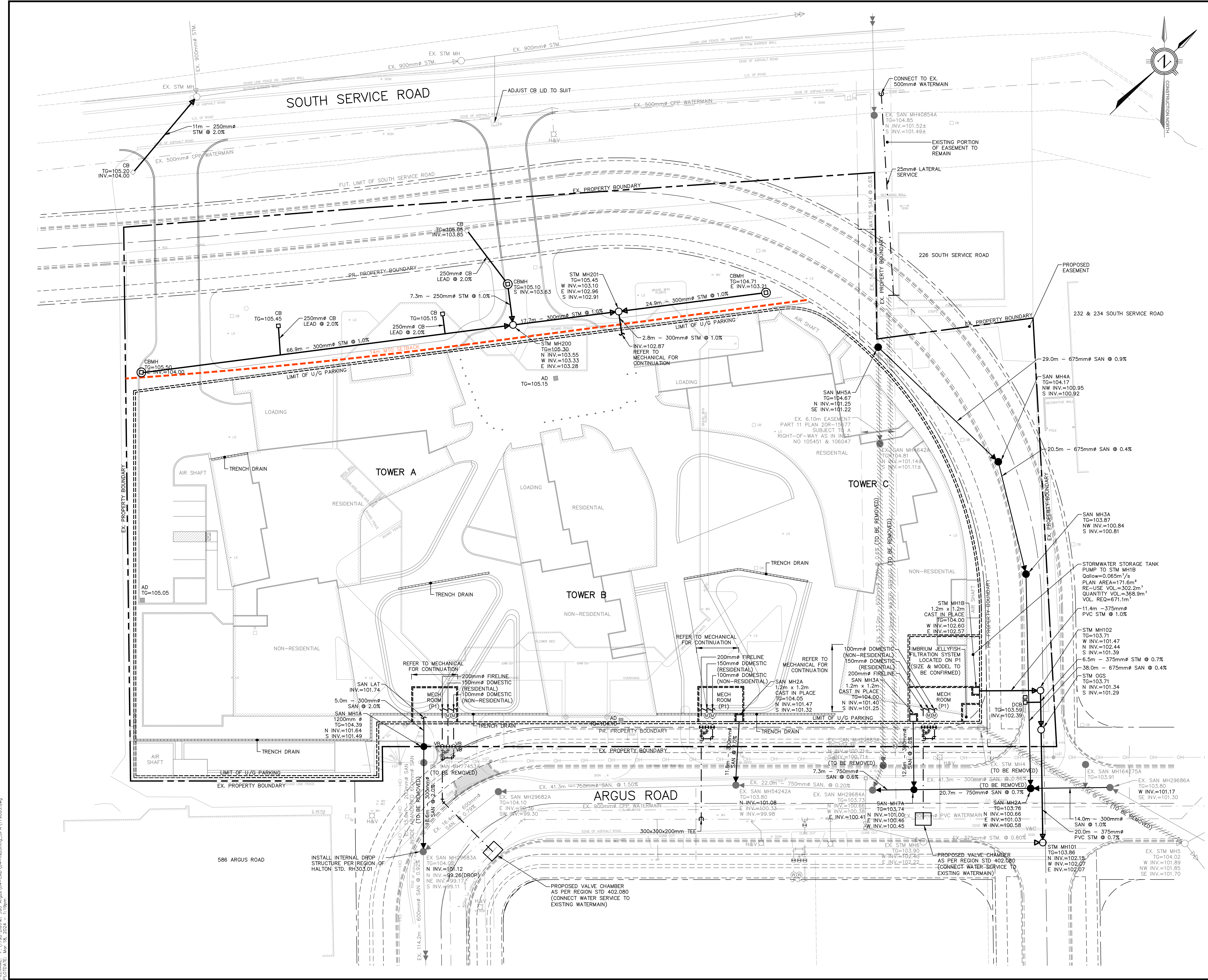
PROJECT TITLE: **DISTRIKT 590 ARGUS**
PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT
DISTRIKT DEVELOPMENTS

LOCATION: **590 ARGUS RD.**
OAKVILLE, ONTARIO

DRAWING TITLE: **PRELIMINARY SITE SERVICING PLAN (ULTIMATE)**

SCALE: 1:300	DESIGN BY: MW	PROJECT No: 1798
DRAWN BY: ZI	CHECKED BY: NAS	PLAN No: S1
DATE: 2022/10/26	SHEET 1 OF 3	

FILENAME: P:\1798 Distrikt 590 Argus\04-CAD\04-Reservicing_DPA\1798S5.dwg
 PLOTTED: Mar 18, 2024 4:13pm



LEGEND

- PROPOSED STORM SEWER + MANHOLE
- EXISTING STORM SEWER + MANHOLE
- PROPOSED WATER SERVICE
- EXISTING WATER MAIN
- PROPOSED SANITARY SEWER + MANHOLE
- EXISTING SANITARY SEWER + MANHOLE
- PROPERTY BOUNDARY
- PROPOSED CATCHBASIN
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE & BOX
- PROPOSED FINISHED ELEVATION
- EXISTING ELEVATION
- EXISTING ELEVATION TO REMAIN
- EXISTING CATCHBASIN
- BOREHOLE
- PROPOSED AREA DRAIN
- PROPOSED RETAINING WALL
- PROPOSED TRENCH DRAIN

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
2	APR 06, 2023	MW/ZI	ISSUED FOR OPA/ZBA
1	MAR 24, 2023	MW/ZI	ISSUED FOR COORDINATION

CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 18, 2024

ELEVATION NOTE
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LOCAL BENCHMARK
 CUT CROSS IN CONCRETE SIDEWALK, LOCATED ON THE SOUTH SIDE OF ARGUS ROAD, APPROXIMATELY 11.6 METRES FROM THE WESTERN CORNER OF THE BUILDING AT No. 587 ARGUS ROAD AND 5.3 METRES FROM A WATER VALVE IN THE ROAD, AS SHOWN ON THE FACE OF PLAN. ELEVATION=104.28m

THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 17, 2022, BY J.D.BARNES LTD, LAND INFORMATION SPECIALISTS

DESIGNED BY

APPROVED BY

CONSULTANT

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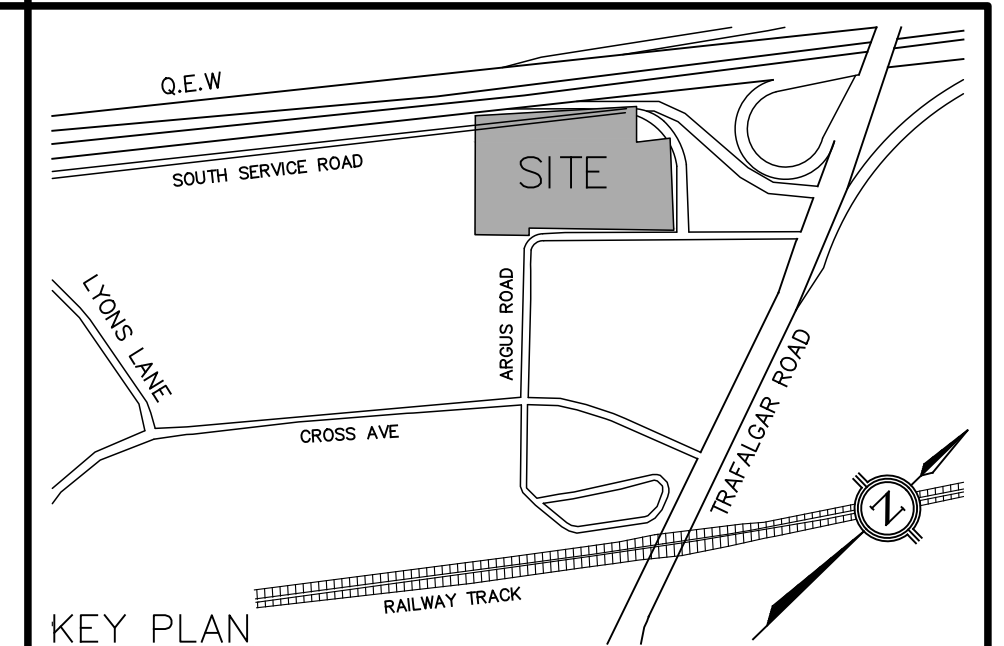
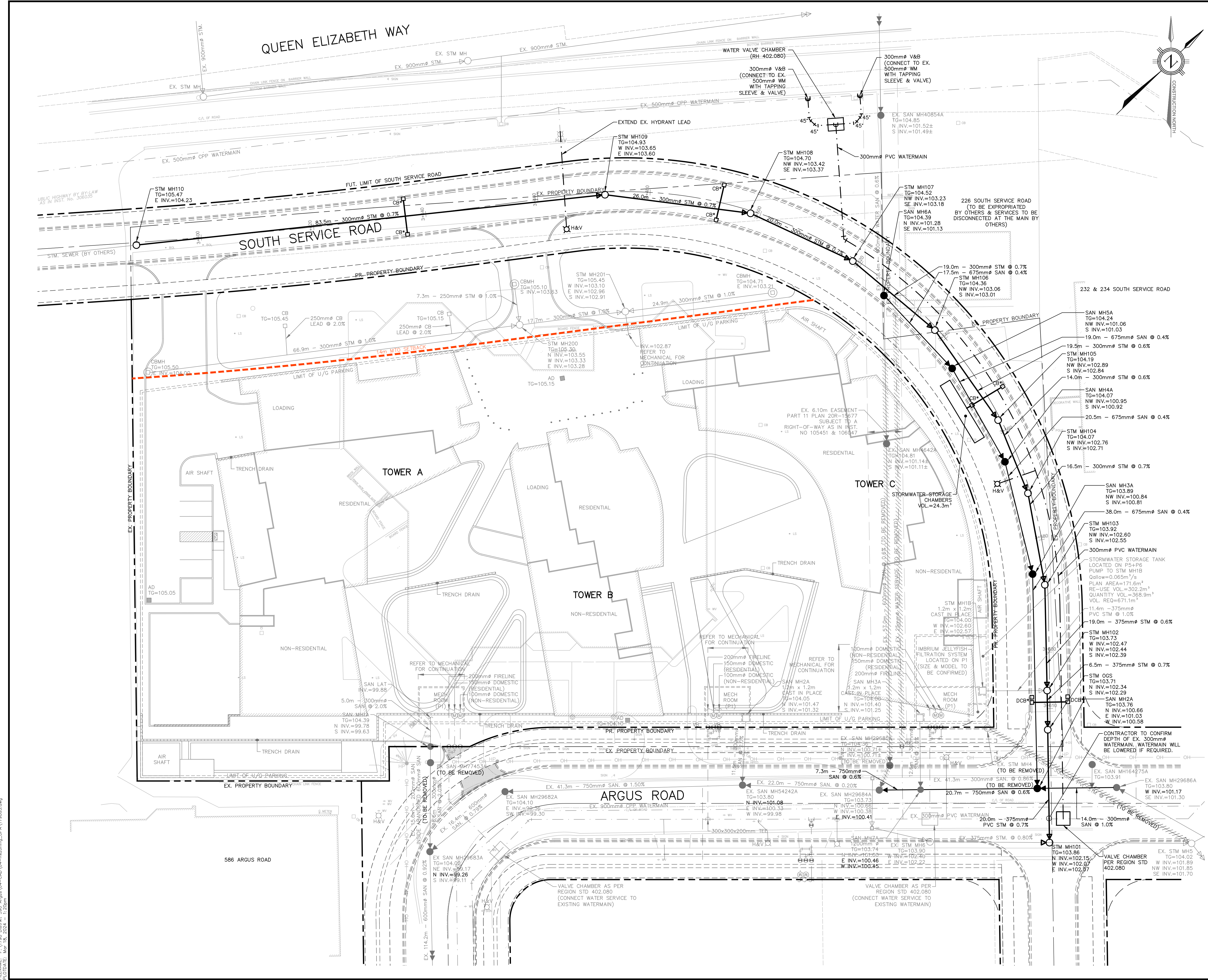
PROJECT TITLE
**DISTRIKT 590 ARGUS
 PROPOSED RESIDENTIAL CONDOMINIUM
 DEVELOPMENT
 DISTRIKT DEVELOPMENTS**

LOCATION
**590 ARGUS RD.
 OAKVILLE, ONTARIO**

DRAWING TITLE
**PRELIMINARY SERVICING PLAN
 (INTERIM)**

SCALE	1:300	DESIGN BY	MW	PROJECT No.	1798
DRAWN BY	ZI	CHECKED BY	NAS	PLAN No.	S2
DATE	2022/10/26	SHEET	2 OF 3		

FILENAME: P:\1798 Distrikt 590 Argus\04-CAD\04-Reservicing_DPA\1798GS.dwg
 PLOTTED: Mar 18, 2024 - 1:10pm



LEGEND

- PROPOSED STORM SEWER + MANHOLE
- EXISTING STORM SEWER + MANHOLE
- — — PROPOSED WATER SERVICE
- — — EXISTING WATERMAIN
- EXISTING SANITARY SEWER + MANHOLE
- PROPOSED SANITARY SEWER + MANHOLE
- - - - - PROPERTY BOUNDARY
- PROPOSED CATCHBASIN
- PROPOSED CATCHBASIN C/W CB SHIELD
- ⊕ PROPOSED WATER METER
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED VALVE & BOX
- ⊕ PROPOSED FINISHED ELEVATION
- ⊕ EXISTING ELEVATION
- ⊕ EXISTING ELEVATION TO REMAIN
- ⊕ EXISTING CATCHBASIN
- ⊕ BOREHOLE
- ⊕ PROPOSED AREA DRAIN
- ⊕ PROPOSED RETAINING WALL
- ⊕ PROPOSED TRENCH DRAIN

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
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CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 18, 2024

ELEVATION NOTE
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LOCAL BENCHMARK
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THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 17, 2022, BY J.D. BARNES LTD, LAND INFORMATION SPECIALISTS

DESIGNED BY

APPROVED BY

CONSULTANT
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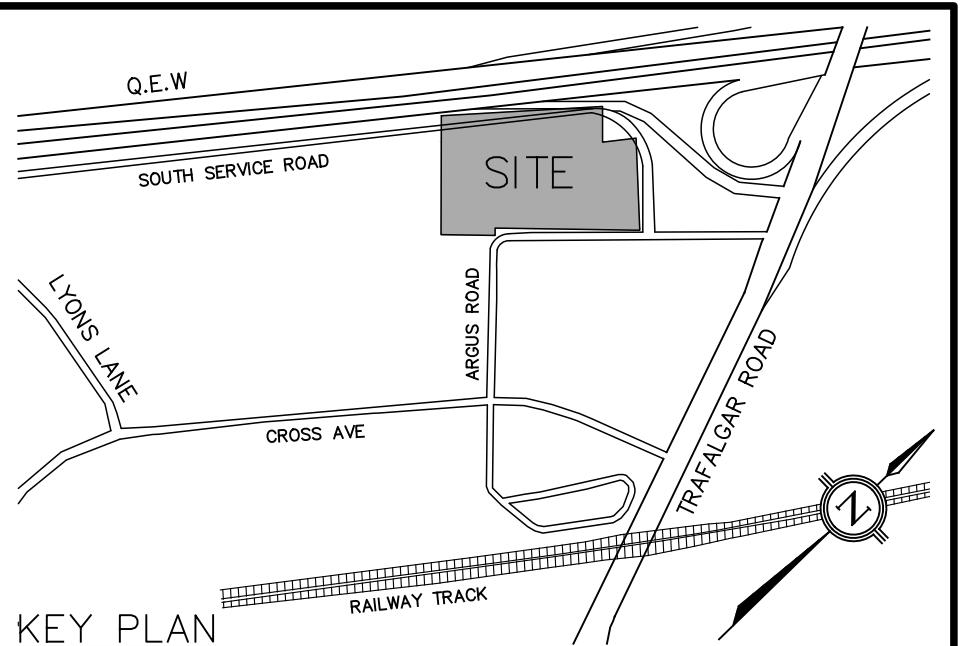
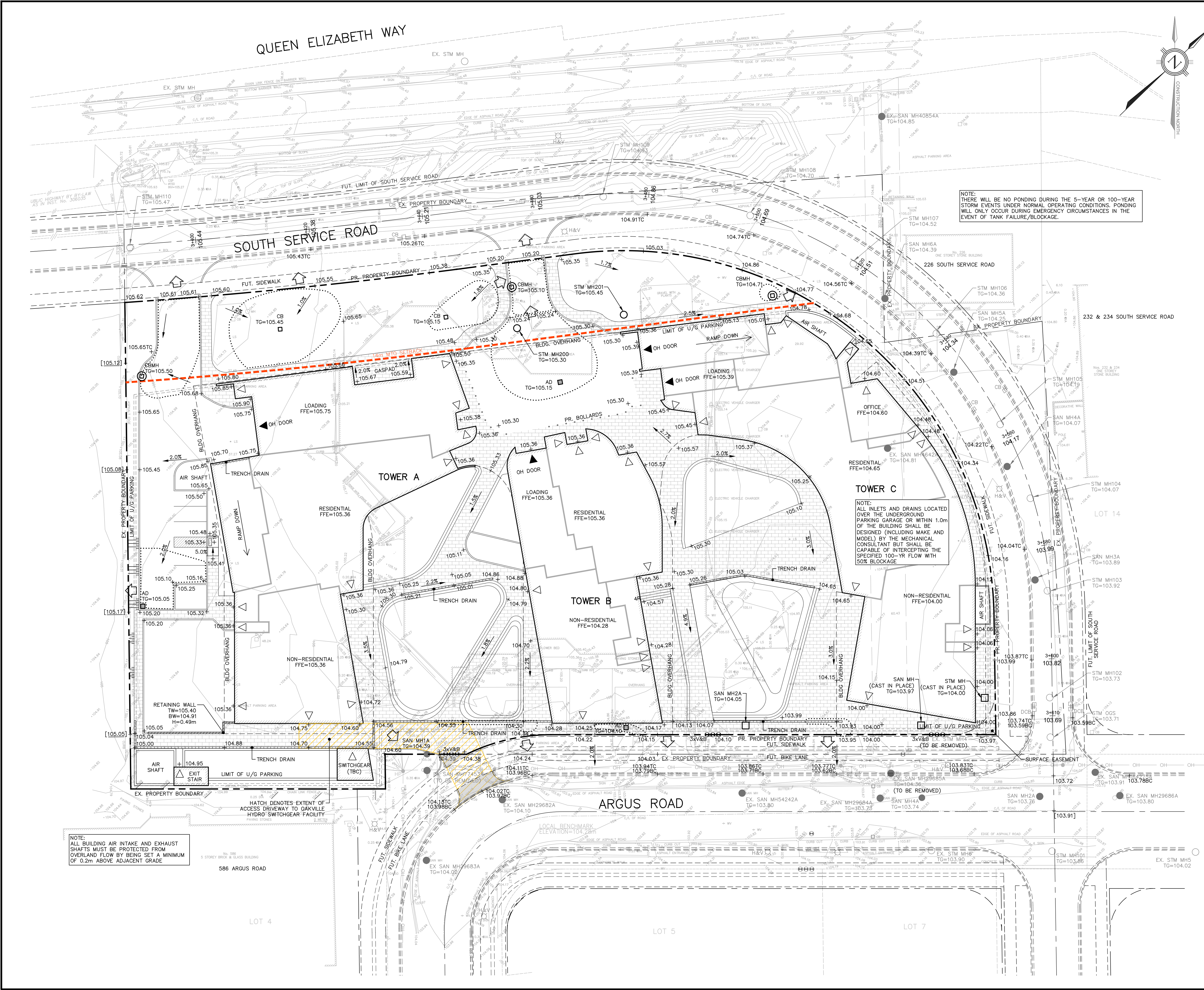
PROJECT TITLE
 DISTRIKT 590 ARGUS
 PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT
 DISTRIKT DEVELOPMENTS

LOCATION
 590 ARGUS RD.
 OAKVILLE, ONTARIO

DRAWING TITLE
 PRELIMINARY SOUTH SERVICE ROAD SERVICING PLAN

SCALE	1:300	DESIGN BY	MW	PROJECT No.	1798
DRAWN BY	ZI	CHECKED BY	NAS	PLAN No.	S3
DATE	2022/10/26	SHEET	3 OF 3		

FILENAME: P:\1798 Distrikt 590 Argus\04-CAD\04-Reservicing_DPA\1798GS.dwg
 PLOTTED: Mar 18, 2024 - 1:20pm



LEGEND

- PROPOSED CATCHBASIN
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- ⊕ PROPOSED VALVE & BOX
- 153.78 PROPOSED FINISHED ELEVATION
- 153.46 EXISTING ELEVATION
- 153.46 EXISTING ELEVATION TO REMAIN
- EXISTING CATCHBASIN
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- BOREHOLE
- ▬ PROPOSED RETAINING WALL
- ▬ PROPOSED SLOPE (3:1)
- ▬ PROPOSED SLOPE
- ▬ OVERLAND FLOW
- [153.78] INTERPOLATED EXISTING GRADE
- ▬ PROPOSED TRENCH DRAIN
- ▬ PROPOSED AREA DRAIN (300mm x 300mm)
- ▬ PROPOSED TOP & BOTTOM CURB ELEVATION
- ▬ PROPERTY BOUNDARY
- ▬ EMERGENCY PONDING AREA

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
2	APR 06, 2023	MW/ZI	ISSUED FOR OPA/ZBA
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CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 18, 2024

ELEVATION NOTE
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LOCAL BENCHMARK
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DESIGNED BY

APPROVED BY

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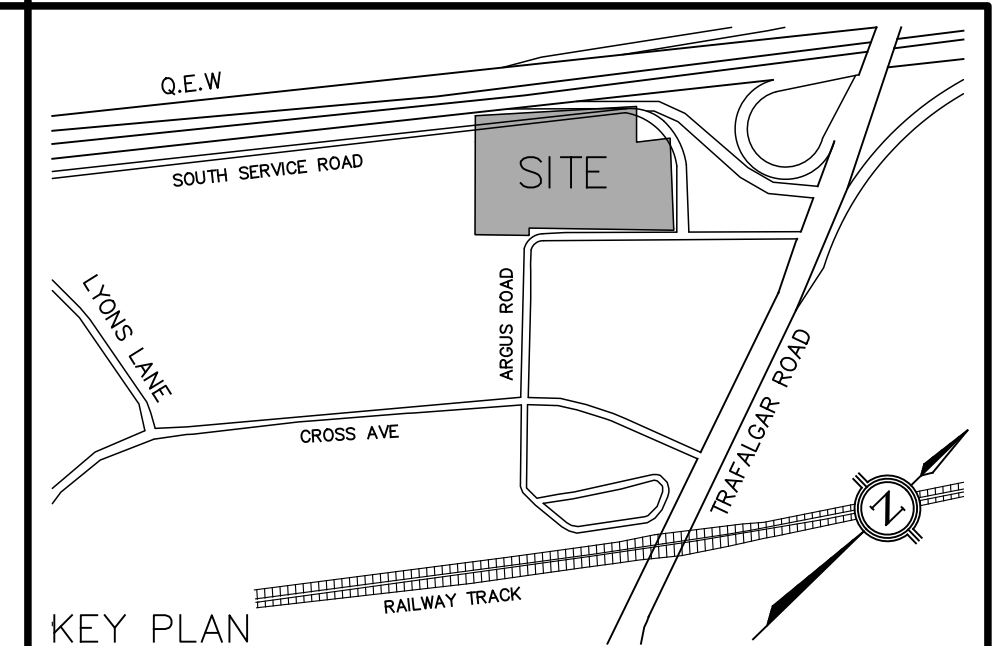
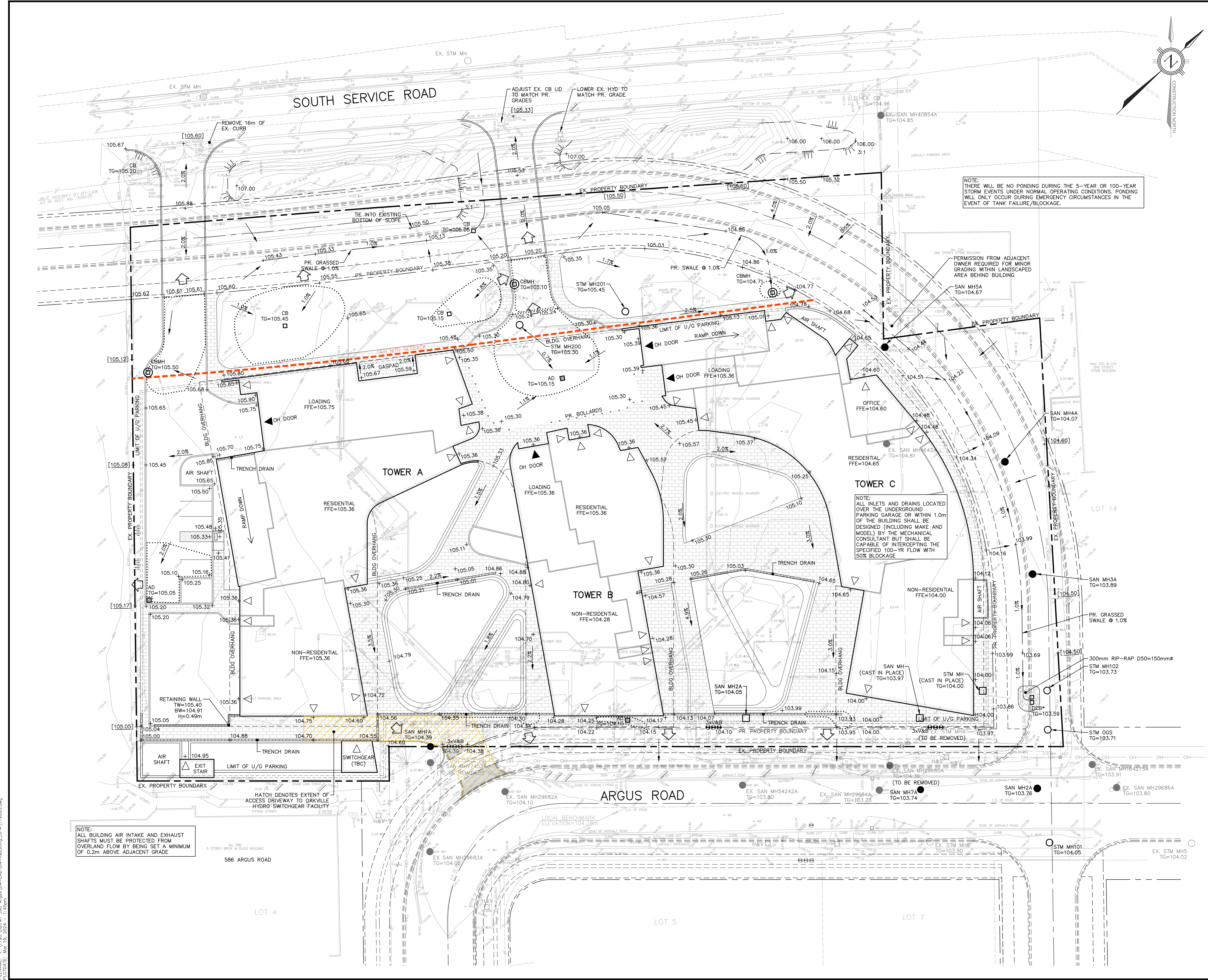
PROJECT TITLE
590 ARGUS
 PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT
 DISTRIKT DEVELOPMENTS

LOCATION
590 ARGUS RD.
 OAKVILLE, ONTARIO

DRAWING TITLE
PRELIMINARY GRADING PLAN (ULTIMATE)

SCALE	1:300	DESIGN BY	MW	PROJECT No.	1798
DRAWN BY	ZI	CHECKED BY	NAS	PLAN No.	G1
DATE	2022/10/26	SHEET	1 OF 2		

FILENAME: P:\1798\03p1k1_590_Argus\04-CAD\04-Resizing_DPA\1798GS.dwg
 PLOTTED: Mar 18, 2024 - 1:23pm



LEGEND

- PROPOSED CATCHBASIN
- PROPOSED STORM MANHOLE
- ⊕ PROPOSED VALVE & BOX
- 153.78 PROPOSED FINISHED ELEVATION
- 153.46 EXISTING ELEVATION
- 153.46 EXISTING ELEVATION TO REMAIN
- EXISTING CATCHBASIN
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- BOREHOLE
- ▬ PROPOSED RETAINING WALL
- ▬ PROPOSED SLOPE (3:1)
- ▬ PROPOSED SLOPE
- ▬ OVERLAND FLOW
- [153.78] INTERPOLATED EXISTING GRADE
- ▬ PROPOSED TRENCH DRAIN
- ▬ PROPOSED AREA DRAIN (300mm x 300mm)
- ▬ PROPOSED TOP & BOTTOM CURB ELEVATION
- ▬ PROPERTY BOUNDARY
- ▬ EMERGENCY PONDING AREA

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
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1	MAR 17, 2022	MW/ZI	ISSUED FOR COORDINATION

CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 19, 2024

ELEVATION NOTE
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LOCAL BENCHMARK
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DESIGNED BY

APPROVED BY

CONSULTANT

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PROJECT TITLE
590 ARGUS
 PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT
 DISTRIKT DEVELOPMENTS

LOCATION
590 ARGUS RD.
 OAKVILLE, ONTARIO

DRAWING TITLE
PRELIMINARY GRADING PLAN (INTERIM)

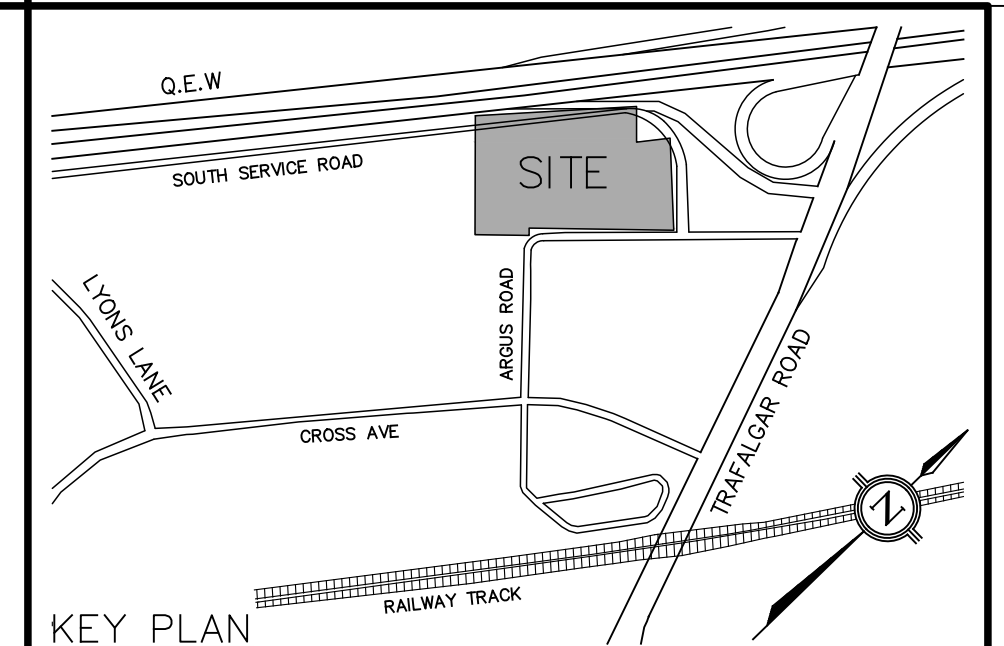
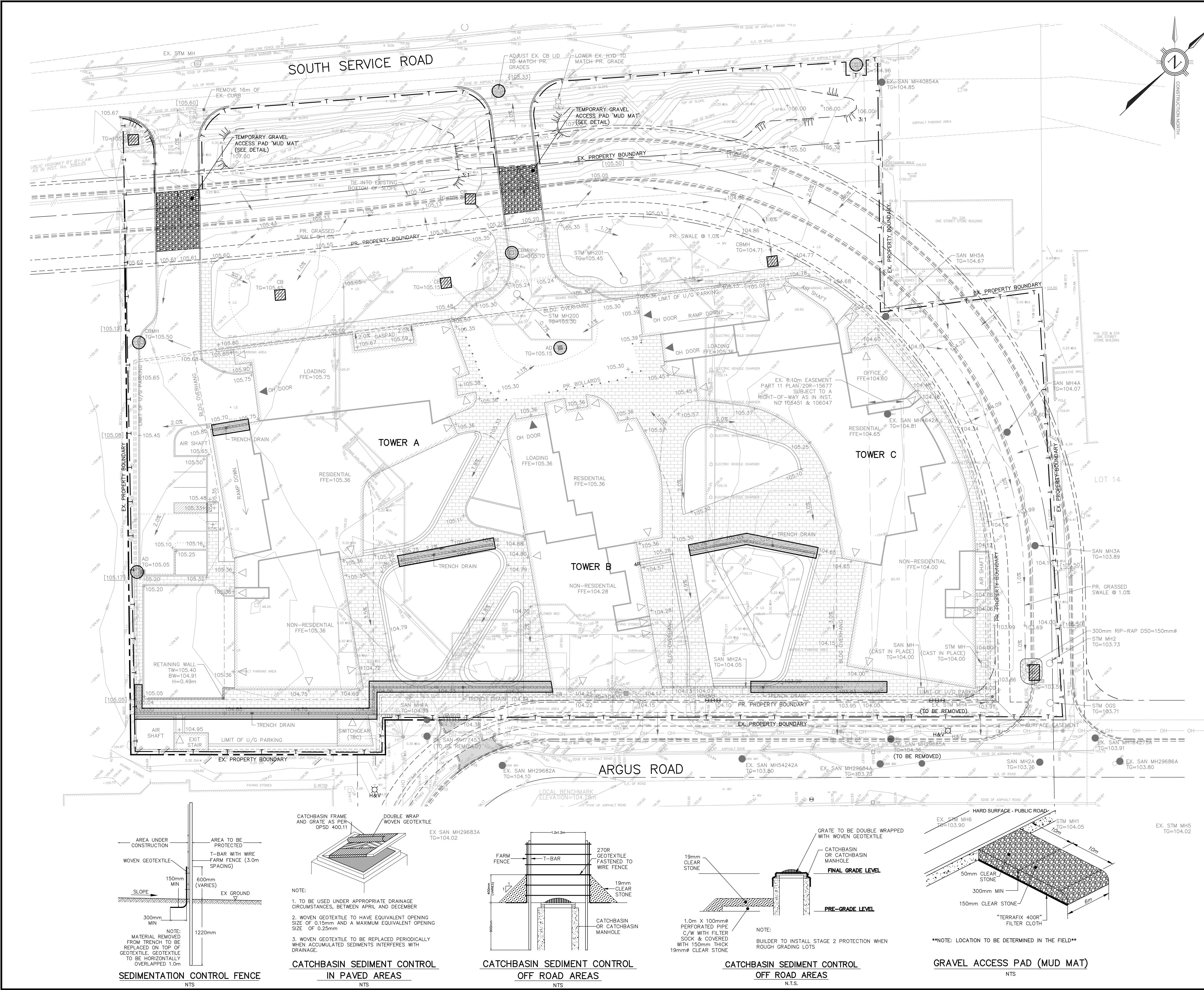
SCALE	1:300	DESIGN BY	MW	PROJECT No.	1798
DRAWN BY	ZI	CHECKED BY	NAS	PLAN No.	G2
DATE	2022/10/26	SHEET	2 OF 2		

FILENAME: P:\1798_District_590_Argus\04-CAD\04-Resizing_DPA\1798GS.dwg
 PLOTTED: Mar 19, 2024 1:45pm

NOTE:
 ALL BUILDING AIR INTAKE AND EXHAUST SHAFTS MUST BE PROTECTED FROM OVERLAND FLOW BY BEING SET A MINIMUM OF 0.2m ABOVE ADJACENT GRADE

NOTE:
 THERE WILL BE NO PONDING DURING THE 5-YEAR OR 100-YEAR STORM EVENTS UNDER NORMAL OPERATING CONDITIONS. PONDING WILL ONLY OCCUR DURING EMERGENCY CIRCUMSTANCES IN THE EVENT OF TANK FAILURE/BLOCKAGE.

NOTE:
 ALL INLETS AND DRAINS LOCATED OVER THE UNDERGROUND PARKING GARAGE OR WITHIN 1.0m OF THE BUILDING SHALL BE DESIGNED (INCLUDING MAKE AND MODEL) BY THE MECHANICAL CONSULTANT BUT SHALL BE CAPABLE OF INTERCEPTING THE SPECIFIED 100-YR FLOW WITH 50% BLOCKAGE



LEGEND

+ 111.80	PROPOSED ELEVATION
+ 113.96	EXISTING ELEVATION
+ 113.96	EXISTING ELEVATION TO REMAIN
→	PROPOSED SWALE DIRECTION
→	PROPOSED DRAINAGE DIRECTION
▬	PROPOSED SLOPE
□	PROPOSED CATCHBASIN
□	PROPOSED DOUBLE CATCHBASIN
○	PROPOSED STORM MANHOLE
○	PROPOSED STORM CATCHBASIN MANHOLE
●	PROPOSED SANITARY MANHOLE
○	PROPOSED FIRE HYDRANT AND VALVE

EROSION AND SEDIMENT CONTROL LEGEND

○	SEDIMENT CONTROL CB IN PAVED AREAS
▨	SEDIMENT CONTROL CB IN LANDSCAPED AREA
▨	SEDIMENT CONTROL TRENCH DRAIN
—	SEDIMENT CONTROL FENCE
▨	MUD MAT

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
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CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 18, 2024

ELEVATION NOTE
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PROJECT TITLE
590 ARGUS
PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT
DISTRKT DEVELOPMENTS

LOCATION
590 ARGUS RD.
OAKVILLE, ONTARIO

DRAWING TITLE
PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN

SCALE	1:300	DESIGN BY	MW	PROJECT No.	1798
DRAWN BY	ZI	CHECKED BY	NAS	PLAN No.	E1
DATE	2022/10/26	SHEET	2 OF 2		

FILENAME: P:\1798 D09\1798 Argus\04-CAD\04-Resizing_DPA\1798GS.dwg
 DATE: Mar 18, 2024 - 1:12pm

GENERAL NOTES

- 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE REGIONAL MUNICIPALITY OF HALTON, TOWN OF OAKVILLE AND THE ONTARIO BUILDING CODE (PART 7). ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND DRAWINGS (OPSS & OPSD) SHALL BE USED IN ABSENCE OF LOCAL STANDARDS.
- 2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL AND LANDSCAPE DRAWINGS.
- 3. ALL INFORMATION SHOWN REGARDING THE LOCATION AND SIZE OF EXISTING UTILITIES AND/OR SERVICES HAS NOT BEEN VERIFIED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND PROTECTING AND MAINTAINING DURING CONSTRUCTION.
- 4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADES AND ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ALL DISCREPANCIES TO THE ENGINEER.
- 5. ALL GRADING CHANGES SHALL BE APPROVED BY THE ENGINEER AND TOWN OF OAKVILLE PRIOR TO IMPLEMENTATION.
- 6. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT CONSTRUCTION AND DEWATERING DETAILS.
- 7. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES FOUND PRIOR TO OR DURING CONSTRUCTION SHALL BE CLARIFIED WITH THE ENGINEER.

PAVEMENT STRUCTURE (ABOVE PARKING GARAGE ROOF)

Table with 2 columns: Layer description and thickness. HL-3 40mm, HL-8 40mm, GRANULAR 'A' 75mm (MINIMUM)

PAVEMENT STRUCTURE (ON GRADE AND PRIVATE DRIVEWAY)

Table with 2 columns: Layer description and thickness. HL-3 40mm, HL-8 60mm, 19mm ORL, (OR GRANULAR 'A') 150mm, GRANULAR 'B' (TYPE 1) 300mm

WATERMAINS

- 1. ALL WATERMAINS 100mm AND LARGER SHALL BE PVC, C-900, CLASS 150, SDR18 C/W MECHANICAL RESTRAINTS & TRACER WIRE PER REGION REQUIREMENTS.
- 2. WATER SERVICE CONNECTION LESS THAN 50mm TO BE COPPER, TYPE "K" SOFT COPPER TUBING.
- 3. BEDDING ON WATER SERVICE SHALL BE PER OPSD 802.010*.
- 4. * INDICATES O.P.S.D. CAN BE USED AS MODIFIED BY REGION OF HALTON.
- 5. VALVE AND BOX FOR 100mm TO 300mm WATER SERVICE PER REGION STDS.
- 6. COVER SHALL BE 1.7m MIN. UNLESS OTHERWISE NOTED.
- 7. CONNECTION TO EXISTING WATERMAIN SHALL BE PER REGION OF HALTON STD RH 409.010.
- 8. WATER SYSTEM SHALL BE TESTED AND DISINFECTED TO MEET REGIONAL REQUIREMENTS.
- 9. HYDRANTS SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C502 AND SHALL HAVE STEAMER PORTS AS PER REGION STANDARD SPECIFICATIONS (SEE NOTE 12). ALL HYDRANTS SHALL BE INSTALLED AS PER OPSD 1105.010*. IF HYDRANT BARREL DEPTH EXCEEDS 1.7m A HYDRANT THAT CAN BE RAISED FROM THE BOTTOM WITHOUT INCREASING ROD LENGTH IS TO BE USED.
- 10. MINIMUM LATERAL SEPARATION FROM OTHER UTILITIES IS 2.5m.
- 11. WATERMAINS MUST HAVE A MINIMUM VERTICAL CLEARNACE OF 0.30m (12 INCHES) OVER, 0.50m (20 INCHES) UNDER SEWERS AND ALL OTHER UTILITIES.
- 12. STORZ PUMPER CONNECTION FOR HYDRANTS AS FOLLOWS:
- 13. TWO (2) 63.5mm (2 1/2") WITH CSA STANDARD THREAD, 63.5mm I.D., 5 THREADS PER 25mm, 31.75mm SQUARE OPERATING NUT; AND STORZ CAP PAINTED GLOSS BLACK.

SANITARY SEWERS

- 1. ALL SANITARY SEWERS SHALL BE PVC SDR28, BEDDING PER OPSD 802.010*.
- 2. SANITARY MANHOLE SHALL BE AS PER OPSD 701.010* c/w COVER PER OPSD 401.010*, STEPS PER OPSD 405.010.
- 3. * INDICATES O.P.S.D. CAN BE USED MODIFIED BY REGION OF HALTON.
- 4. BENCHING IN MANHOLES SHALL BE UP TO THE OBVERT OF THE PIPE.

STORM SEWERS

- 1. ALL STORM SEWERS 600 mm AND SMALLER SHALL BE PVC SDR35 WITH BEDDING PER OPSD 802.010 UNLESS OTHERWISE NOTED
- 2. ALL STORM SEWERS 675 mm AND LARGER SHALL BE REINFORCED CONCRETE PIPE CLASS 65-D CSA A257.2 COMPLETE WITH BEDDING PER OPSD 802.030.
- 3. CATCHBASIN SHALL BE PER OPSD 705.010, DOUBLE CATCHBASIN PER OPSD 705.020 C/W GRATE PER OPSD 400.020
- 4. CATCHBASINS IN LANDSCAPED AREAS SHALL BE SUMPLESS AND C/W BEEHIVE TOP AS PER TOWN STD.5-2
- 5. ALL CATCHBASINS IN LANDSCAPED AREAS SHALL BE INSTALLED WITH A SUB-DRAIN. SUB-DRAIN TO BE 100mm DIA. PERFORATED PIPE C/W FILTER SOCK SURROUNDED BY 13mm CLEAR STONE AS PER SUB-DRAIN DETAIL
- 6. ALL CATCHBASIN LEAD SHALL 250mm DIA. AT 2.0% MIN. UNLESS OTHERWISE NOTED.
- 7. ALL CATCHBASIN MANHOLES SHALL BE BENCHED.
- 8. ALL STORM MANHOLES SHALL BE 1200mm DIA PER OPSD 701.010 c/w COVER PER OPSD 401.010, UNLESS OTHERWISE NOTED.
- 9. ALL CATCHBASIN AND CATCHBASIN MANHOLES IN PAVED AREAS SHALL BE INSTALLED WITH 3.0m - 100mmØ PERFORATED PIPE C/W FILTER SOCK EXTENDING OUT FROM THE CATCHBASIN AND LOCATED BELOW THE SUBGRADE SURROUNDED BY 50mm GRANULAR 'A'

GRADING NOTES

- 1. ALL TOPSOIL SHALL BE STRIPPED PRIOR TO GRADING.
- 2. ALL FILL PLACEMENT SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
- 3. RETAINING WALLS WITH A HEIGHT GREATER THAN 0.6m ARE TO BE DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER.
- 4. ALL DISTURBED AREAS TO BE RESTORED WITH 200mm TOPSOIL AND SEED.
- 5. ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT-OF-WAY TO BE RESTORED WITH 200mm TOPSOIL AND SOD.
- 1. ALL WORKS WITHIN THE PUBLIC ROADWAY TO RESTORED TO THE SATISFACTION OF THE MUNICIPALITY.
- 6. ALL CURBING SHALL BE 150mm HIGH BARRIER CURB PER OPSD 600.110, UNLESS OTHERWISE NOTED

SERVICING NOTES

- 1. UNLESS NOTED OTHERWISE, ALL UTILITIES SHALL BE BACKFILLED WITH GRANULAR BACKFILL COMPACTED TO 98% S.P.M.D.D. NATIVE BACKFILL MAY BE USED WITH THE PERMISSION OF THE GEOTECHNICAL CONSULTANT. BEDDING AND COVER MATERIAL SHALL BE PER THE GEOTECHNICAL CONSULTANTS' RECOMMENDATIONS.
- 2. BACKFILLING AND RESTORATION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE TOWN OF OAKVILLE ROAD CUT PERMIT AND TO THE SATISFACTION OF THE ENGINEERING & CONSTRUCTION DEPARTMENT.
- 3. SURROUND ALL MANHOLES WITH A MINIMUM OF 1.0m COMPACTED GRANULAR 'C' BACKFILL.
- 4. ALL ENDS OF SERVICE CONNECTIONS SHALL BE MARKED WITH 50x100 LUMBER PLACED FROM INVERT OF SERVICE TO 1.0m ABOVE GRADE.
- 5. ALL SEWERS SHALL BE FLUSHED AND CCTV INSPECTED AT COMPLETION.
- 6. ALL REMOVED OR DAMAGED CURBS, SIDEWALK, GRANULARS, ASPHALT AND SOD RESULTING FROM SERVICE INSTALLATION SHALL BE REINSTATED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY.

EROSION AND SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE TO CLEAN ALL MUD TRACKED ON TO ADJACENT ROADWAYS.
- 2. THE MEASURES AS PROPOSED MAY BE MODIFIED AT THE DISCRETION OF THE ENGINEER TO SUIT THE PROPOSED CONSTRUCTION PROGRAMS. THE GENERAL INTENT OF THE PROPOSED EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES.
- 3. ANY DISTURBED AREA NOT SCHEDULED FOR FURTHER CONSTRUCTION WITHIN 30 DAYS SHALL BE PROVIDED WITH A TEMPORARY SEED.
- 4. INSTALL CATCHBASIN SEDIMENT CONTROL ON EXISTING CATCHBASINS PRIOR TO START OF CONSTRUCTION.
- 5. INSTALL CATCHBASIN SEDIMENT CONTROL ON NEW CATCHBASINS AT TIME OF INSTALLATION.
- 6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO THE APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED GROUND COVER.
- 7. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
 - WEEKLY
 - BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
 - FOLLOWING AN UNPREDICTED RAINFALL EVENT
 - DAILY, DURING EXTENDED DURATION RAINFALL EVENTS
 - AFTER SIGNIFICANT SNOW MELT EVENTS
- 8. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.

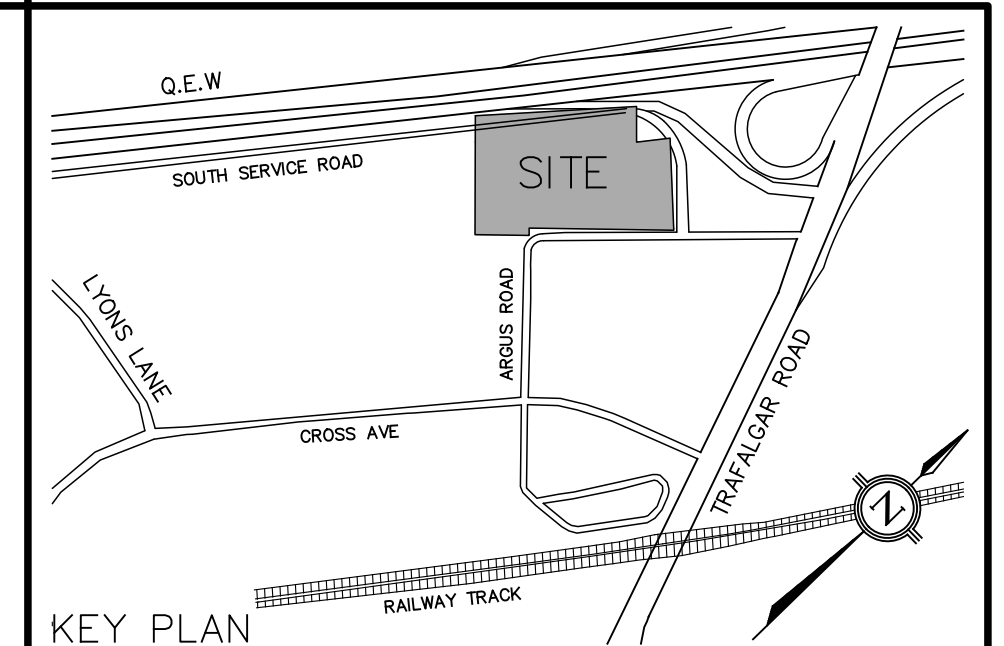
- 9. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPULLED WATER CAN BE FREELY RELEASED TO A SUITABLE RECEIVER, THE EXPULLED WATER SHALL BE TREATED TO CAPTURE SUSPENDED PARTICLES GREATER THAN 40 MICRON IN SIZE. THE CAPTURED SEDIMENT SHALL BE DISPOSED OF PROPERLY PER MOECC GUIDELINES. THE CLEAN EXPULLED WATER SHALL FREELY RELEASE TO A SUITABLE RECEIVER THAT DOES NOT CREATE DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO EROSION, FLOODING - NUISANCE OR OTHERWISE, INTERFERENCE ISSUES, ETC.
- 10. EXISTING STORM SEWER AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM THE SITE. FOR STORM SEWERS: ALL INLETS (REAR LOT CATCHBASINS, ROAD CATCHBASINS, PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR DRAINAGE DITCHES: THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCE, SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT. THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ABOVE.
- 11. IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM THE SITE, THE OWNER OR OWNERS AGENT SHALL IMMEDIATELY NOTIFY THE MOECC AND FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OF OWNERS AGENT WILL ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

CONSTRUCTION NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY TRAFFIC CONTROLS, PER MTO BOOK 7.
- 2. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT, WITH CONTROL BARS PROVIDED BY THE OWNER. PROTECTION OF CONTROL BARS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 3. CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, INCLUDING VAC TRUCK AND RESTORATION AS REQUIRED.
- 4. CONTRACTOR SHALL PROVIDE THIRD-PARTY DIGITAL AS-BUILTS IN CAD. TO INCLUDE ALL NEW SITE SERVICING INCLUDING TOPS AND INVERTS, AND FINISHED GRADES, INCLUDING PAVED AREAS, SWALES, CURBS, SIDEWALKS AND RETAINING WALLS, TO THE SATISFACTION OF THE ENGINEER.
- 5. CONTRACTOR SHALL FLUSH AND VIDEO ALL EXISTING SEWERS PRIOR TO AND AFTER CONNECTION, AND NEW AND DISTURBED SEWERS UPON INSTALLATION AND LATER UPON COMPLETION OF TOP WORKS AND LANDSCAPING, PER OPSS 409. VIDEOS TO BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.

TREE PROTECTION NOTES

- 1. TREE PROTECTION BARRIERS SHALL BE PLACED AS PER TOWN OF OAKVILLE STANDARD.
- 2. ADDITIONAL TREE PROTECTION LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE TOWN OF OAKVILLE AND/OR THE ENGINEER.



LEGEND

Empty table for legend entries.

Table with 4 columns: NO., DATE, BY/DRAWN, REVISIONS. Contains revision history for the drawing.

Table with 2 columns: CAD FILE: 1798GS.dwg, PLOT SCALE: 1:1, PLOT DATE: Mar 18, 2024

ELEVATION NOTE

ELEVATIONS ARE OF GEODETIC ORIGIN (CGVD-1928:78), AND ARE DERIVED FROM GNSS OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEOD MODEL HTZ.0

LOCAL BENCHMARK

CUT CROSS IN CONCRETE SIDEWALK, LOCATED ON THE SOUTH SIDE OF ARGUS ROAD, APPROXIMATELY 11.6 METRES FROM THE WESTERN CORNER OF THE BUILDING AT No. 587 ARGUS ROAD AND 5.3 METRES FROM A WATER VALVE IN THE ROAD, AS SHOWN ON THE FACE OF PLAN. ELEVATION=104.28m

THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 17, 2022, BY J.D.BARNES LTD, LAND INFORMATION SPECIALISTS

Professional Engineer seal for N. A. SYLVESTER, 100199487, March 2024, Province of Ontario. Includes 'DESIGNED BY' and 'APPROVED BY' fields.

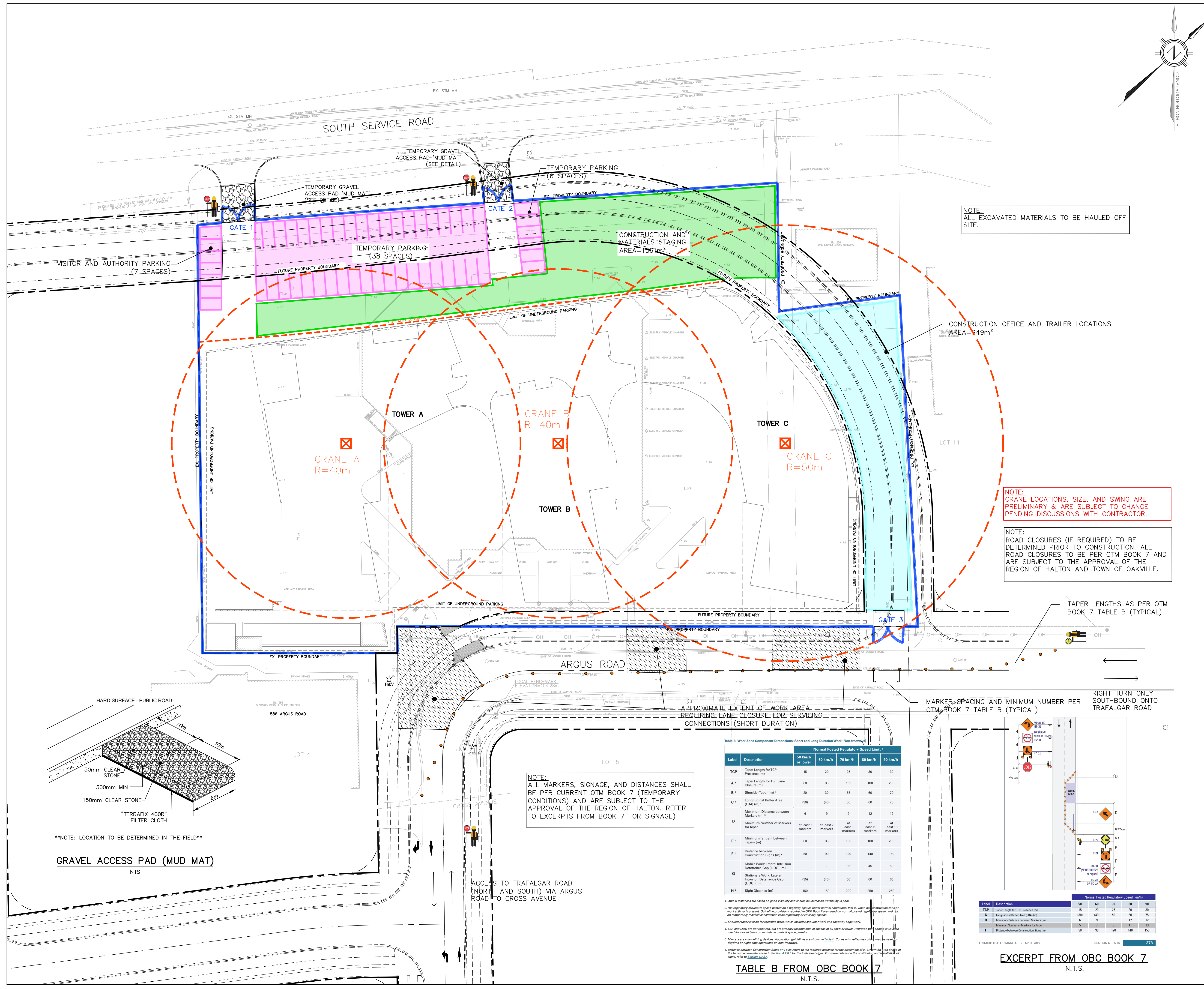
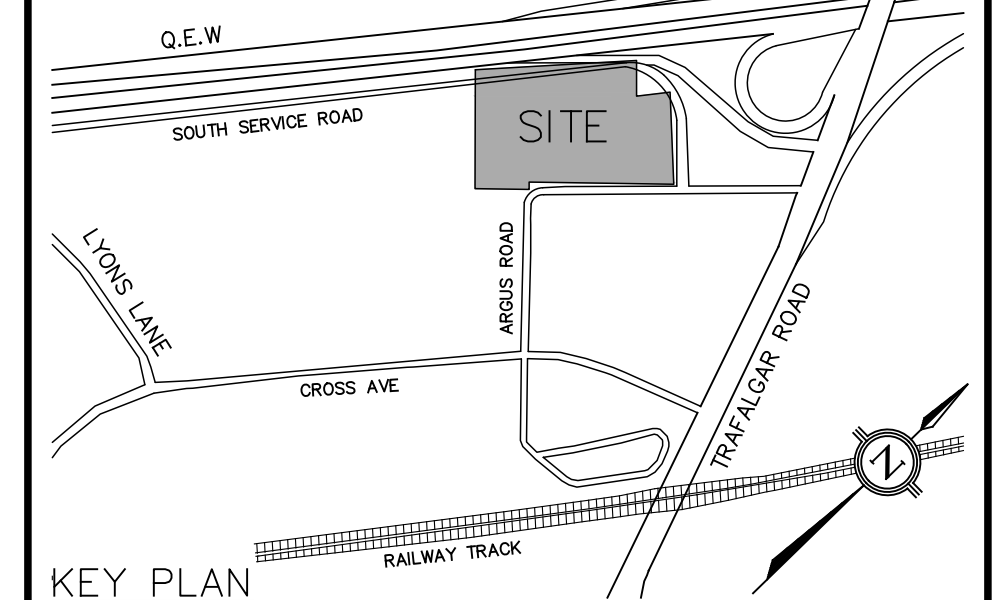
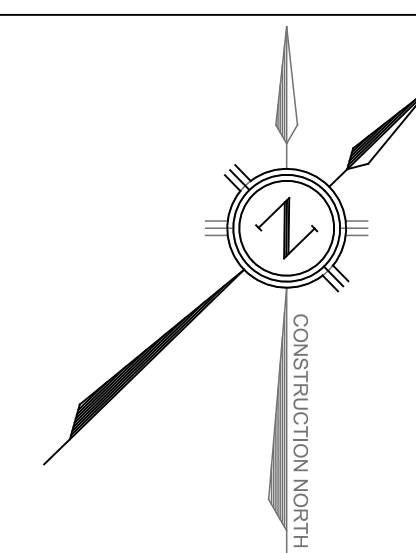
TRAFALGAR ENGINEERING logo and contact information: #1-481 MORDEN ROAD, OAKVILLE, ON, L6K 3W6, www.trafalgareng.com

PROJECT TITLE: DISTRIKT 590 ARGUS PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT DISTRIKT DEVELOPMENTS

LOCATION: 590 ARGUS RD. OAKVILLE, ONTARIO

GENERAL NOTES

Table with 4 columns: SCALE (1:300), DESIGN BY (MW), PROJECT No. (1798), DRAWN BY (ZJ), CHECKED BY (NAS), PLAN No. (N1)



NOTE: ALL EXCAVATED MATERIALS TO BE HAULLED OFF SITE.

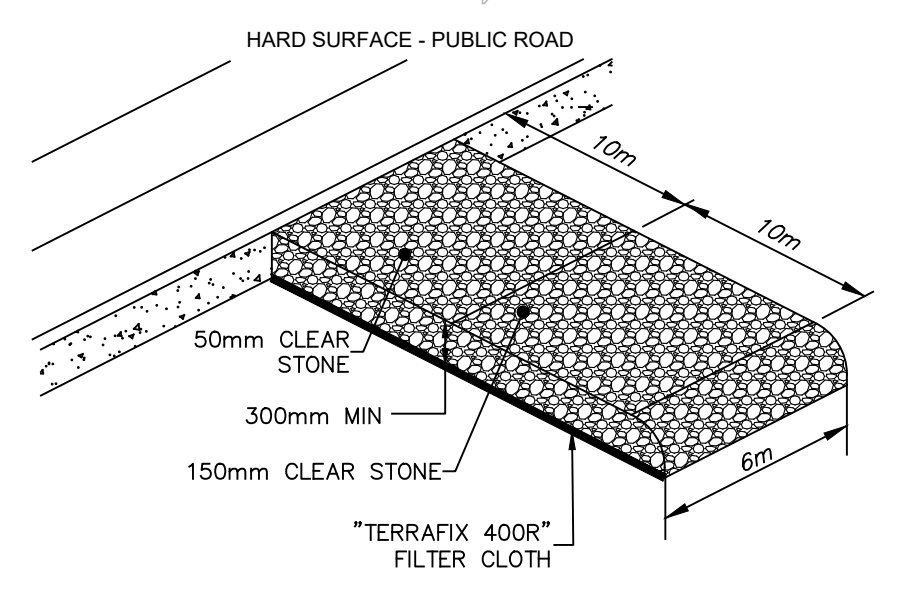
NOTE: CRANE LOCATIONS, SIZE, AND SWING ARE PRELIMINARY & ARE SUBJECT TO CHANGE PENDING DISCUSSIONS WITH CONTRACTOR.

NOTE: ROAD CLOSURES (IF REQUIRED) TO BE DETERMINED PRIOR TO CONSTRUCTION. ALL ROAD CLOSURES TO BE PER OTM BOOK 7 AND ARE SUBJECT TO THE APPROVAL OF THE REGION OF HALTON AND TOWN OF OAKVILLE.

TAPER LENGTHS AS PER OTM BOOK 7 TABLE B (TYPICAL)

MARKER SPACING AND MINIMUM NUMBER PER OTM BOOK 7 TABLE B (TYPICAL)

RIGHT TURN ONLY SOUTHBOUND ONTO TRAFALGAR ROAD



NOTE: LOCATION TO BE DETERMINED IN THE FIELD

GRAVEL ACCESS PAD (MUD MAT)
N.T.S.

NOTE: ALL MARKERS, SIGNAGE, AND DISTANCES SHALL BE PER CURRENT OTM BOOK 7 (TEMPORARY CONDITIONS) AND ARE SUBJECT TO THE APPROVAL OF THE REGION OF HALTON. REFER TO EXCERPTS FROM BOOK 7 FOR SIGNAGE

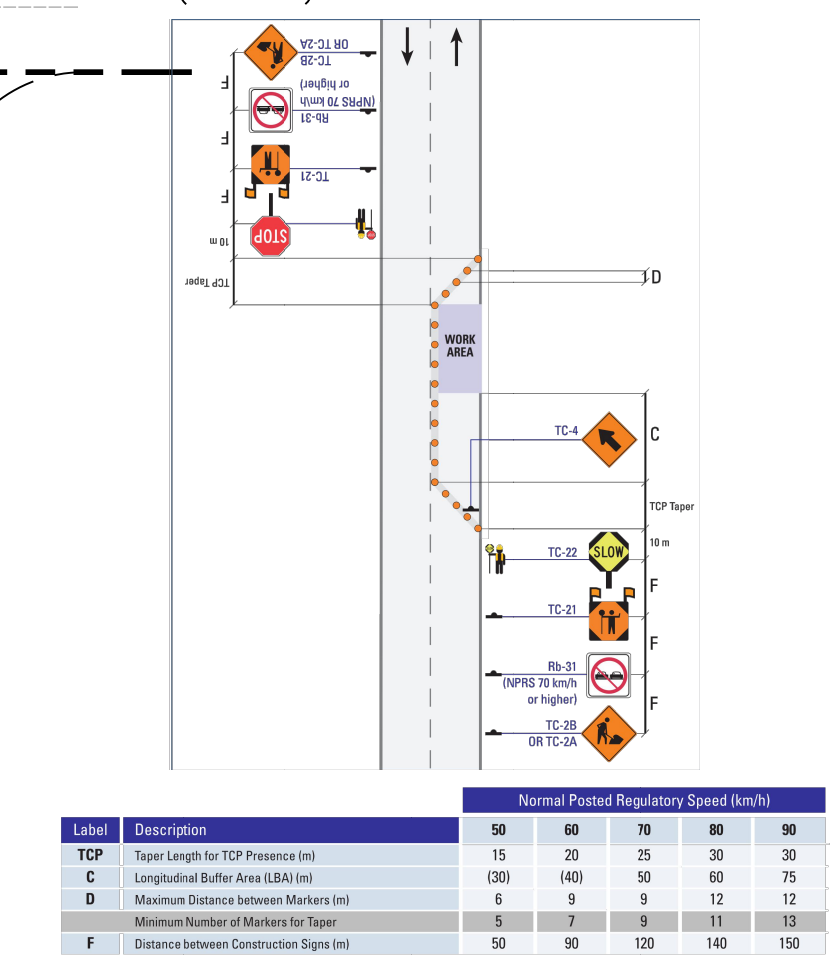
ACCESS TO TRAFALGAR ROAD (NORTH AND SOUTH) VIA ARGUS ROAD TO CROSS AVENUE

Table B Work Zone Component Dimensions: Short and Long Duration Work (Non-Resurfacing)

Label	Description	Normal Posted Regulatory Speed Limit*			
		50 km/h or lower	60 km/h	70 km/h	80 km/h
TCP	Taper Length for TCP Presence (m)	15	20	25	30
A	Taper Length for Full Lane Closure (m)	60	85	155	200
B	Shoulder Taper (m)†	30	30	55	60
C	Longitudinal Buffer Area (LSA) (m)‡	(30)	(40)	50	60
D	Minimum Distance between Markers (m)§	6	9	9	12
E	Minimum Number of Markers for Taper	at least 7 markers	at least 9 markers	at least 11 markers	at least 13 markers
F	Distance between Construction Signs (m)¶	50	90	120	140
G	Mobile Work: Lateral Intrusion Distance Gap (LIDG) (m)	-	-	35	45
H	Stationary Work: Lateral Intrusion Distance Gap (LIDG) (m)	(35)	(40)	50	60
H'	Sight Distance (m)	150	150	200	250

1. Table B distances are based on good visibility and should be increased if visibility is poor.
 2. The regulatory maximum speed posted on a highway applies under normal conditions that is, when no construction or work activity is present. Conditions or restrictions required in OTM Book 7 are based on normal posted regulatory speed and/or on temporarily reduced construction site regulatory or advisory speeds.
 3. Shoulder taper is used for roadside work, which includes shoulder work and roadway edge work.
 4. LSA and LIDG are not required, but are strongly recommended, at speeds of 60 km/h or lower. However, they should be used for closed lanes on multi-lane roads to provide protection.
 5. Markers are flashing devices. Application guidelines are shown in Table C. Cones with reflective collars may be used for daytime or night time operations on non-highways.
 6. Distance between Construction Signs (F) also refers to the required distance for the placement of a TCP. Sign spacing of the hazard where referenced in Section 4.2.2 for the individual signs. For more details on the positioning of construction signs, refer to Section 4.2.2.2.

TABLE B FROM OBC BOOK 7
N.T.S.



EXCERPT FROM OBC BOOK 7
N.T.S.

- LEGEND
- STAGING AREA
 - TEMPORARY PARKING AREA
 - CONSTRUCTION OFFICE AND TRAILER AREA
 - SITE FENCING

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA

CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 18, 2024

ELEVATION NOTE
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LOCAL BENCHMARK
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THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 17, 2022, BY J.D. BARNES LTD, LAND INFORMATION SPECIALISTS

DESIGNED BY: APPROVED BY:

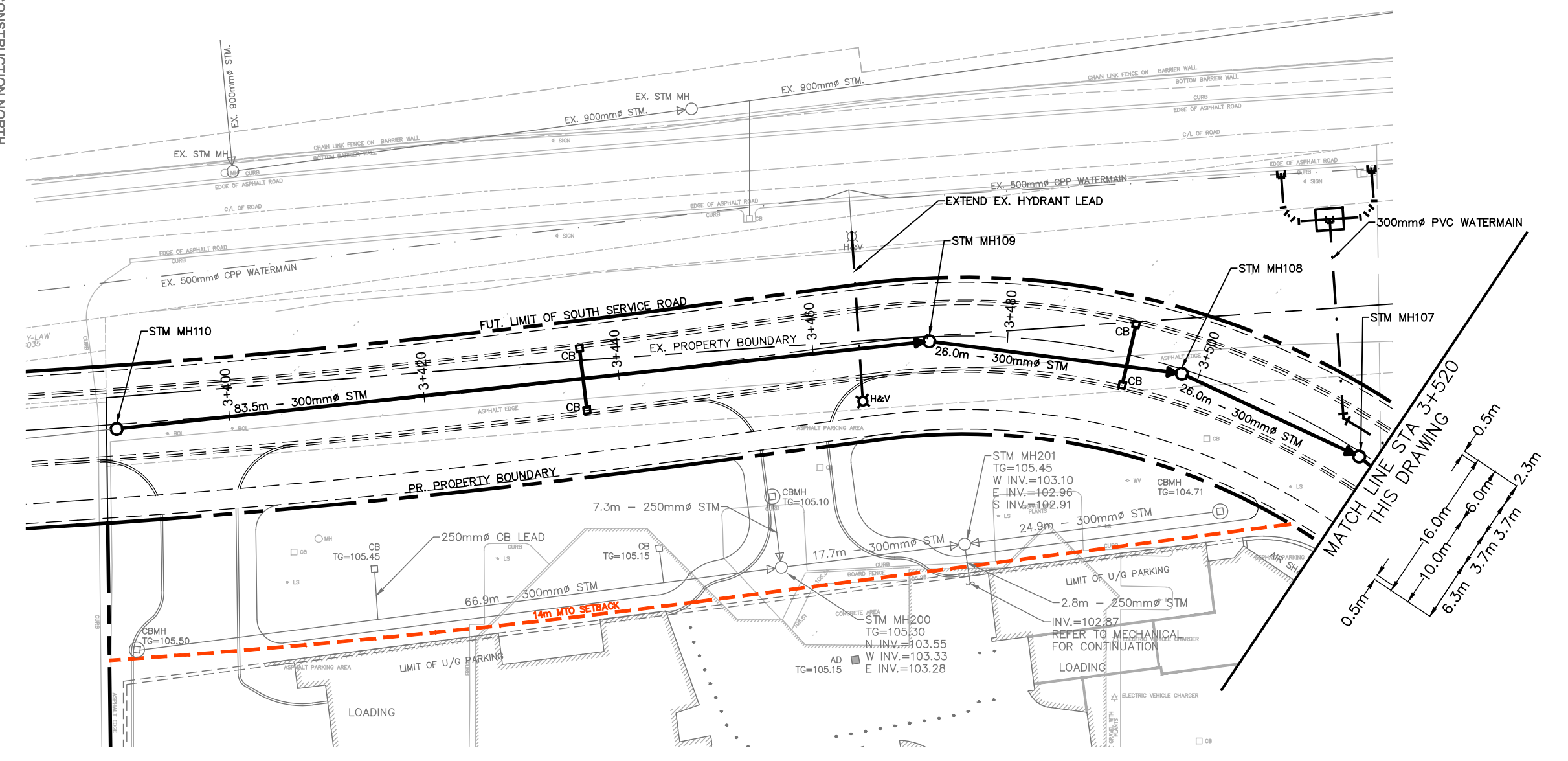
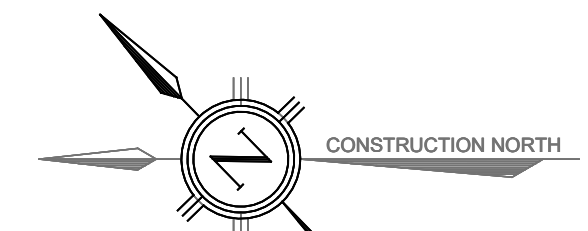
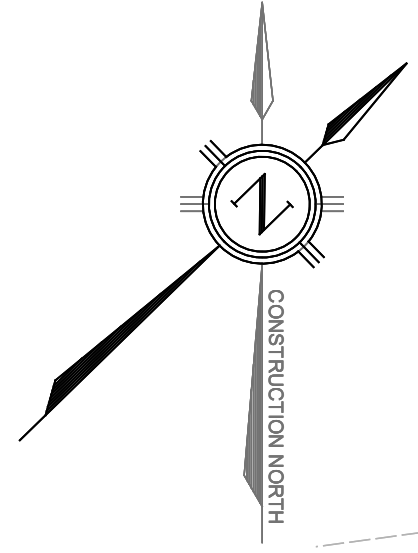
CONSULTANT: **TRAFALGAR ENGINEERING**
81-481 MORDEN ROAD, OAKVILLE, ON, L6K 3W6
www.trafalgareng.com

PROJECT TITLE: **590 ARGUS PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT DISTRIKT DEVELOPMENTS**

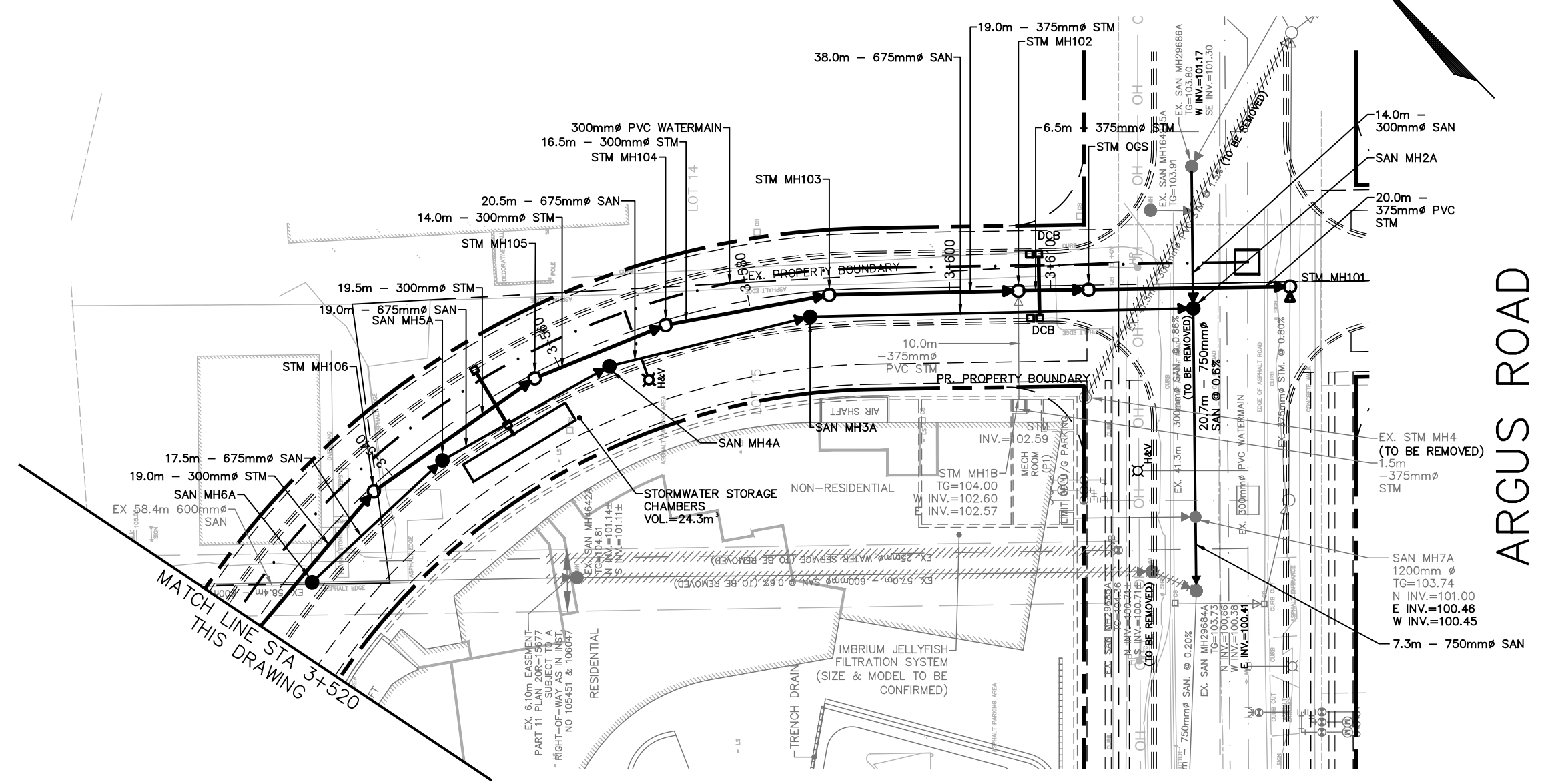
LOCATION: **590 ARGUS RD. OAKVILLE, ONTARIO**

DRAWING TITLE: **PRELIMINARY CONSTRUCTION & TRAFFIC MANAGEMENT PLAN**

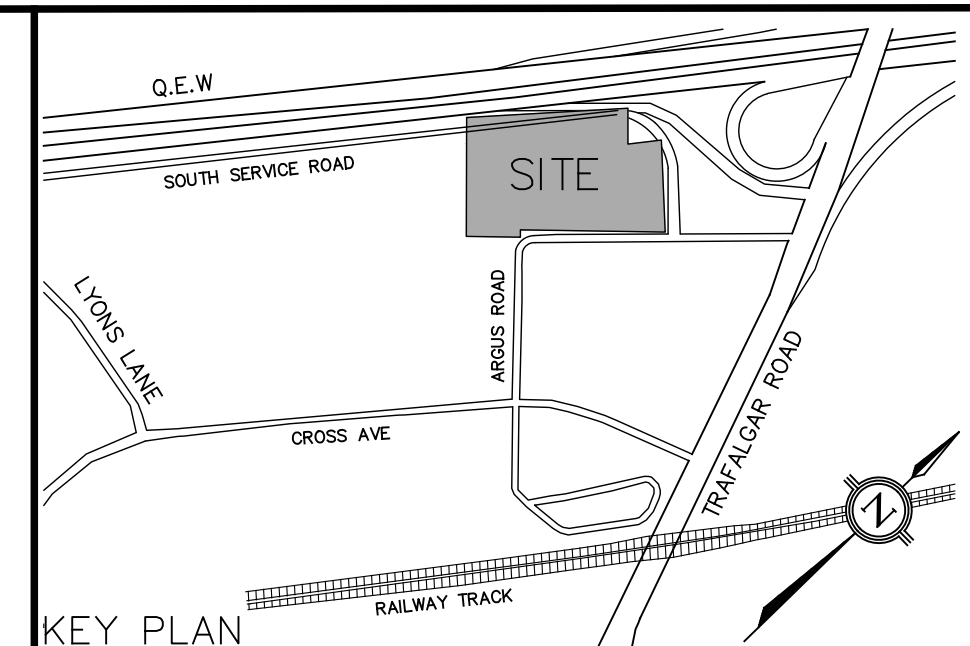
SCALE: 1:400	DESIGN BY: MW	PROJECT No.: 1798
DRAWN BY: ZI	CHECKED BY: NAS	PLAN No.: CTMP
DATE: 2022/10/26	SHEET: 2 OF 2	



SOUTH SERVICE ROAD



SOUTH SERVICE ROAD



KEY PLAN

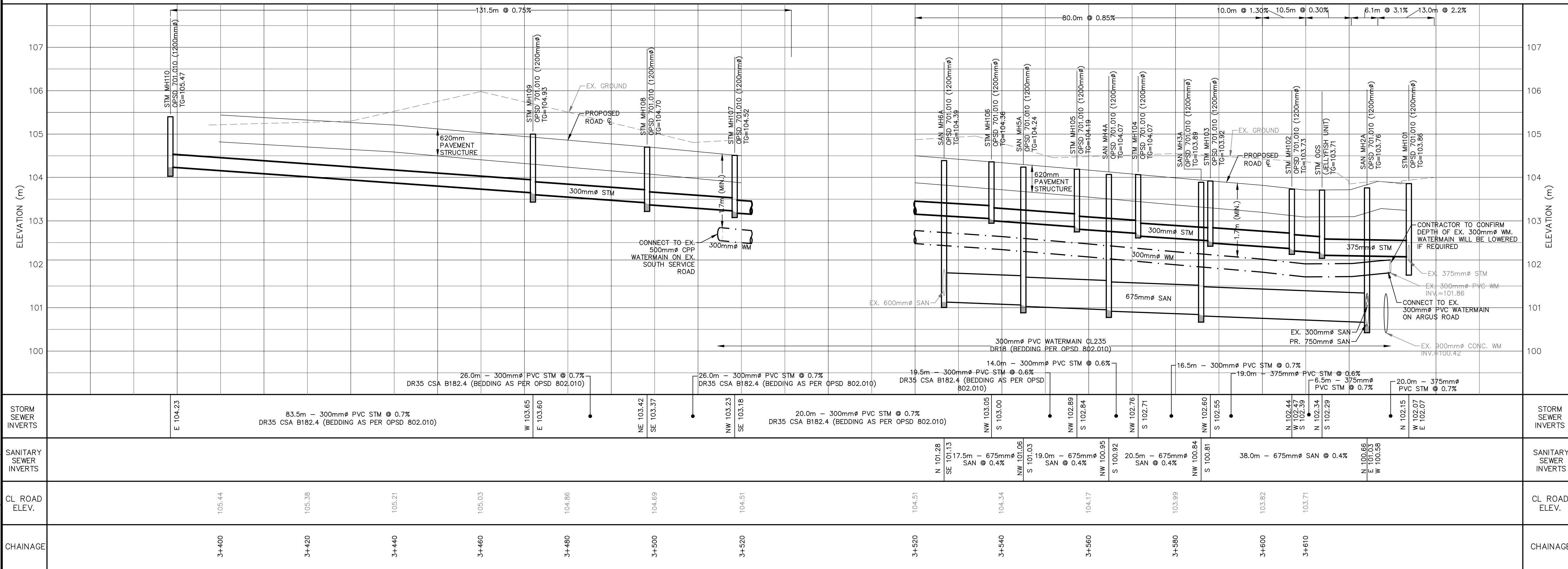
LEGEND

	PROPOSED STORM MANHOLE
	PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SEWER
	PROPOSED WATER SERVICE
	PROPOSED WATER SERVICE
	EX. SANITARY MANHOLE
	EX. SANITARY SEWER
	EX. STORM MANHOLE
	EX. STORM SEWER
	EX. CATCHBASIN
	EX. HYDRANT & VALVE
	EX. WATER VALVE
	EX. WATERMAIN
	EX. GASMAIN
	EX. OVERHEAD WIRE
	EX. HYDRO SERVICE
	PROPERTY LINE

BENCHMARK
 ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK 0-186 HAVING AN ELEVATION OF 86.605m (CGVD-1928:1978).

NOTE
 THE TOPOGRAPHIC DETAIL SHOWN HEREON IS OBTAINED FROM TARASICK McMILLIAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, COMPLETED ON THE 28TH OF OCTOBER, 2022.

PAVEMENT STRUCTURE:
 40mm HL3
 80mm HL8
 150mm GRANULAR 'A'
 350mm GRANULAR 'B'



1	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
No.	DD/MM/YY	By/DRN	REVISIONS
Design	-	Chkd	Cad File 1798GS.dwg
Drawn	-	Chkd	Plot Date 03/18/24

Scale	0 5 10 20 25 1:500	References
APPROVALS	Field Notes	
Municipal	APPROVED IN PRINCIPLE SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO TOWN OF OAKVILLE STANDARDS AND SPECIFICATIONS.	
Regional Approval	DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.	

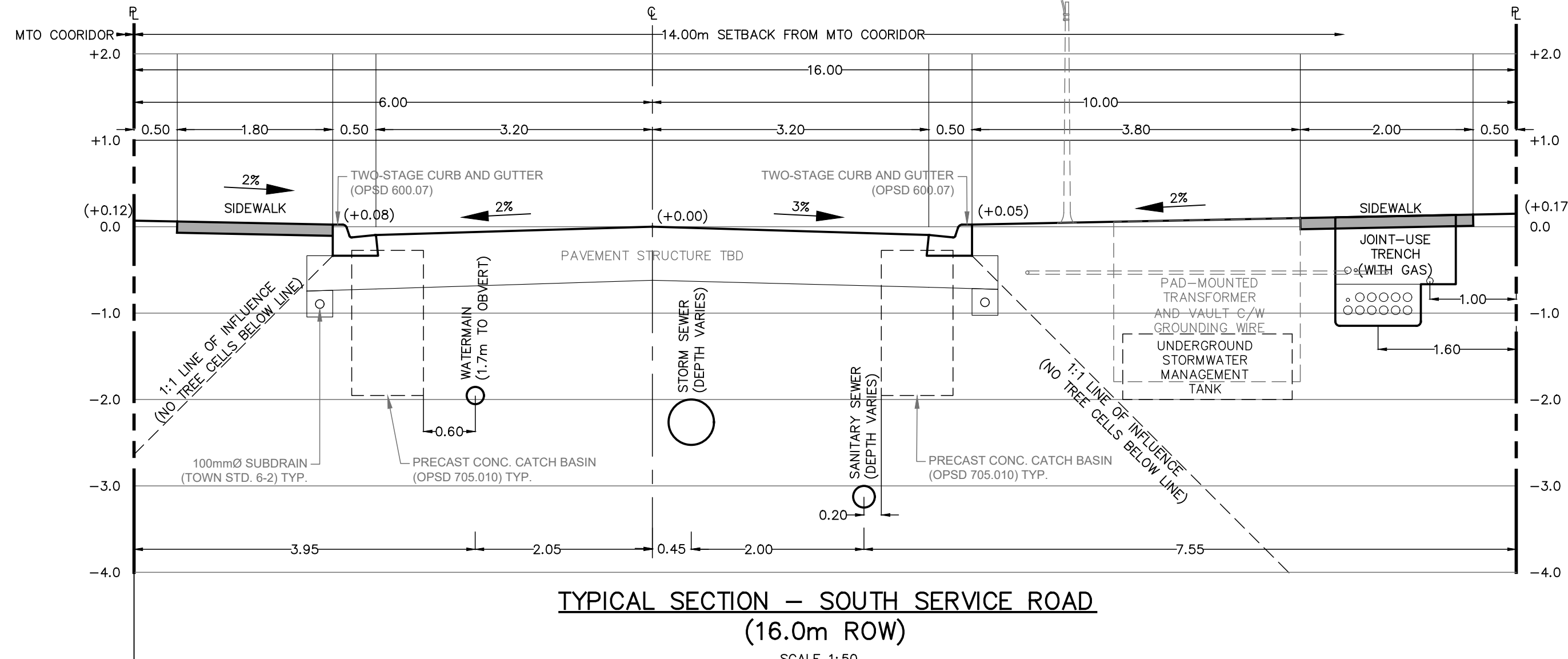


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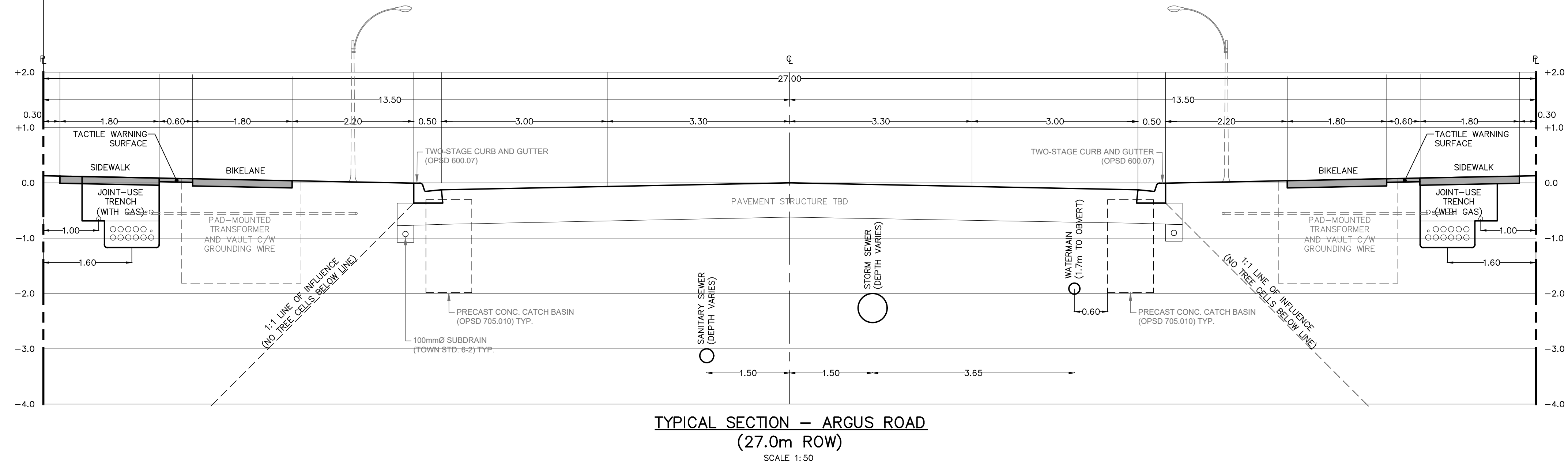
OAKVILLE **Halton REGION**

Title		590 ARGUS (DISTRIKT DEVELOPMENTS) CONCEPTUAL SOUTH SERVICE ROAD PLAN AND PROFILE STA 3+388.5 TO 3+633.75	
Municipal No.	-	Regional No.	-
Contract No.	-	Consultant No.	1798
Sheet	-		P1

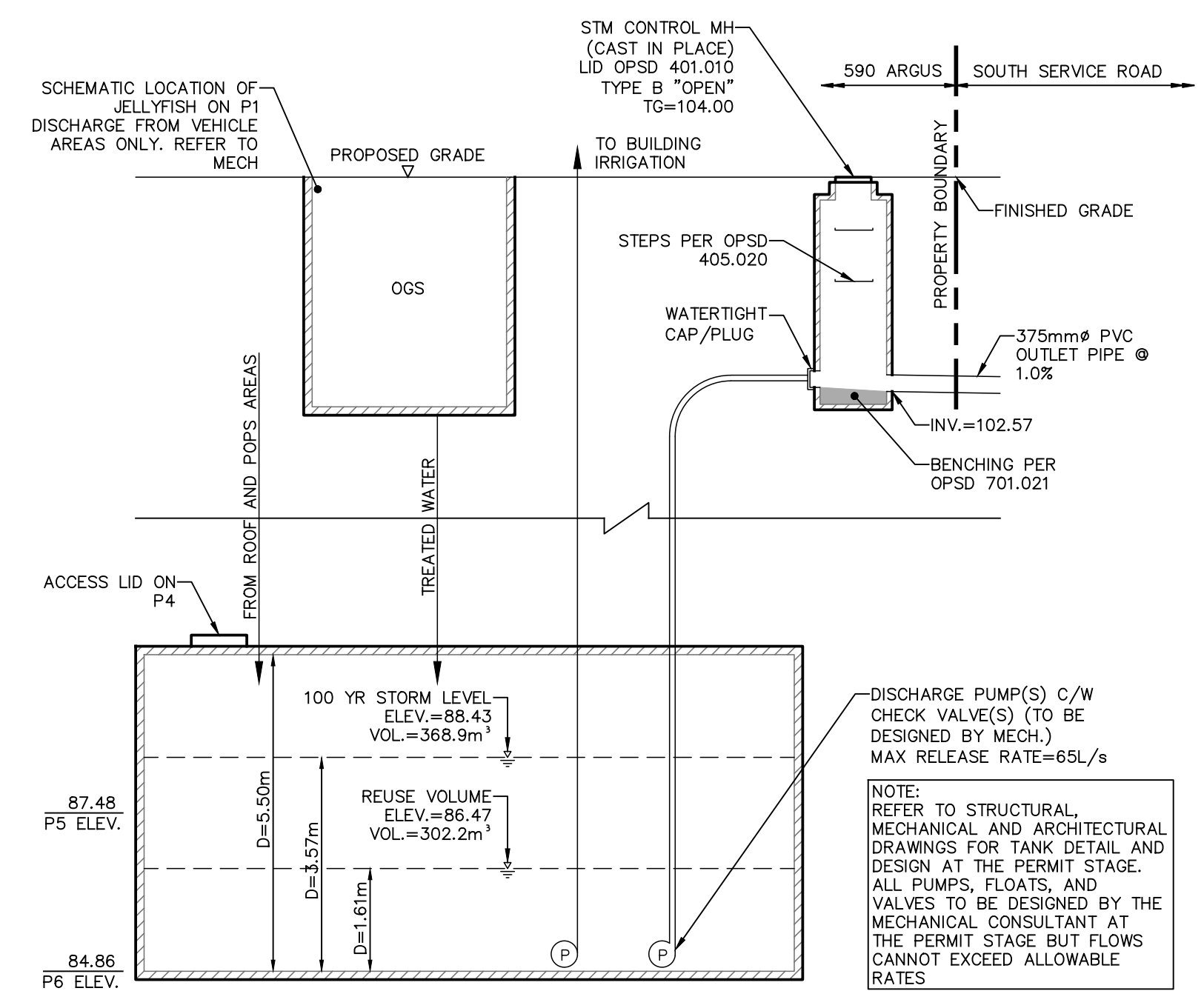
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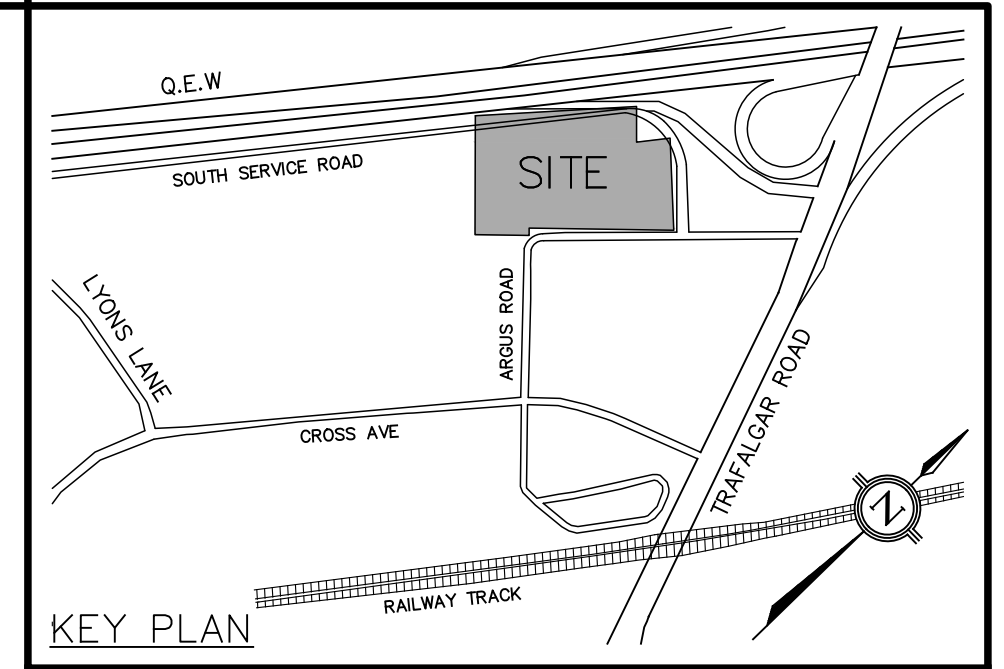
TYPICAL SECTION - SOUTH SERVICE ROAD
(16.0m ROW)
SCALE 1:50



TYPICAL SECTION - ARGUS ROAD
(27.0m ROW)
SCALE 1:50



CONCEPTUAL STORMWATER MANAGEMENT TANK SECTION
SCALE N.T.S.



LEGEND

NO.	DATE	BY/DRAWN	REVISIONS
3	MAR 18, 2024	MW/ZI	RE-ISSUED FOR OPA/ZBA
2	APR 06, 2023	MW/ZI	ISSUED FOR OPA/ZBA
1	MAR 24, 2023	MW/ZI	ISSUED FOR COORDINATION

CAD FILE: 1798GS.dwg | PLOT SCALE: 1:1 | PLOT DATE: Mar 18, 2024

ELEVATION NOTE
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LOCAL BENCHMARK
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THE TOPOGRAPHIC DETAIL SHOWN HEREON WAS ACQUIRED ON MAY 17, 2022, BY J.D.BARNES LTD, LAND INFORMATION SPECIALISTS

DESIGNED BY: APPROVED BY:

CONSULTANT: **TRAFALGAR ENGINEERING**
81-481 MORDEN ROAD, OAKVILLE, ON, L6K 3W6
www.trafalgareng.com

PROJECT TITLE: **DISTRIKT 590 ARGUS**
PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT
DISTRIKT DEVELOPMENTS

LOCATION: **590 ARGUS RD.**
OAKVILLE, ONTARIO

DRAWING TITLE: **TYPICAL SECTIONS**

SCALE	AS NOTED	DESIGN BY	MW	PROJECT No.	1798
DRAWN BY	ZI	CHECKED BY	NAS	PLAN No.	D1
DATE	2022/10/26	SHEET	1 OF 1		

FILENAME: P:\1798_District_590_Argus\04-CAD\04-Resizing_OPA\1798GS.dwg
PLOT DATE: Mar 18, 2024 - 1:16pm