

DRAFT

Plan and Guidelines
Old Oakville
Heritage Conservation
District

February 2024

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FEBRUARY 2024**

**Old Oakville
Heritage Conservation District Plan and Guidelines
Town of Oakville**

Prepared for
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GLOSSARY OF ABBREVIATIONS

ARA – Archaeological Research Associates Ltd.
CHVI – Cultural Heritage Value or Interest
CHL – Cultural Heritage Landscape
CHRIA – Cultural Heritage Resource Impact Assessment
HCD – Heritage Conservation District
MCM – Ministry of Citizenship and Multiculturalism
OBC – Ontario Building Code
OHA – *Ontario Heritage Act*
O. Reg. – Ontario Regulation
OP – Official Plan
PPS – Provincial Policy Statement
S&G – Standards and Guidelines for the Conservation of Historic Places in Canada

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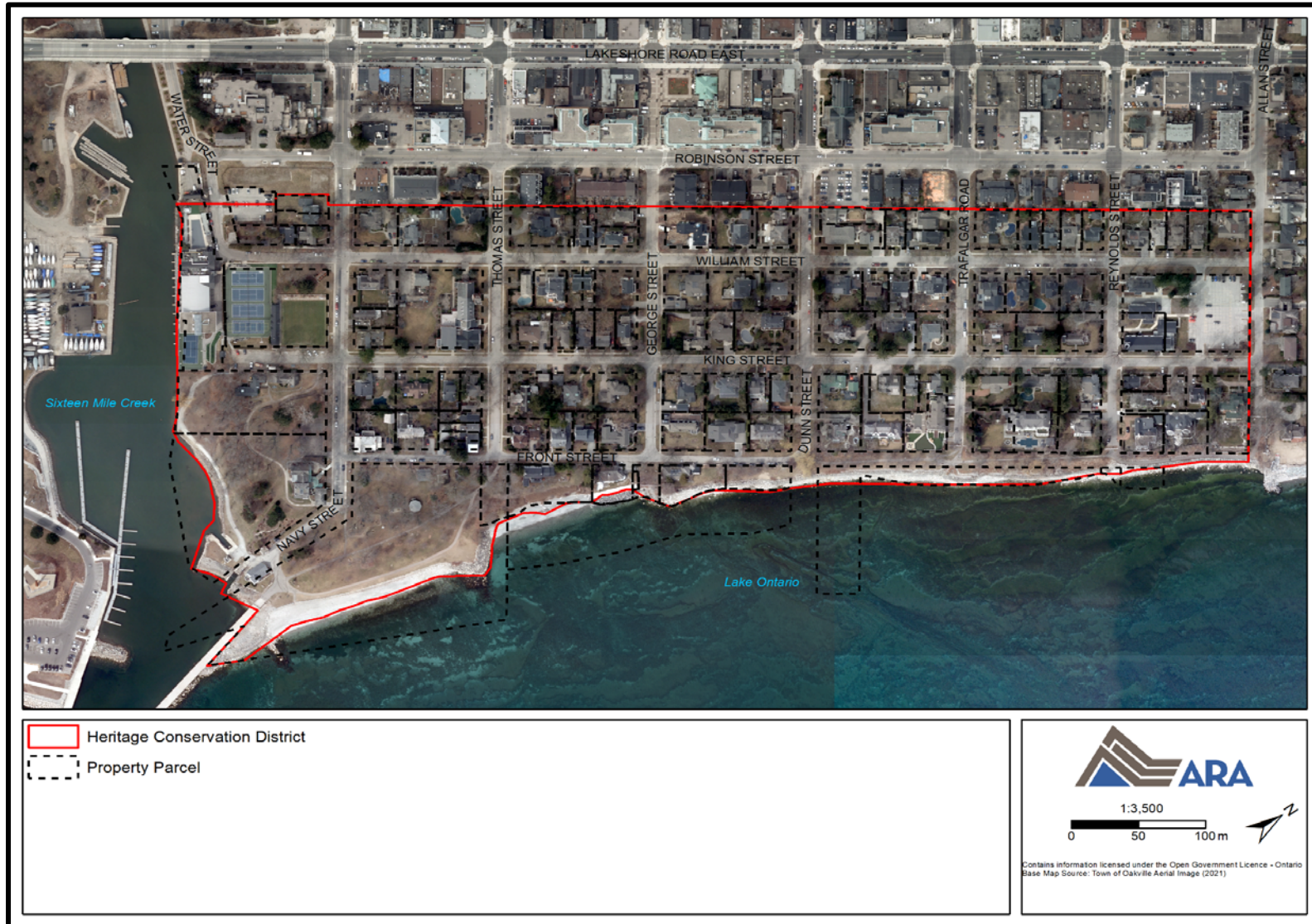
1 INTRODUCTION

On January 2, 1979, Council passed By-law 1979-003 being a bylaw of intent defining the area south of Robinson Street, east of the Sixteen Mile Creek and west of Allan Street to be studied as a Heritage Conservation District (HCD) under the provisions of the *Ontario Heritage Act* (Old Oakville HCD). Three public meetings were held with the Local Architectural Conservation Advisory Committee (LACAC, now known as the Heritage Oakville Advisory Committee) and Planning Department presenting various aspects of the Study. On July 7, 1980, Council adopted the final report on the HCD and stipulated that the document was to be a policy document for the administration of alterations to buildings within the District. The Ministry of Citizenship and Culture subsequently endorsed the document on February 16, 1981. By-laws 1981-144 and 1982-044, which formally designated the Old Oakville Heritage Conservation District, were approved by the Ontario Municipal Board on July 5, 1982.

The Old Oakville HCD is a largely residential area that includes 128 lots as shown in Map 1 below.

Since the Old Oakville HCD was established, there have been numerous changes to heritage legislation and guidelines, including significant updates to the *Ontario Heritage Act* in 2005, 2021 and 2023. In order to ensure the Old Oakville HCD complies with current heritage practices, the creation of a HCD Study and an updated HCD Plan and Guidelines is required.

The new HCD Study was approved by Town Council on February 5, 2024. This document is the second part of the Old Oakville HCD update process: the updated Old Oakville Heritage Conservation District Plan and Guidelines (the Plan). The Plan will provide the basis for the careful management and protection of the area's heritage character including its buildings, spaces, and landscape features.



1.1 What is a Heritage Conservation District?

The *Ontario Heritage Act* is the key provincial legislation that enables municipalities to conserve, protect, and manage heritage properties and areas. There are two parts to the Act that concern cultural heritage: Part IV enables a municipality to designate individual properties that are of cultural heritage value or interest and Part V enables a municipality to designate groups or areas of properties that demonstrate cultural heritage value. The Town of Oakville has designated approximately 160 properties under Part IV and four Heritage Conservation Districts under Part V containing 418 properties (Old Oakville – 117, First and Second Street – 66, Trafalgar Road – 171, Downtown – 64).

Part V of the *Ontario Heritage Act* enables a municipality to designate by by-law all or any part of a municipality as a Heritage Conservation District. Prior to designating a district, it is required by the *Ontario Heritage Act* to study an area in order to identify the cultural heritage value or interest (CHVI) and character of a prospective district. Ontario Regulation 9/06 as amended by Ontario Regulation 569/22 sets out the criteria for designation of a HCD. Specifically, 3. (2).1 notes that 25 percent or more of the properties within the boundaries must meet two or more of the criteria. Guidance on what constitutes a HCD is provided by a number of sources. The Ontario Ministry of Citizenship and Multiculturalism (MCM) (formerly the Ministry of Tourism, Culture and Sport) in its Heritage Toolkit (*Heritage Conservation Districts, A Guide to District Designation Under the Ontario Heritage Act*⁽¹⁾) note that a Heritage Conservation District:

“...may comprise an area with a group or complex of buildings, or a larger area with many buildings and properties. It may also comprise an entire municipality with a concentration of heritage resources with special character or historical association that distinguishes it from its surroundings.”

Designating a HCD is clearly concerned with identifying groups of heritage properties that together with other distinguishing features or attributes form a distinctive place worthy of informed protection and management. The MCM has also noted in its published guidelines (*Heritage Conservation Districts: A Guide to District Designation under the Ontario Heritage Act*) that a Heritage Conservation District typically displays a number of characteristics:

“A concentration of heritage buildings, sites, structures; designed landscapes, natural landscapes that are linked by aesthetic, historical and socio-cultural contexts or use.

A framework of structured elements including major natural features such as topography, landform, landscapes, water courses and built form such as pathways and street patterns, landmarks, nodes or intersections, approaches and edges.

A sense of visual coherence through the use of such elements as building scale, mass, height, material, proportion, colour, etc. that convey a distinct sense of time or place.

A distinctiveness which enables districts to be recognized and distinguishable from their surroundings or from neighbouring areas.”

The Town of Oakville’s Official Plan requires that cultural heritage resources, including HCDs, be protected and conserved in accordance with applicable legislation and recognized heritage protocols. Accordingly, any recommendation concerning the prospective delineation and designation of a district is best considered in the context of the provincial advice noted above.

The Old Oakville HCD is also considered a significant cultural heritage landscape, as noted in the town’s Cultural Heritage Landscape Strategy. Heritage Districts include not only built structures,

but also natural heritage features, lot patterns and setbacks, transportation routes and other associated patterns of development, and recognizes the importance of the landscape as a whole.

The character of the HCD is documented and analysed in the HCD Study. The HCD Study was approved by Town Council in February 2024.

1.2 How to use this Plan

As noted in the HCD Study, the Plan contains a number of provisions that satisfy the requirements of Subsection 41.1(5) of the *Ontario Heritage Act*, including the following:

- A statement of the objectives to be achieved in maintaining the area as a Heritage Conservation District (Section 3)
- A statement explaining the cultural heritage value or interest of the Heritage Conservation District (Section 2.1)
- A description of the heritage attributes of the Heritage Conservation District and of properties in the District (Section 2.2)
- Categorization of properties according to whether they are ‘contributing’ (having heritage value) or ‘non-contributing’ (having no or very limited heritage value) (Section 2.3)
- Design guidelines for alterations and additions to buildings and structures, which are considered to have heritage value (Section 6.2)
- Design guidelines for alterations and additions to buildings and structures which are considered to have no or limited heritage value (Section 6.3)
- Guidelines on new construction as infill development (Section 6.3.3)
- Guidelines on demolition and removal of buildings and structures (Section 6.2.1.3 and 6.3.1.3)
- Landscape conservation guidelines for both public and private property (Sections 6.4 and 6.5)
- Guidelines for streetscape improvements within the HCD (Section 6.4)
- Consideration of the character areas in development of the guidelines (e.g., for Area 4 the height/angular plane should be considered given the topography) (Section 6.6)
- Recommended changes to municipal planning and administrative procedures (HCD Study)
- Up-to-date information on current federal and provincial legislation and Town of Oakville processes and policies as they relate to the HCD. (Section 5)
- Descriptions of alterations or classes of alterations that can be carried out without obtaining a heritage permit under section 42 of the *Ontario Heritage Act* (Section 7)

In order for these guidelines to be interpreted, the below flow chart in Figure 1 indicates the path by which to use this plan for changes to individual properties as well as public spaces.

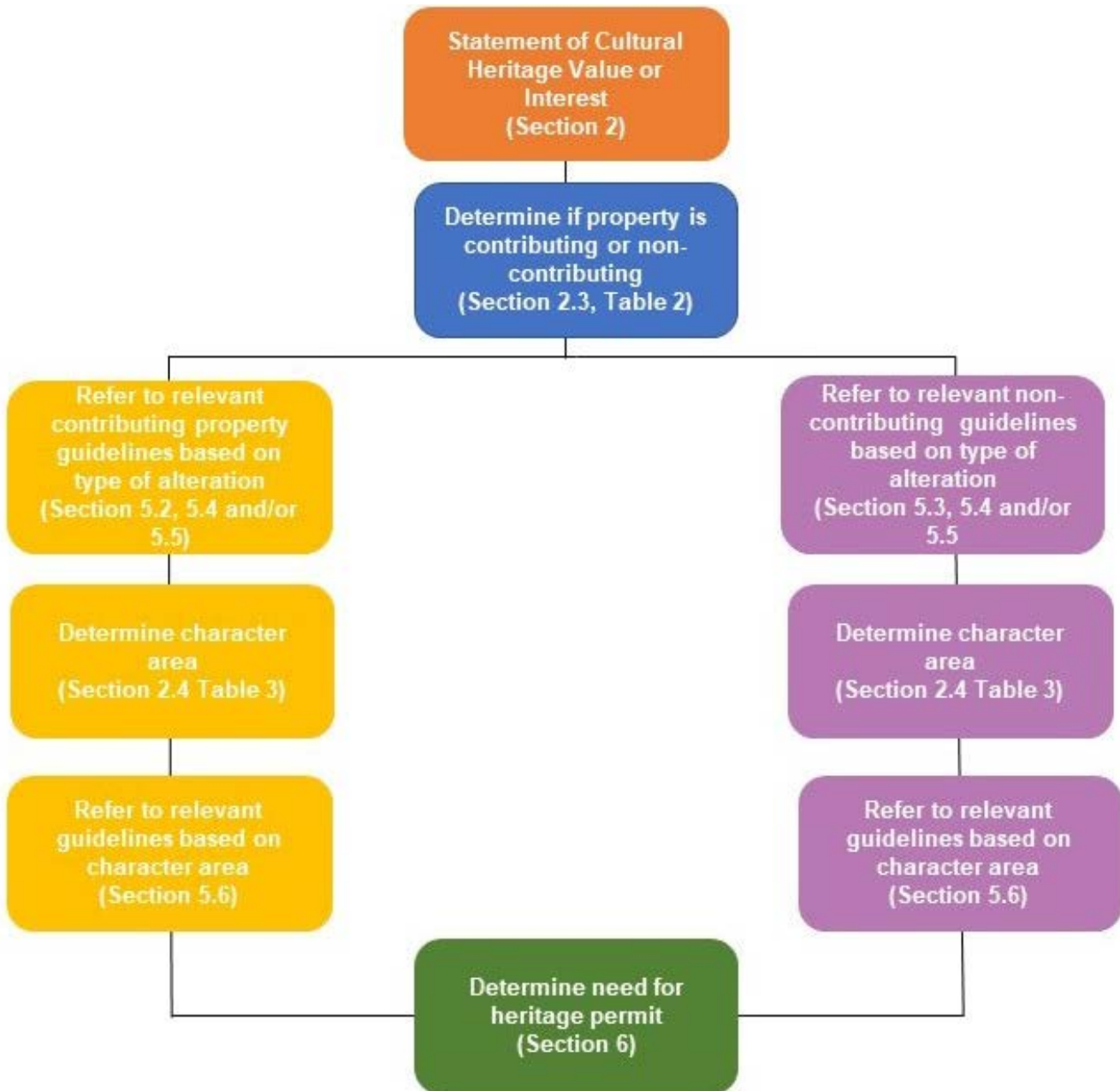





Figure 1: How to Read the HCD Plan





1.3 Public Engagement

The *Ontario Heritage Act*, Part V, Section 41.1, requires that the information related to the HCD Plan, including the HCD Plan document, is made available to the public, as well as presented at least one public meeting and the Municipal Heritage Committee (i.e., Heritage Oakville).

The public engagement plan was set out to not only fulfill the requirements noted above, but to meaningfully engage the community and key stakeholders through the development of both the HCD Study and Plan document updates. The following table outlines the key engagement activities completed during both phases of the project. The HCD Study feedback is included in Sections 2 and 3 of the Old Oakville HCD Study report, and the summary of draft HCD Plan feedback is available in Appendix A.

Table 1: Community and Key Stakeholder Engagement Summary

HCD Study Activities	Engagement Description
<p>Stakeholder Meetings</p> 	<p>Virtual and in-person internal and external stakeholder meetings were held between February 2022 and November 2023. The Town also met with stakeholders as needed or through requests to discuss the Old Oakville HCD. Meetings included internal department heads, Oakville Lakeside Residents Association (OLRA), Oakville Museum, Oakville Public Library, St. Jude’s Anglican Church, and the Oakville Historical Society.</p> <p>Meeting topics included HCD Study introductions, a walking tour, updates on policy related to the study, draft HCD Study updates, and a review of inventory sheets.</p>
<p>StoryMaps</p> 	<p>A StoryMap was developed to introduce the Old Oakville HCD project to the public. StoryMaps are an online resource linked from the website to convey information such as maps, imagery, and multimedia content in a visual way. The StoryMap went live on December 6, 2022 and was updated throughout the project.</p>
<p>Online Surveys</p> 	<p>The first online survey was developed to collect feedback from the public on the approach to the HCD Study. The online survey went live from December 1, 2022 to February 13, 2023, and received a total of 51 responses. The second online survey was specific to collect feedback on the Draft Study and was open from April 3, 2023 to May 19, 2023. The survey received a total of 30 responses.</p>

HCD Study Activities	Engagement Description
<p>Community Meetings</p> 	<p>Three community meetings were held: first was a Study Introduction held on October 21, 2021 by the Town staff, second was a Study Update held on December 6, 2022 by the consultants and the Town staff, and third the Draft HCD Study held on April 18, 2023 by the Town staff.</p> <p>The goal of the community meetings was to provide the public with an introduction to the project, project timelines and opportunities to engage and provide updates on the HCD Study. The community meetings acted as additional opportunities for the public to provide feedback based on what they'd heard so far.</p>
<p>Town, Council and Committee Meetings</p>	<p>Presentation was made to Heritage Oakville on the Draft HCD Study in August 2023, and the Final HCD Study will be presented to the Planning and Development Council Meeting in February 2024.</p>
HCD Plan Activities	Engagement Description
<p>Stakeholder Meetings</p> 	<p>Virtual and in-person internal and external stakeholder meetings to be held in March 2024 to discuss the HCD Plan guidance.</p>
<p>StoryMaps</p> 	<p>A StoryMap was updated to include the Draft and Final HCD Plan.</p>
<p>Community Meetings</p> 	<p>Two community meetings are being held: first was a Plan Introduction held on October 17, 2023 by the Town staff and consultants, and second the Draft HCD Plan to be held in March 2024 by the Town staff and consultants.</p> <p>The goal of the community meetings is to provide the public with an introduction to the HCD Plan and opportunities to provide feedback.</p>
<p>Town, Council and Committee Meetings</p>	<p>Presentation will be made to Heritage Oakville and Planning and Development Council Meeting on the Draft HCD Plan in June 2024.</p>

2 CULTURAL HERITAGE VALUE OF THE DISTRICT

2.1 Statement of Cultural Heritage Value or Interest

The Old Oakville Heritage Conservation District (HCD) comprises 128 lots within an irregularly shaped boundary lined by Robinson Street, Allan Street, Navy Street and Lake Ontario. The lots within these boundaries represent several phases of boom and bust from the settlement of early European migration. The District boundary comprises a variety of mixed land uses including: residential, institutional and recreational. The District boundary is lined by the southern property line of Robinson Street, extending from Sixteen Mile Creek to the middle of Allan Street.

Design and Physical Value

The Old Oakville Heritage Conservation District has design/physical value as a representative example of an organically evolved cultural heritage landscape, being a historic harbourside village residential community dating from the early-19th century and early 20th century. The HCD reflects a variety of architectural styles that contribute to a varied, yet cohesive streetscape. The variety of architectural styles and materials found in Old Oakville are representative of an intact historic harbourside village residential community that developed in the early-to-mid 19th century. The economic and cultural conditions at Old Oakville that both prompted and slowed development throughout the village's history are reflected in the extant and evolving nature of the land uses as well as the variety of architectural forms, including Georgian, Neoclassical, Classic Revival, Cottage, Gothic Revival, Edwardian and vernacular expressions. The HCD has a long tradition of having buildings moved into and within the District. Individually, all these structures are representative examples of their architectural styles; collectively, they create a robust and varied streetscape of largely residential buildings interspersed with institutional land uses such as churches and cultural/recreational uses. The character of the area is further improved by designed green spaces including Lakeside Park, the semi-natural river harbour on Sixteen Mile Creek and the designed cultural heritage landscape of the Erchless Estate.

The Old Oakville Heritage Conservation District has design/physical value as it contains a concentration of designed green spaces along the shoreline of Lake Ontario and steep banks along Sixteen Mile Creek. These spaces include: Lakeside Park, Market Square, Dingle Park and George Street Parkette, significant cultural heritage landscape of the semi-natural river harbour on Sixteen Mile Creek, and significant cultural heritage landscape of the Erchless Estate. They contribute to the area's design and physical value as well its evolution as a woodland through the 1868 inspired legacy of Mayor W. F. Romain who led the restoration of landscape to the pre-colonial canopy and Oakville's "grove-like aspect."

Historical and Associative Value

The Old Oakville Heritage Conservation District has historical/associative value due to its direct association with the early 19th century commercial development, 20th century recreation and town building. The HCD has direct associations with Oakville's founding family, the Chisholms, and other settler families who were instrumental to the successful growth of the town. Additionally, the HCD has the potential to yield information that contributes to the understanding of the pre-contact Indigenous inhabitants. The Old Oakville HCD is part of land first purchased by Colonel William Chisholm in 1828 and developed a port at the mouth of Sixteen Mile Creek. William Chisholm, considered the founder of Oakville, opened the first Customs House on the Erchless property in 1834. The townsite was surveyed in

1833 and Oakville grew around the commercial harbour with a Market Square established in 1833.

Recreation and leisure activities developed in the late 19th century, with Oakville's position on Lake Ontario making it a prime destination for day-trippers and vacationers. Lakeside Park was formally established in 1897, and several structures within the Old Oakville HCD have direct associations with recreation including the Oakville Club and Oakville Lawn Bowling Club.

Sixteen Mile Creek and the surrounding area is part of the traditional territories of the Anishinaabe and Haudenosaunee peoples. There is historic documentation of the Mississauga establishing summer camps in the vicinity of the Old Oakville HCD dating as far back as the early 1700s. The confluence at the mouth of Sixteen Mile Creek and Lake Ontario continues to hold significance for the Mississaugas of the Credit First Nation.

Contextual Value

The Old Oakville Heritage Conservation District has cultural heritage value or interest due to its physical, functional, visual, and historical links to its surroundings. The Old Oakville HCD consists of gently sloped terrain towards Lake Ontario, becoming more sloped towards Sixteen Mile Creek. Old Oakville grew around the harbour founded at the mouth of Sixteen Mile Creek in the early 19th century. The residential structures line the original town street grid, with some of the properties retaining their original layout. Open space along the waterfront provides active and passive recreational amenities along the waterfront to serve the immediate community and visitors from within and outside of Oakville. The north-west streets largely terminate at Lake Ontario, providing opportunities for views of the lake.

The Old Oakville Heritage Conservation District has contextual value because it is important in defining, maintaining, or supporting the character of an area. Together the properties create a distinct character. The village context is characterized by low-density residential land use, lower lot coverages, and historically modest sized homes lining intimate streetscapes with a strong pedestrian character. Many of the historic properties feature mature vegetation and a tree canopy provides cover over the streetscape and public lands. The sloping topography in the residential area provides interest.

The Old Oakville Heritage Conservation District has cultural heritage value or interest because it is recognized as a landmark. Located along the shore of Lake Ontario, the walking paths and parks that provide views to the lake and the visually cohesive and interesting streetscapes are a well known part of Oakville.

2.2 Description of Cultural Heritage Attributes

The Old Oakville Heritage Conservation District has design/physical value as a representative example of an organically evolved historic harbourside village residential community dating from the early-19th century and early 20th century. The HCD reflects a variety of architectural styles and a concentration of designed green spaces along the shoreline of Lake Ontario and steep banks along Sixteen Mile Creek. All of these elements contribute to a varied, yet cohesive streetscape. The District contains the following heritage attributes that reflect these values:

- Collection of structures dating from the early 19th to early 20th century representing different architectural styles and materials;
- Varied setbacks with low lying fencing along lot lines;

- Mature trees on both private and public lands that are highly visible from the public realm of the HCD;
- Navy Street and Front Street that are two important road rights-of-way within the District with higher public profiles and utility due to their adjacency to open spaces and highly visited District landmarks, primary and secondary views;
- Oakville Harbour Cultural Heritage Landscape heritage attributes that are found within the HCD as outlined in Bylaw 2020-125; and
- Open spaces including: Lakeside Park, Market Square, Dingle Park and George Street Parkette, significant cultural heritage landscape of the semi-natural river harbour of Sixteen Mile Creek, and significant cultural heritage landscape of the Erchless Estate.

The Old Oakville Heritage Conservation District has historical/associative value for its direct associations with the early 19th century commercial development of the village of Oakville, with 20th century recreation and town building, and with Oakville's founding family, the Chisholms. The District contains the following heritage attributes that reflect this value:

- Evolved lot pattern and historic street grid based on Chisholm's Plan; and
- Open spaces including: Lakeside Park, Market Square, Dingle Park and George Street Parkette, significant cultural heritage landscape of the semi-natural river harbour of Sixteen Mile Creek, and significant cultural heritage landscape of the Erchless Estate.

The Old Oakville Heritage Conservation District has historical/associative value for its potential to yield information that contributes to the understanding of the pre-contact Indigenous inhabitants. The District contains the following heritage attributes that reflect this value:

- Known and potential archaeological resources; and
- Lake Ontario shoreline and Sixteen Mile Creek shoreline.

The Old Oakville Heritage Conservation District has contextual value because it is important in defining, maintaining, or supporting the character of an area. The District contains the following heritage attributes that reflect this value:

- Mature trees on both private and public lands that are highly visible from the public realm of the HCD;
- Collection of structures dating from the early 19th to early 20th century representing different architectural styles and materials; and
- Varied setback with low lying fencing along lot lines.

The Old Oakville Heritage Conservation District has contextual value due to its physical, functional, visual and historical links to its surroundings. The District contains the following heritage attributes that reflect this value:

- Major and minor shared roads emphasizing pedestrian traffic;
- Low density zoning and massing of structures ranging from one to two-and-a-half storeys in building heights;
- Steep banks along Sixteen Mile Creek and gently sloping topography in the residential area;
- Built features that respond to the topography including heights of buildings, terraces, retaining walls and exposed foundations;
- Views to/from heritage attributes including, as per Map 2:

- Long views to Lake Ontario along and at the road terminus (e.g. Navy St, Thomas St, George St, Dunn St, Trafalgar Rd, Reynolds St and Allan St) fronting a waterfront open space. In particular, Navy Street offers a very wide viewshed into Lake Ontario, as it opens up into Lakeside Park;
- Continuous vistas to the lake, except in the gully streetscape, along Front Street;
- Continuous vistas to Lake Ontario, Sixteen Mile Creek and the harbour along the trail system within the waterfront open space system, including: Erchless Estate, Lakeside Park, George Street Parkette and Dingle Park;
- Large building setbacks, porous fencing and low-height landscaping supporting openings in the urban fabric at road intersections framing residential viewsheds, as well as long viewsheds to St. Jude's and St. Andrew's churches along Navy Street, abutting significant open space, landmarks and building facades (on the east side of the road) within the District, with openings in the tree cover and low height fencing provide open views to the Market Square, the Oakville Club, Oakville Lawn Bowling Club, the Oakville Museum at the Erchless Estate and Lakeside Park; and
- Long views establishing important connection to Downtown Oakville along and at the road terminus (e.g. Navy St, Thomas St, George St, Dunn St, Trafalgar Rd, Reynolds St and Allan St).

The Old Oakville Heritage Conservation District has contextual value because it is recognized as a landmark. The District contains the following heritage attributes that reflect this value:

- Response of the built form to these landmarks including:
 - The residential built form adjacent to St. Jude's Anglican Church with large front and side yard setbacks, spacing between buildings, materiality and architectural features to allow for the church's scale and massing to 'breathe' in the residential urban fabric, while accentuating its features through the multiple vistas;
 - The residential built form adjacent to St. Andrew's Catholic Church that provide generous setbacks, larger lot sizes, and architectural character compliment St. Andrew's presence, highlighting its significance as a landmark; and
 - Navy Street, Water Street Front Street that are three important road rights-of-way within the District with higher public profiles and utility due to their adjacency to open spaces and highly visited Oakville landmarks, primary and secondary views.
- Waterfront trail;
- Public Open spaces and parks including: Lakeside Park, Market Square, Dingle Park and George Street Parkette Oakville Harbour Cultural Heritage Landscape heritage attributes that are found within the HCD as outlined in By-law 2020-125; and
- Erchless Estate Cultural Heritage Landscape heritage attributes as outlined in By-law 2019-057.



2.3 Property Categorizations (Contributing and Non-Contributing)

Ontario Regulation 9/06 as amended by Ontario Regulation 569/22 sets out the criteria for designation of an HCD. Specifically, 3. (2).1 notes that 25 percent or more of the properties within the boundaries must meet two or more of the criteria. The Old Oakville Heritage Conservation District meets this threshold. Within the HCD there are 90 properties (70 %) that meet at least two criteria under O. Reg. 9/06, therefore the Old Oakville HCD meets the criteria for designation under the *Ontario Heritage Act*. This work is based on the inventory created as part of the HCD Study (see HCD Study Appendix A), which documented each building as well as evaluated each building according to Ontario Regulation 9/06. The 90 properties (70 %) that meet at least two criteria under O. Reg. 9/06 are contributing properties.

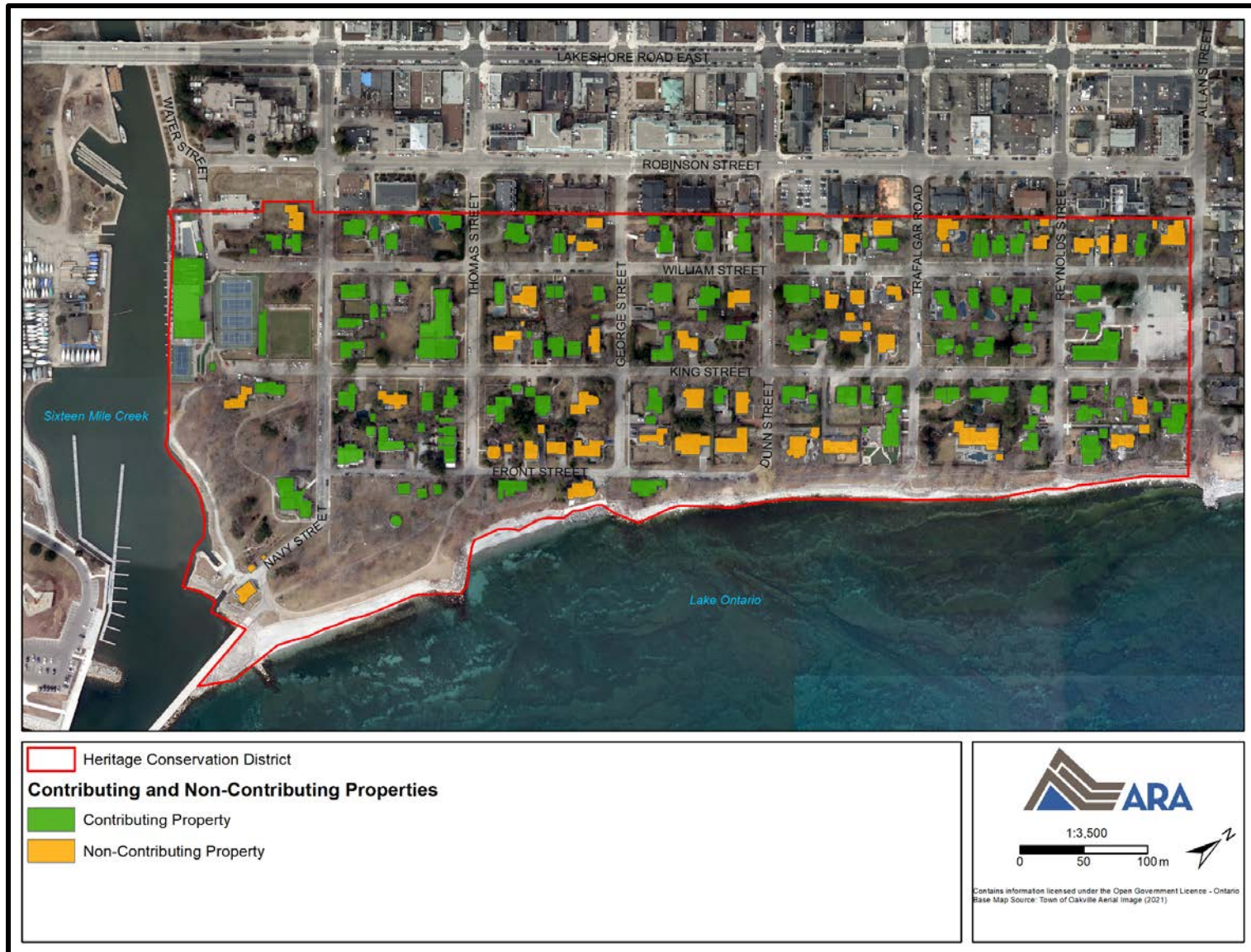
There are two classes of properties found in the District:

- **Contributing Properties** – Property met two or more criteria outlined in O. Reg 9/06
- **Non-Contributing Properties** – Property did not meet two or criteria outlined in O. Reg 9/06

Contributing properties are subject to specific policies which are outlined in Section 6.2.

Non-Contributing Properties are subject to specific policies which are outlined in Section 6.3.

Table 2 lists all properties within the district and an indication of the properties are contributing or non-contributing and their distribution is mapping in Map 3.



Map 3: Contributing and Non-Contributing Properties

Table 2: Property Status (Contributing or Non-Contributing) in the District

Property Address	Status	Property Address	Status
21 Dunn St	Non-Contributing	309 King St	Contributing
30 Dunn St	Non-Contributing	312 King St	Contributing
43 Dunn St	Contributing	340 King St	Non-Contributing
53 Dunn St	Contributing	350 King St	Contributing
65 Dunn St	Contributing	19 Navy St	Contributing
66 Dunn St	Contributing	2 Navy St	Contributing
69 Dunn St	Contributing	8 Navy Street	Contributing
143 Front St	Contributing	29 Navy St	Contributing
144 Front St	Contributing	41 Navy St	Contributing
174-176 Front St	Contributing	44 Navy St	Contributing
181 Front St	Non-Contributing	45 Navy St	Contributing
187 Front St	Non-Contributing	53 Navy St	Contributing
194 Front St	Non-Contributing	54 Navy St	Contributing
204 Front St	Contributing	64 Navy St	Contributing
212 Front St	Contributing	65 Navy St	Contributing
221 Front St	Non-Contributing	68 Navy St	Non-Contributing
235 Front St	Non-Contributing	70 Navy St	Non-Contributing
240 Front St	Contributing	21 Reynolds St	Contributing
22 George St	Non-Contributing	22 Reynolds St	Contributing
23 George St	Non-Contributing	23 Reynolds St	Non-Contributing
44 George St	Non-Contributing	27 Reynolds St	Contributing
68 George St	Non-Contributing	31 Reynolds St	Contributing
110 King St	Contributing	41 Reynolds St	Contributing
114 King St	Contributing	47 Reynolds St	Contributing
146 King St	Non-Contributing	53 Reynolds St	Contributing
154 King St	Contributing	18-20 Thomas St	Contributing

Property Address	Status	Property Address	Status
155 King St	Contributing	21 Thomas St	Non-Contributing
177 King St	Non-Contributing	24 Thomas St	Contributing
181 King St	Contributing	26 Thomas St	Contributing
184 King St	Contributing	29 Thomas St	Contributing
187 King St	Contributing	32 Thomas St	Contributing
191 King St	Contributing	50 Thomas St	Contributing
208 King St	Non-Contributing	53 Thomas St	Contributing
212 King St	Contributing	65 Thomas St	Contributing
213 King St	Contributing	68 Thomas St	Contributing
219 King St	Non-Contributing	23 Trafalgar Rd	Non-Contributing
222 King St	Contributing	25 Trafalgar Rd	Non-Contributing
230 King St	Contributing	26 Trafalgar Rd	Contributing
233 King St	Contributing	43 Trafalgar Rd	Contributing
250 King St	Contributing	65 Trafalgar Rd	Contributing
260 King St	Non-Contributing	68 Trafalgar Rd	Non-Contributing
262 King St	Contributing	56 Water St	Contributing
263 King St	Non-Contributing	115 William St	Contributing
268 King St	Contributing	145 William St	Contributing
274 King St	Contributing	148 William St	Contributing
274 King St	Contributing	160 William St	Contributing
275 King St	Non-Contributing	180 William St	Non-Contributing
288 King St	Contributing	185 William St	Contributing
290 King St	Contributing	186 William St	Contributing
295 King St	Contributing	187 William St	Contributing
302 King St	Contributing	188 William St	Contributing

Property Address	Status	Property Address	Status
195 William St	Non-Contributing	296 William St	Contributing
200 William St	Contributing	297 William St	Contributing
214 William St	Contributing	301 William St	Contributing
215 William St	Contributing	302 William St	Contributing
225 William St	Contributing	307 William St	Contributing
226 William St	Contributing	308 William St	Contributing
234 William St	Contributing	313 William St	Non-Contributing
258 William St	Non-Contributing	323 William St	Non-Contributing
263 William St	Non-Contributing	329 William St	Contributing
266 William St	Non-Contributing	333 William St	Non-Contributing
273 William St	Contributing	339 William St	Contributing
274 William St	Non-Contributing	349 William St	Non-Contributing
288 William St	Contributing		
295 William St	Contributing		

2.4 Streetscape and Landscape Character Areas

The Old Oakville HCD is special and attractive because of its very strong streetscape character and is also considered a significant cultural heritage landscape, under Part V of the *Ontario Heritage Act*. The undulating topography, Lake Ontario and Sixteen Mile Creek shorelines and views, views to the Downtown, mature tree growth and vegetation, and two centuries of human intervention characterize an evolved community in downtown Oakville. The District's low-density scale, large parcel sizes, mixed building setbacks, urban fabric widenings at intersections, street lining and framing tree cover, historic tree restoration efforts, wide viewsheds, and permeable fencing types contribute to the open landscape setting and pedestrian experience within the HCD. Further, the road grid configuration, typology and block size enable a very desirable and walkable neighbourhood in downtown Oakville.

As developed through the HCD Study update and building on the original 1982 Old Oakville HCD Plan block structure's detailed illustrations, heritage values, and the District's 40-year evolution in its streetscape and landscape character, the HCD Study update introduces five streetscape and landscape character areas and one key streetscape overlay as per Map 4. The five character areas and one streetscape overlay, sharing the unique historic and experienced heritage and quality of Old Oakville, collectively contribute to the overall values and heritage attributes of the HCD, and are categorized as:

- **Area 1 - Waterfront Open Space**
- **Area 2 - Old Oakville Settlement Area**

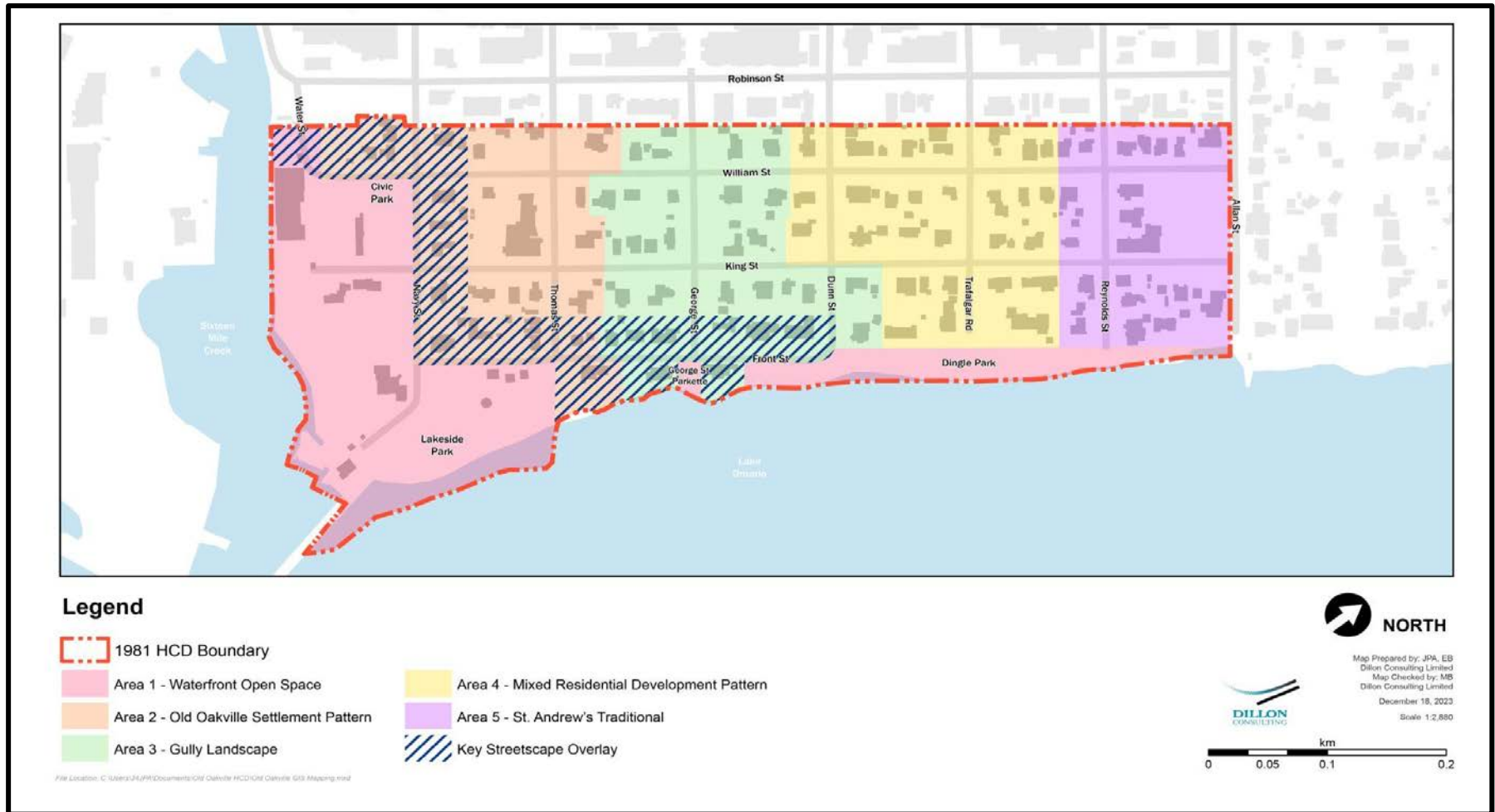
- **Area 3 - Gully Landscape**
- **Area 4 - Mixed Residential Development Pattern**
- **Area 5 - St. Andrew's Traditional**
- **Key Streetscape Overlay**

Table 3 lists all properties within each character area. Additional streetscape and landscape character area guidance specific to each category are outlined in Section 6.6.

Table 3: Property Address List by Character Area

Area 1 - Waterfront Open Space	Area 2 - Old Oakville Settlement Area	Area 3 - Gully Landscape	Area 4 - Mixed Residential Development Pattern	Area 5 - St. Andrew's Traditional	Key Streetscape Overlay
110 King St 114 King St 144 Front St 2 Navy St 204 Front St 240 Front St 44 Navy St 54 Navy St 56 Water St 8 Navy St	145 William St 146 King St 148 William St 154 King St 155 King St 160 William St 177 King St 29 Thomas St 32 Thomas St 50 Thomas St 53 Thomas St 65 Thomas St 68 Thomas St 115 William St* 143 Front St* 176 Front St* 18 Thomas St* 19 Navy St* 20 Thomas St* 21 Thomas St* 24 Thomas St* 26 Thomas St* 29 Navy St* 41 Navy St* 45 Navy St* 53 Navy St* 64 Navy St* 65 Navy St* 68 Navy St* 70 Navy St*	180 William St 181 King St 184 King St 185 William St 186 William St 187 King St 187 William St 188 William St 191 King St 195 William St 200 William St 208 King St 21 Dunn St 212 King St 213 King St 214 William St 215 William St 219 King St 222 King St 225 William St 226 William St 230 King St 250 King St 30 Dunn St 44 George St 68 George St 181 Front St* 187 Front St* 194 Front St* 212 Front St* 22 George St* 221 Front St* 23 George St* 235 Front St*	23 Trafalgar Rd 233 King St 234 William St 25 Trafalgar Rd 258 William St 26 Trafalgar Rd 260 King St 262 King St 263 King St 263 William St 266 William St 268 King St 273 William St 274 King St 274 William St 275 King St 288 King St 288 William St 290 King St 295 King St 295 William St 296 William St 297 William St 301 William St 302 King St 302 William St 43 Dunn St 43 Trafalgar Rd 53 Dunn St 65 Dunn St 65 Trafalgar Rd 66 Dunn St 68 Trafalgar Rd 69 Dunn St	21 Reynolds St 22 Reynolds St 23 Reynolds St 27 Reynolds St 307 William St 308 William St 309 King St 31 Reynolds St 312 King St 313 William St 323 William St 329 William St 333 William St 339 William St 340 King St 349 William Street 350 King Street 41 Reynolds Street 47 Reynolds Street 53 Reynolds Street	115 William St 143 Front St 176 Front St 18 Thomas St 19 Navy St 20 Thomas St 21 Thomas St 24 Thomas St 26 Thomas St 29 Navy St 41 Navy St 45 Navy St 53 Navy St 64 Navy St 65 Navy St 68 Navy St 70 Navy St 181 Front St 187 Front St 194 Front St 212 Front St 22 George St 221 Front St 23 George St 235 Front St

*Property also falls under the Key Streetscape Overlay area.



Map 4: Streetscape and Landscape Characterization in Old Oakville

3 OBJECTIVES OF THE HERITAGE CONSERVATION DISTRICT

The Statement of Objectives provides the framework for the protection and conservation of the District's unique heritage character and attributes over the long term and is fundamental to the conservation policies and associated guidelines. These are contained in the following subsections and are intended to provide guidance to property owners, tenants, Council, Heritage Oakville, Town staff and others who have interests in the District. They are consistent with the objectives that have been set by Town Council for the other HCDs in Oakville. Any and all future changes in the District must be consistent with the Objectives of the District Plan.

3.1 Overall Intent

Within the Old Oakville Heritage Conservation District, it is the intent of Council to guide and manage physical change and development within the District by:

- Adopting the updated Old Oakville Heritage Conservation District Plan and Guidelines;
- Making decisions about heritage permit applications for alterations, demolitions and new construction under Part V of the *Ontario Heritage Act* according to the updated Old Oakville Heritage Conservation District Plan and Guidelines;
- Initiating appropriate public works, improvements and financial incentives to conserve and enhance the character of the Old Oakville Heritage Conservation District within the financial capabilities of the Town of Oakville; and
- Complementing these actions by making appropriate amendments to Official Plan policies, the Town's Zoning By-law and other relevant by-laws.

3.2 Heritage interests, property owner interests and community interests

Council recognizes that within the Old Oakville Heritage Conservation District there are a number of diverse interests. In certain instances these interests may be complementary to each other; inevitably others may be in direct conflict.

Accordingly, Town Council:

- Seeks to ensure that any potential conflict amongst the community and individual interests is at best avoided or minimized at every opportunity.

3.3 Old Oakville HCD Heritage Character

Council recognizes that:

- The Old Oakville Heritage Conservation District comprises a distinctive assemblage of heritage buildings and streetscapes that are an organically evolved cultural heritage landscape, being a historic harbourside village residential community dating from the early-19th century and early 20th century;
- The five streetscape and landscape character areas and one supplementary map overlay, developed as part of this HCD Study update, share unique historic and experienced heritage and quality of Old Oakville. The physical attributes of the area have evolved into a tangible streetscape character informed by the built environment's historical significance. All five character areas and one map overlay collectively contribute to the overall values and heritage attributes of the HCD;
- The unique heritage character of the Old Oakville Heritage Conservation District and its diverse streetscapes are to be conserved and protected in the process of future change;

- Change in the future is expected within the Old Oakville Heritage Conservation District, yet it must be carefully managed in a manner that does not adversely affect the distinctive heritage character of the District; and,
- Any proposed change within the District shall be considered within a number of Council-approved conservation, design, landscaping and planning guidelines and with consideration of the individual merits of the proposed change.

3.4 Town of Oakville conservation management approach

Council recognizes that:

- District designation under Part V of the *Ontario Heritage Act*, does not seek to stop or halt change or seek the restoration of the District to a former past historical state, but simply establishes a mechanism for the municipal review and determination of heritage permit applications for changes to properties, both public and private within the District.
- District designation under Part V of the *Ontario Heritage Act* does not compel, nor does Council seek to compel, the restoration of heritage properties within the District.

3.5 Custodial responsibility

Council recognizes that:

- Owners of heritage property are considered to be the prime custodians of the Old Oakville Heritage Conservation District.

3.6 Alteration of properties

Council recognizes that:

- Property owners may wish to add on to buildings and structures, alter building and landscapes or otherwise change their property to accommodate required working or living space and new facilities and Council may permit such work provided it is in conformity with the applicable guidelines contained in the District Plan.

3.7 Restoration of heritage properties

Council recognizes that:

- Property owners may wish to restore heritage properties and Council may encourage such work by considering financial assistance available for eligible work and ensuring conformity with the applicable guidelines in the District Plan.

3.8 Fair and equitable consideration

Council will undertake to ensure that:

- All residents and property owners within the Old Oakville Heritage Conservation District shall be afforded fair and equitable consideration in the determination of heritage permit applications within the District.

3.9 Conservation Principles

The federal and provincial government have well established standards and guidelines in place for the conservation of heritage properties and identified heritage attributes. These standards and guidelines should be carefully reviewed and considered prior to undertaking any conservation work to a contributing or non-contributing property within the District.

The Ministry of Citizenship and Multiculturalism (MCM) has established the following *Eight Guiding Principles in the Conservation of Built Heritage Properties* that are often referenced when preparing HCD Plan guidelines. These principles were referenced while drafting the design guidelines for the Old Oakville HCD Plan.

- 1) Respect for Documentary Evidence:
 - Do not base restoration on conjecture: conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.
- 2) Respect for the Original Location:
 - Do not move buildings unless there is no other means to save them: site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.
- 3) Respect for Historic Material:
 - Repair/conserve – rather than replace building materials and finishes, except where absolutely necessary: minimal intervention maintains the heritage content of the built resource.
- 4) Respect for Original Fabric
 - Repair with like materials: repair to return the resource to its prior condition, without altering its integrity.
- 5) Respect for the Building’s History
 - Do not restore to one period at the expense of another period: do not destroy later additions to a building or structure solely to restore to a single time period.
- 6) Reversibility
 - Alterations should be able to be returned to original conditions. This conserves earlier building design and technique: e.g. when a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.
- 7) Legibility
 - New work should be distinguishable from old: buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
- 8) Maintenance
 - With continuous care, future restoration will not be necessary: with regular upkeep, major conservation projects and their high costs can be avoided.

The *Standards and Guidelines for the Conservation of Historic Places in Canada* also provide general standards for preservation, rehabilitation and restoration with further explanation regarding how these standards should be applied. In 2013, the Town endorsed the Standards and Guidelines for application in the planning, stewardship and conservation of heritage resources in the Town. The *Standards and Guidelines for the Conservation of Historic Places in Canada* were used as guiding principles for drafting the Old Oakville HCD Plan.

Table 4: General Standards for Preservation, Rehabilitation and Restoration

Treatment	No.	Description
General Standards	1	Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.
General Standards	2	Conserve changes to an historic place that, over time, have become character-defining elements in their own right.

Treatment	No.	Description
General Standards	3	Conserve heritage value by adopting an approach calling for minimal intervention
General Standards	4	Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted
General Standards	5	Find a use for an historic place that requires minimal or no change to its character-defining elements
General Standards	6	Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken; Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information
General Standards	7	Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention
General Standards	8	Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes
General Standards	9	Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference
Additional: Rehabilitation	10	Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place
Additional: Rehabilitation	11	Conserve the heritage value and character-defining elements when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place
Additional: Rehabilitation	12	Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.
Additional: Restoration	13	Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements
Additional: Restoration	14	Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The standards and can be summarized as follows:

- Respect and conserve heritage value;
- Respect authenticity;
- Minimize change;
- Adhere to the hierarchy of interventions: Maintain, conserve; repair and lastly replace. Repair and replace must be based on industry recognized best practices;
- Undertake an evaluation/condition assessment to determine if change is necessary;
- Before repair or replacement occurs: protect the character-defining element – aka the heritage attribute; stabilize it; and, mitigate damage and loss of information;
- Determine the gentlest change possible;
- Make changes compatible, distinguishable and reversible;
- Document changes made.

4 MUNICIPAL POLICY FRAMEWORK

The designation of an area as a HCD is intended to assist in the protection and conservation of these features and their attributes by maintaining heritage elements free from any adverse physical changes and ensuring that new development complements the existing heritage resources within the area. The control of physical change to properties, buildings, and structures within a HCD falls under the purview of the *Ontario Heritage Act*. The use of lands and property, the configuration and placement of buildings on lots, and a variety of other provisions relating to physical development generally, is governed by a number of provisions under the *Planning Act*, such as official plans, zoning by-laws, and site plan control.

The successful maintenance and protection of a designated HCD relies in part on ensuring that local planning policies, by-laws and initiatives complement, support or provide an appropriate framework for realistic and achievable conservation measures anticipated by the Plan. The following section outlines the municipal documents which include provisions to control land-use and development within the District.

4.1 Town of Oakville Official Plan (Livable Oakville Plan)

The Town of Oakville's Official Plan, the Livable Oakville Plan, came into force in May 2011. It provides overall policy guidance related to land use decisions within the Town of Oakville. Section 5 of the Livable Oakville Plan sets out the policy direction for cultural heritage resources. The overarching direction is that all of Oakville's cultural heritage resources shall be conserved so that future generations may experience them. Section 5.3 speaks to more detailed information on Heritage Conservation and Cultural Heritage Landscapes.

It is encouraged that new development proposals conserve and integrate any cultural heritage resources identified in the heritage register into the plans through the approval process and other mechanisms. Cultural Heritage Landscapes are also to be conserved and protected as laid out in the Cultural Heritage Landscape Strategy.

Official Plan Policy states that properties within Heritage Conservation Districts (HCD) as well as those identified as Cultural Heritage Landscapes (CHL) shall be conserved. Any proposals which indicate construction, demolition, relocation, removal or any type of alteration inside, beside or in the immediate area of either of the two previously stated boundaries are to reference and align

with the appropriate plan guidance (either the HCD or CHL). They also may be subject to other area-specific land use designations and policies consistent with the applicable HCD plan or CHL conservation plan (5.3.4).

Heritage Impact Assessments are also required where any development (new or redevelopment) is proposed where the actions affect an individually designated heritage property, falls within or is adjacent to an HCD or CHL, or is on a property listed on the Oakville Register of Properties of Cultural Heritage Value or Interest. For clarification on the definition of 'adjacent' for the HCD, Map 5 shows properties that are adjacent to the north of the HCD. Adjacent properties to the east are guided by First and Second Street HCD Plan and the Oakville Harbour CHL guides adjacent properties to the west of the HCD.



Map 5: Map of Adjacent Properties to the North of the Old Oakville HCD

4.2 Town of Oakville Zoning By-Law

The Zoning By-Law is a set of regulations which lists permitted use and building design requirements in each of the different zones. Although there are several zoning provisions applicable within the Old Oakville HCD boundary, the most prominent zoning designation is Residential Low 3 (RL3). There is also a Special Provision applied to this zone to ensure that building heights are consistent with the character of the area, as well as lot coverage. The small section of Residential Low 5 (RL5) along the north side of William Street between Reynolds Street and Allan Street is also subject to Special Provision 11. The two properties zoned as Residential Low 7 with the suffix -0 are the semi-detached homes at 68-70 Navy Street.

Two church properties are zoned as 'Community Use.' Under this designation, various uses associated with places of worship as indicated are permitted. Further, the lands designated as Open Space 1 (OS1) includes town owned parks and Open Space (OS2) includes private open space pertaining to uses such as golf courses, accessory retail space, and sports facilities. The Oakville Club has a special provision within this designation under Special Provision 169.

In summary, the intent of the current zoning is to maintain the overall historic character of the HCD through continued low density residential growth. The parks and community services are also major contributors to the character and area's sense of place. The Town is completing an update to its residential zoning by-law, providing an opportunity for current zoning provisions that pose challenges for new development's height and massing to be refined and inline with this HCD Plan.

4.3 Site Plan Control

Site plan control allows the municipality to require facilities or improvements to the subject site and address matters such as landscaping and some architectural details in the review of the proposed development of a property. The Town has a Site Plan By-law 20220-093 which establishes the different types of development requiring site plan approval and exemptions. Those requiring approval include but are not limited to: all medium and high-density residential developments; development with 24 dwellings or less; any non-residential development in a residential zone; any development in commercial zones; and, any development in employment or industrial zones; any development in open space, public use, agricultural, parkway or belt zones.

Bill 23 (*More Homes Built Faster Act, 2022*) came into legislation on November 28, 2022, changing the site plan control process in an effort to expedite affordable housing development across the Province of Ontario. Exterior design matters are removed from site plan approval and all property owners have as of right ability to build three residential units per lot. Under the new legislation, which is still unfolding, far fewer properties in Old Oakville would require site plan approval, although development proposals would still require heritage permit approval and a Heritage Impact Assessment.

The Town and the Heritage Oakville Advisory Committee will continue to review and provide comments on planning and development proposals for heritage properties, including alterations, removal or demolition through the various planning tools, as permitted by legislation.

4.4 Demolition Control

The Livable Oakville Plan states that in any instance where an application includes proposals to demolish a designated heritage resource is submitted, it must be considered in accordance with the provisions of the *Ontario Heritage Act* and the policies in the Livable Oakville Plan. The Town enacted the Town of Oakville's By-law 2023-101 in July of 2023 to regulate the demolition and

conversion of residential rental property in the town. According to By-law 2023-101, the entire geographic area of the Town is designated as the demolition control area and no person shall demolish anything unless they are issued a demolition control permit in accordance with this By-law.

The *Ontario Heritage Act* Section 42 allows municipalities to prevent the demolition or removal of buildings within HCDs prior to obtaining a permit. Further, the *Ontario Heritage Act* holds that a municipal heritage committee (i.e. Heritage Oakville) must be consulted on all applications for demolition permits in the HCD.

4.5 Property Standard By-Law

The Town has a Property Standards By-law (2007-100, amended 2018-042), which provides general direction related to property maintenance. The Property Standard By-law addresses various matters, such as structural adequacy, foundations, walls, columns, beams, floors, roof slabs, balconies, roofs, stairs, heating and ventilation, and mechanical aspects. Standards are also included for yards, lighting, fences, and vacant properties.

There is a separate section dealing with heritage properties designated under Part IV or Part V of the *Ontario Heritage Act*. The focus of these standards is protecting the heritage attributes of buildings, maintaining the property in a manner to ensure protection of the heritage attributes, and ensuring that a permit is obtained prior to required work being undertaken. There are also sections regarding the repair of properties, replacement of heritage attributes, clearing properties, and vacant properties. The Town has enhanced its Property Standards By-law to address heritage properties and the by-law was last updated to include new heritage provisions in 2018.

4.6 Private Tree Protection By-law

The Town's Private Tree Protection By-law 2017-38 provides protection to trees located on privately owned lands. A tree removal permit is required for any trees that measure 15 centimetres or more in diameter at breast height (DBH), dead and high-risk trees, ash trees, and buckthorn require a permit but are exempt from fees, any tree that is 15 centimetres or more in diameter being removed as part of a development application; and any hedge with stems that measure 15 centimetres or more in diameter.

4.7 Cultural Heritage Landscape Strategy

In January 2014, the Town endorsed the Cultural Heritage Landscapes Strategy (the Strategy), which set the foundation to identify, inventory and assess candidate cultural heritage landscapes and to conserve significant cultural heritage landscapes. Old Oakville is an Organically Evolved Landscape, which is a landscape that "results from an initial social, economic, administrative, and/or religious imperative and has developed in its present form in response to its natural environment". It is considered a 'Continuing Landscape' within the Organically Evolved category which "retains an active social role in contemporary society closely associated with the traditional way of life, and which the evolutionary process is still in progress."

The Strategy identifies processes which protect Cultural Heritage Landscapes. These processes include but are not limited to: Guide the proposed development to ensure compatibility with and respect of CHLs; seek opportunities to incorporate CHLs in whole or part into the design where possible; conservation and protection by using the most appropriate planning tool (heritage designation under the *Ontario Heritage Act*, conservation under subsection 2(d) of the *Planning*

Act); and, Conduct consultation both proactive and reactive assessments of CHLs.

4.8 Oakville Harbour Cultural Heritage Landscape

The Oakville Harbour Cultural Heritage Landscape, designated under By-law 2020-125, has a Conservation Plan specific to its values and attributes, in addition to the guidelines provided in this HCD Plan. The boundary of the CHL is shown in Figure 1.



Figure 2 Oakville Harbour CHL Boundary

4.9 Erchless Estate Cultural Cultural Heritage Landscape Strategy

The Erchless Estate Cultural Heritage Landscape, designated under By-law 2019-05, has a Conservation Plan specific to its values and attributes, in addition to the guidelines provided in this HCD Plan. The boundary of the CHL is shown in Figure 2.

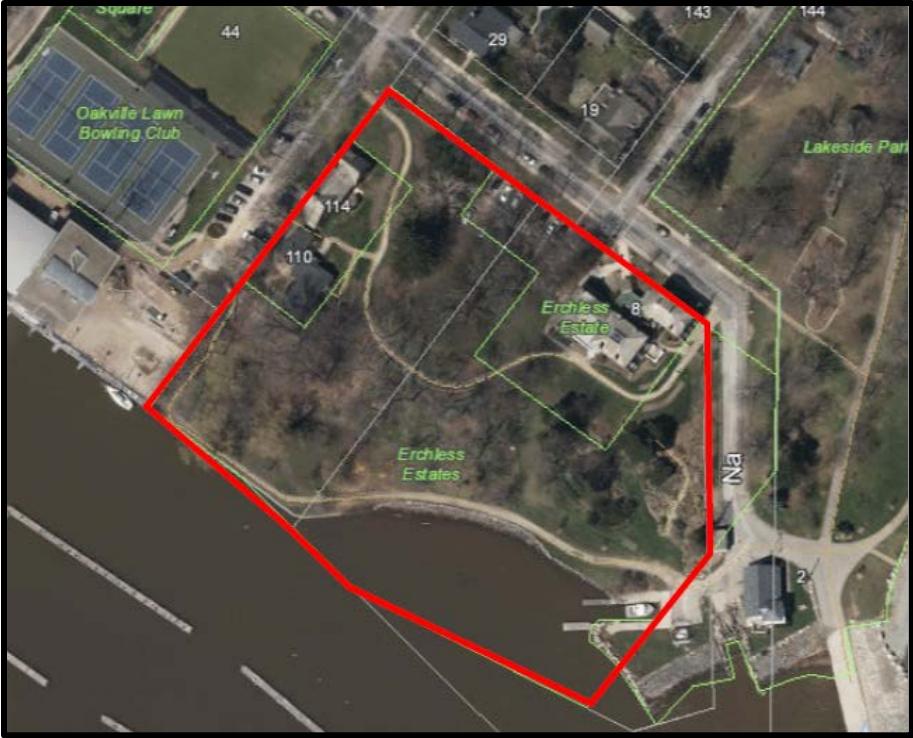


Figure 3 Erchless Estate CHL Boundary

5 GUIDELINES FOR MANAGING CHANGE

5.1 Introduction and Key References

Design guidelines are required for the District to manage physical changes. In response, the purpose of the HCD Plan is to ensure that property owners respond to change by selecting building forms, materials, construction methods, and site layouts that preserve the character and sense of place of the District. ‘Best Practice’ guidelines are noted in each Section and are intended to be the benchmark standard for all minor and major physical alterations within the HCD boundary. As such, the Town encourages property owners to meet these guidelines wherever possible when making alterations to their property.

The design guidelines are divided into the following sections:

Alterations to Contributing Properties: Section 5.2.2 outlines the guidelines for contributing properties with a focus on maintenance and repair, as well as sympathetic alterations (see Section 2.3. to determine if a property is contributing).

Additions to Contributing Properties: Section 5.2.3 provides guidelines for the design of new additions to historic buildings on contributing properties. Additions must be sympathetic to the heritage character of the District through their scale and massing, location and orientation, and materials (see Section 2.3. to determine if a property is contributing).

Alterations to Non-Contributing Properties: Section 5.3.2 provides the design guidelines for non-contributing properties focus on maintenance and repair, as well as sympathetic alterations. (see Section 2.3. to determine if a property is non-contributing)

New Development: Section 5.3.3 provides guidelines for new construction within the District. New construction must be sympathetic to the heritage character of the District through scale and massing, location and orientation, and materials.

Landscape and Site Guidelines for Public Lands (Contributing and Non-Contributing): Section 5.4 provides streetscape and landscape design guidance to support and protect the heritage attributes on road rights-of-ways and other public lands, such as parks and open space.

Landscape and Site Guidelines for Privately Owned Lands (Contributing and Non-Contributing): Section 5.5 provides site design guidance to support and protect the HCD's heritage attributes on privately owned lands.

5.2 Guidelines for Contributing Properties

5.2.1 General Guidelines

5.2.1.1 Understanding

Alterations and additions to a contributing property shall be based on a firm understanding of the physical features of that property and how they contribute to the heritage character of the District.

Interventions to a contributing property shall consider:

- the historic architectural style and identified period of significance of the building(s);
- changes that have been made to the building(s)/property over time; and
- the current condition of the building(s)/property.

Where heritage fabric is distressed, damaged or deteriorated, determine the case of such prior to planning any interventions to determine the appropriate scope of work and to preserve the building fabric wherever possible.

Alterations and additions to a contributing property may be permitted by the Town when the following has been completed:

- the cultural heritage value and attributes of the contributing property have been documented;
- the impact of the proposed alterations and/or additions on those cultural heritage values and attributes has been determined;
- appropriate mitigation measures have been proposed.

The Town of Oakville may request that a Heritage Impact Assessment (HIA) be completed in accordance with the Town of Oakville's Development Application Guidelines for Heritage Impact Assessments.

5.2.1.2 Compliances

Current codes and standards pertaining to health and safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the heritage character of the contributing property and the District. This includes but is in no way limited to the Ontario Building Code (OBC) and AODA. Note: OBC Part 11 Section 11.5 Compliance Alternatives may provide some relief for requirements contained in OBC Part 3, 4, 6 or 8 where the chief building official is satisfied that the compliance with the requirement is impracticable because it is detrimental to the preservation of a heritage building.

5.2.1.3 Demolition and Relocation

These guidelines apply to the full and partial demolition, and relocation of contributing properties in the HCD.

- The demolition of contributing properties in the District is not permitted, except in extenuating circumstances (i.e., where the property has suffered severe damage due to unforeseen events).
- A structural engineering assessment, prepared by a structural engineer licensed to practice in Ontario and with experience with historic structures, may be required where the structural integrity of the historic building is compromised and demolition is being sought as a result of severe damage to the building structure. A peer review of the structural engineering report may be required, at the applicant's expense, at the discretion of the Town of Oakville. Demolition will only be permitted if the structural assessment concludes that the structure of the historic building is beyond repair or that the damage is significant enough that the building no longer has any heritage value.
- The demolition of a portion of a contributing property may be considered on a case by case basis to accommodate alterations and additions that have minimal impact on the heritage fabric of the historic building.
- A Heritage Permit for the demolition of a historic building in full or in part shall not be granted until the design for the replacement building or alterations has been submitted and approved in principle by the Town. The design of replacement buildings and alterations must comply with the guidelines for new development and/or alterations.
- Removal or demolition of a heritage attribute and/or structure on a Part IV property may require a notice of intention to demolish to be submitted in accordance with the *Ontario Heritage Act*.
- If a demolition permit is granted, the classification of the property may be re-evaluated.

5.2.1.4 Lot Severances and Assembly

- Consent applications will be evaluated on a case-by-case basis for lot severances and assembly in the District.
- All severances must conform to provincial and local policies and by-laws including, but not limited to in-effect Official Plan and Zoning by-law.
- In addition, within the Old Oakville HCD, severances may be possible, however, the lot size of any infill property or severance shall reflect the character of the surrounding lot fabric.

5.2.2 Alterations to Contributing Properties

5.2.2.1 Heritage Fabric

- Protect the heritage fabric of a contributing property wherever possible:
 - Document the heritage fabric prior to any alteration or intervention.
 - Repair damaged and/or deteriorated heritage fabric rather than replacement in kind.
 - Only replace heritage fabric where it is damaged beyond repair.
 - Improve detailing following recognized conservation methods, to correct faulty details and extend the lifespan of the heritage fabric.
 - Where physical and documentary evidence exists, reinstatement of original features and materials is encouraged.
- Removal of elements that conceal original architectural details is encouraged.

- Alterations to a contributing property shall be physically and visually compatible with the heritage fabric of the existing building, with regard to architectural style, detailing and materials.

5.2.2.2 Roofs

Roofs are integral to keeping buildings watertight and can also have a significant visual impact on a streetscape. Roof elements including church steeples, finials and chimneys can act as landmarks and visual aids. Roofs in the District are largely gabled and hipped, and covered with asphalt shingles, cedar shingles and cedar shakes.

- Document the form, materials and condition of the roof assembly before undertaking any intervention, including the roof's pitch, shape, decorative and functional elements, and materials, and its size, colour and patterning.
- Determine the cause of the roof's distress, damage or deterioration through investigation, monitoring and minimally invasive testing techniques. Address signs of distress, damage and deterioration as soon as possible.
- Protect and maintain the form and rooflines of historic buildings.
- Protect and maintain original detailed elements including but not limited to fascia, cornice, eaves, gables, and trim.
- Protect and maintain a roof by cleaning and maintaining the gutters, downspouts and flat roof drains, and replacing deteriorated flashing in kind.
- Retain sound or deteriorated roof assemblies that can be repaired.
- Repair parts of roofs by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods. Repairs should match the existing work as closely as possible, both physically and visually.
- Where roofing is extensively deteriorated or missing, replace in kind. Use salvaged material wherever possible or new materials that match the original style and quality of the originals.
- Improve the detailing of roof elements, including installation of flashing and crickets, following recognized conservation methods, to correct faulty details. Such improvements should be physically and visually compatible.
- Where physical and documentary evidence exists, the reinstatement of original features and materials such as slate or wood shingles, chimneys, finials and other roof elements can further contribute to the heritage character of the District.
- Removal of elements that conceal original architectural details is encouraged (i.e., removal of vinyl or metal soffits and fascia can help to reveal the building's original character).
- Historic wood details such as eaves, soffits, finials, gingerbread and other gable details form part of the original architectural design of historic buildings in the District and must be maintained. These details should not be clad with vinyl or aluminum since this conceals their original aesthetic and also prevents proper monitoring and maintenance.

5.2.2.2.1 Acceptable Roofing Materials

Existing roofing materials in the District largely consist of either asphalt or cedar shingles. Roofing material is generally neutral in colour.

- The use of asphalt shingles, cedar shingles and cedar shakes is generally acceptable in the District. Select profiles and colours that are compatible with other historic buildings in the District.

- The use of alternative materials that mimic asphalt shingles, cedar shingles or cedar shakes may be considered on a case-by-case basis.
- Avoid selecting roofing materials including plastic and ceramic that do not traditionally appear in the District.



Figure 4: Black asphalt shingles, 212 King St. (left); Cedar shake roof 309 King St. (right).

5.2.2.2.2 Chimneys

- Protect and maintain original chimneys including capping, and flashings.
- Repair masonry chimneys using recognized conservation methods including repointing and selective replacement. Repairs should match the existing work as closely as possible.
- Where chimneys are extensively deteriorated or missing, replace in kind where there is historic documentation of the originals. Wherever possible, refrain from demolishing historic chimneys, especially when there is no intent to reconstruct.

5.2.2.2.3 Eavestroughs and Downspouts

- Provide eavestroughs, downspouts and flashing to manage water and divert it away from the historic building.
- Protect and maintain original eavestroughs, downspouts and flashing wherever possible.
- Where documentary evidence of original eavestrough and downspout profiles exist, the reinstatement of these features is encouraged.

5.2.2.3 Dormers

A dormer is a roofed structure, often containing a window, that projects vertically beyond the plane of a pitched roof. There are a number of dormer styles in the District, including hipped, gabled and shed, that contribute to the heritage character of the District.

- Document the form, materials and condition of dormers before undertaking any intervention, including the dormer's pitch, shape, decorative and functional elements, and materials, and its size, colour and patterning.
- Determine the cause of any distress, damage or deterioration through investigation, monitoring and minimally invasive testing techniques. Address signs of distress, damage and deterioration as soon as possible.
- Protect and maintain the form and rooflines of original dormers.

- Protect and maintain original detailed elements including but not limited to fascia, eaves, gables, and trim.
- Protect and maintain dormers by replacing deteriorated flashing in kind.
- Retain sound or deteriorated materials that can be repaired.
- Repair parts of dormers by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods. Repairs should match the existing work as closely as possible, both physically and visually.
- Where dormers are extensively deteriorated or missing, replace in kind. Use salvaged material wherever possible or new materials that match the original style and quality of the originals.
- Improve the detailing of roof elements, including installation of flashing and crickets, following recognized conservation methods, to correct faulty details. Such improvements should be physically and visually compatible.
- Where physical and documentary evidence exists, the reinstatement of original features, including dormers, can further contribute to the heritage character of the District.



Figure 5: Shed dormers 212 Front St. (left); Wall-style gabled dormers 295 King St. (right).

5.2.2.3.1 *New Dormers*

- Design dormer additions to be sympathetic in style, scale and proportion with existing building features. Set new dormer additions away from the primary façade(s) wherever possible.

5.2.2.4 *Windows*

Windows contribute to the heritage value of buildings. Windows are necessary for both functional and aesthetic purposes. They provide natural light and ventilation, exterior views, and access. Their size and arrangement are fundamental to a building's appearance and heritage value. Windows on historic buildings in the District are largely double hung with numerous muntin arrangements including one-over-one, two-over-two, four-over-four, six-over-six and eight-over-eight.

- Document the form, materials and condition of windows, and their elements, before undertaking any intervention. This includes the configuration, style, method of operation and materials.
- Determine the cause of distress, damage, or deterioration of windows through investigation, monitoring, and minimally invasive or non-destructive testing techniques.

Address signs of distress, damage and deterioration immediately, so as not to cause further degradation.

- Protect and maintain the general arrangement, size, material and colour of existing original windows wherever possible.
- Protect and maintain windows by using appropriate surface treatments, such as cleaning, rust removal, limited paint removal, and reapplying protective coating systems in kind.
- Retain sound and repairable windows, including their functional and decorative elements.
- Repair parts of windows by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods.
- Where original windows are extensively deteriorated or missing parts, replace in kind where there are surviving prototypes. Use salvaged material wherever possible or new materials that match the original style, quality and operation of the originals.
- Where original windows are “beyond reasonable repair,” provide replacements to match the originals as close as possible. Avoid replacing original wood windows with aluminum, fiberglass or vinyl replacements. When replacing windows ensure adjacent architectural elements are also maintained.
- Where later contemporary windows require replacement, provide windows compatible with the original architectural style of the building in terms of design, materials, size, proportion, glazing and detailing.
- Avoid infilling original window openings. Removal of any existing infill for restoration of original window openings is encouraged.
- The installation of weatherstripping and interior storm windows to improve thermal efficiency is supported.
- Wherever possible, locate window mounted air-conditioners away from front facades, including side elevations for corner lots.



Figure 6: Two-over-two windows 339 William St. (left); Six-over-six windows 212 King St. (right).

5.2.2.4.1 New Windows

- The provision of new window openings is generally discouraged, especially on front facades facing the street. Where new window openings are necessary, ensure they are compatible with the original architectural style of the building.
- Provide double hung wood windows wherever possible within muntin arrangement matching those of the historic building.

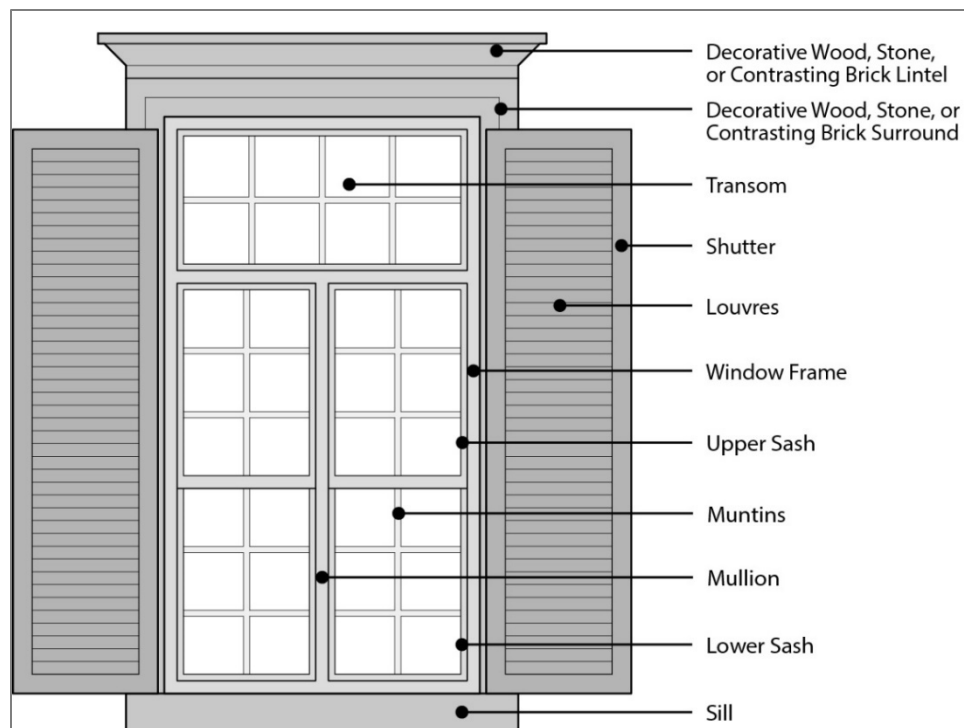


Figure 7: Diagram of typical window features (note: this exact design may not be present in the District).

(Source: First and Second Street HDC Plan)

5.2.2.5 Shutters

Shutters on buildings are hinged and often louvered panels fixed to the exterior side of windows that can be used to shelter interior spaces from light and heat, and also used for privacy and security purposes. Louvered shutters are prevalent in the District and contribute to its heritage character.

- Document the form, materials and condition of shutters, and their elements, before undertaking any intervention. This includes the configuration, style, method of operation and materials.
- Determine the cause of distress, damage, or deterioration of shutters through investigation, monitoring, and minimally invasive or non-destructive testing techniques. Address signs of distress, damage and deterioration immediately, so as not to cause further degradation.
- Protect and maintain the general arrangement, size, material and colour of existing original shutters wherever possible.
- Protect and maintain shutters by using appropriate surface treatments, such as cleaning, rust removal, limited paint removal, and reapplying protective coating systems in kind.
- Retain sound and repairable shutters, including their functional and decorative elements, such as hardware.
- Repair parts of shutters by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods.
- Where original shutters are extensively deteriorated or missing parts, replace in kind where there are surviving prototypes. Use salvaged material wherever possible or new materials that match the original style, quality and operation of the originals.

- Where original shutters are “beyond reasonable repair,” provide replacements to match the originals as close as possible. The removal or obstruction of historic shutters is not encouraged.
- Replace only the shutter elements that have deteriorated beyond repair, rather than replacing the entire shutter.
- Where later contemporary shutters require replacement, provide shutters compatible with the original architectural style of the building in terms of design, materials, size, proportion, and detailing.



Figure 8: Black louvred shutters 19 Navy St. (left); Louvred shutters 308 William St. (right).

5.2.2.5.1 *New Shutters*

- The installation of new shutters may be permitted only where they are physically and visually compatible with those of the historic building. This includes consideration of:
 - The architectural style of the historic building;
 - Louvre operability of the existing shutters.
- The dimensions of shutters shall be one-half the width of the sash they are intended to cover.
- Attach new shutters to window casings rather than exterior walls. Provide hinges and hooks to allow new shutters to be functional.

5.2.2.6 *Entrances*

Doors often contribute to the heritage value of buildings. Doors are necessary for both functional and aesthetic purposes. They provide natural light, exterior views, and access. Their size and arrangement are fundamental to a building’s appearance and heritage value.

- Document the form, materials and condition of doors, and their elements, before undertaking any intervention. This includes the configuration, style, method of operation and materials.
- Determine the cause of distress, damage, or deterioration of windows and doors through investigation, monitoring, and minimally invasive or non-destructive testing techniques. Address signs of distress, damage and deterioration immediately, so as not to cause further degradation.
- Protect and maintain the general arrangement, size, material and colour of existing original doors wherever possible.

- Protect and maintain doors by using appropriate surface treatments, such as cleaning, rust removal, limited paint removal, and reapplying protective coating systems in kind.
- Retain sound and repairable doors, including their functional and decorative elements, such as hardware, signs and awnings.
- Repair parts of doors by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods.
- Where doors are extensively deteriorated or missing parts, replace in kind where there are surviving prototypes. Use salvaged material wherever possible or new materials that match the original style, quality and operation of the originals.
- Where original doors are “beyond reasonable repair,” provide replacements to match the originals as close as possible. Avoid replacing original wood doors with aluminum or fiberglass replacements. When replacing doors, ensure architectural elements around doors are also maintained.
- Where later contemporary doors require replacement, provide doors compatible with the original architectural style of the building in terms of design, materials, size, proportion, glazing pattern and detailing.
- The installation of weatherstripping and appropriately designed screen doors to improve thermal performance is supported.

5.2.2.6.1 Typical Door Styles

Existing entrance doors in the District are largely made of wood and are consistent with the styles popular in Ontario in the late 19th and early 20th centuries. Some existing original entrance doors are covered/protected with exterior screen doors. When repairing and replacing doors, ensure they are appropriate for the architectural style of the existing building.

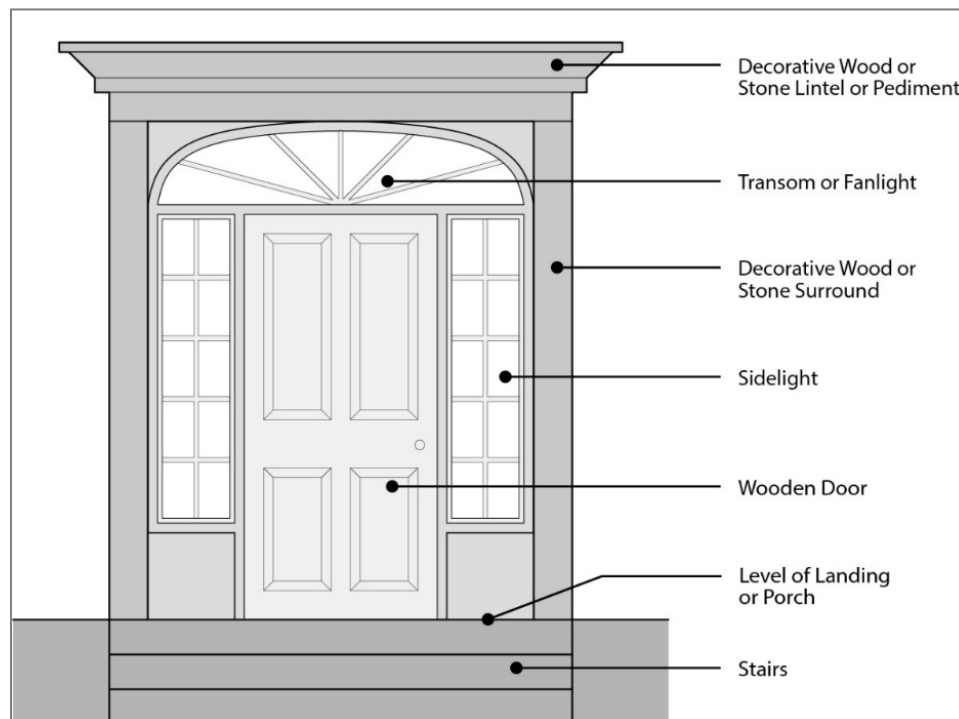


Figure 9: Diagram of typical features of an entrance (note: this exact design may not be present in the District)
(Source: First and Second Street HDC Plan)

5.2.2.6.2 New Entrances

- The provision of new entrances is generally discouraged, especially on front facades facing the street. Where new entrances are necessary, ensure they are compatible with the original architectural style of the building.
- Provide wood entrance doors wherever possible with panel arrangement to match those of the historic building.

5.2.2.7 Foundations

Original above-grade foundation walls should be protected and maintained wherever possible.

- Document the materials and conditions of foundations before undertaking an intervention.
- Determine the cause of distress, damage or deterioration of foundations through thorough investigation, monitoring and minimally invasive testing techniques. Address signs of distress, damage and deterioration immediately, so as not to cause further degradation.
- Protect and maintain above-grade foundation walls by cleaning and repairing damaged materials, and checking for moisture penetration and insect infestation, taking corrective action, as necessary and as soon as possible.
- Retain sound or deteriorated foundation walls that can be repaired.
- Stabilize exterior walls by using structural reinforcement, weather protection, or correcting unsafe conditions, as required, until repair work is undertaken.
- Repair parts of foundation walls by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods.
- Where original foundations are extensively deteriorated, replace in kind. Use salvaged material wherever possible or new materials that match the original style and quality of the originals.
- Improve the drying ability of exterior wall assemblies through suitable heating and/or ventilation measures wherever possible.
- Refrain from covering over existing original foundations with contemporary materials including parging. This prevents proper monitoring and maintenance of the original exterior building materials. This includes painting unpainted masonry. Instead, repair and/or replace the existing exterior building materials with like material.
- Where original masonry is concealed with later cladding materials, removal and repair is highly encouraged and recommended. Use historic documentation to rehabilitate the foundations.
- Ensure downspouts and grading slopes are directed away from building foundations to minimize the risk of water damage and infiltration.

5.2.2.8 Porches and Porticos

Porches, porticos, verandahs, and balconies are some of the most distinguishable and character-defining features for contributing properties in the District. These features help to connect people with the exterior environment and allow them to enjoy the outdoors while still being protected from the elements. Porticos are particularly prevalent at primary entrances to historic buildings within the District.

- Document the form, materials and conditions of porches, porticos, verandahs and balconies before undertaking an intervention.
- Determine the cause of distress, damage or deterioration of porches, porticos, verandahs and balconies through thorough investigation, monitoring and minimally invasive testing techniques. Address signs of distress, damage and deterioration immediately, so as not to cause further degradation.

- Protect and maintain the form, arrangement and materials of existing original porches, porticos, verandahs, and balconies wherever possible.
- Retain sound or repairable entrances, porches, porticos, verandahs and balconies and their functional and decorative elements.
- Repair parts of porches, porticos, verandahs or balconies by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods. Repairs should match the existing work as closely as possible, both physically and visually.
- Where porches, porticos, verandahs and balconies are extensively deteriorated or missing parts, replace in kind where there are surviving prototypes. Use salvaged material wherever possible or new materials that match the original style and quality of the originals.
- Where materials and features are extensively deteriorated or missing parts, replace in kind where there are surviving prototypes. Use salvaged material wherever possible or new materials that match the original style, quality and operation of the originals.
- Where original porches, porticos, verandahs or balconies are “beyond reasonable repair,” provide replacements to match the originals as close as possible. Avoid replacing original wood doors with aluminum or fiberglass replacements. When replacing doors, ensure architectural elements around doors are also maintained.
- Where later contemporary features require replacement, provide features compatible with the original architectural style of the building in terms of design, materials, size, proportion, glazing pattern and detailing.



Figure 10: Porch 22 Reynolds St. (left); Side porch 212 King St. (right).

5.2.2.9 Garages, Coach Houses and Secondary Structures

- Document the form, materials and conditions of garages, coach houses and second structures before undertaking an intervention.
- Determine the cause of distress, damage or deterioration of historic garages, coach houses and second structures through investigation, monitoring and minimally invasive testing techniques. Address signs of distress, damage and deterioration immediately, so as not to cause further degradation.
- Protect and maintain the form and materials of historic garages, coach houses and second structures wherever possible.
- Alterations to existing garages, coach houses and second structures must not negatively impact the contributing property in terms of its architectural style, massing, design, and materials.

- Non-historic garages, coach houses and second structures on contributing properties may be removed or replaced. Replacement garages shall be designed to be subordinate to and compatible with the historic building(s) to remain on the property.



Figure 11: Garage 215 William St. (left); Garage 43 Dunn St. (right).

5.2.2.10 Utility Service Equipment

The positioning of new service fixtures and elements should be carefully considered so as not to detract from the heritage character of the District.

- Find solutions to incorporate sustainable building initiatives without degrading the heritage value of contributing buildings.
- Ensure any new solar panels, roof top units, condensers, electrical panels etc. are installed so they are not visible from the public realm.

5.2.2.11 Exterior Walls

Exterior walls often contribute to the heritage value of buildings through their form, use of materials and detailing. Exterior walls of historic buildings in the District are clad with a variety of materials including brick masonry, horizontal wood siding, cedar shake siding and stucco.

- Document the composition, form, materials, details, dimensions and condition of exterior wall assemblies before undertaking any intervention.
- Determine the cause of any distress, damage or deterioration through investigation, monitoring and minimally invasive testing techniques. Address signs of distress, damage and deterioration as soon as possible.
- Protect and maintain exterior walls by cleaning and repairing damaged materials, and checking for moisture penetration and insect infestation, taking corrective action, as necessary and as soon as possible.
- Retain sound or deteriorated exterior wall assemblies that can be repaired.
- Stabilize exterior walls by using structural reinforcement, weather protection, or correcting unsafe conditions, as required, until repair work is undertaken.
- Repair parts of exterior walls by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods.
- Where original masonry and cladding is extensively deteriorated or missing, replace in kind. Use salvaged material wherever possible or new materials that match the original style and quality of the originals.

- Improve the drying ability of exterior wall assemblies through suitable heating and/or ventilation measures wherever possible.
- Refrain from covering over existing original exterior building materials with contemporary materials. Over cladding prevents proper monitoring and maintenance of the original exterior building materials. This includes painting unpainted brickwork. Instead, repair and/or replace the existing exterior building materials with like material.
- Where original masonry is concealed with later cladding materials (i.e., vinyl siding), removal and repair is highly encouraged and recommended. Use historic documentation to rehabilitate the exterior facades.



Figure 12: White stucco 65 Navy Street (left); Yellow stucco 41 Navy St. (right)

5.2.2.11.1 Avoid Over Cladding

When exterior building facades start to show signs of deterioration, some building owners decide to cover over the existing deteriorating materials in lieu of repair. This prevents proper maintenance of the original exterior building materials and can be detrimental to buildings. Applying paint to exterior masonry can also prevent buildings from breathing. Moisture can get trapped behind paint, further deteriorate the brick and cause severe damage.

5.2.3 Additions to Contributing Properties

Additions on contributing properties are permitted however, they must be sympathetic and subordinate to the primary building. Property owners are encouraged to consider the following when planning for a new addition:

- Consider accommodating new functions and services in non-character-defining interior spaces as an alternative to constructing a new addition.
- Select a new use that suits the existing building form.

5.2.3.1 Heritage Fabric

- Protect the heritage fabric of a contributing property wherever possible:
 - Document the heritage fabric prior to any alteration or intervention.
 - Repair damaged and/or deteriorated heritage fabric rather than replacement in kind.
 - Only replace heritage fabric where it is damaged beyond repair.
 - Improve detailing following recognized conservation methods, to correct faulty details and extend the lifespan of the heritage fabric.

- Where physical and documentary evidence exists, reinstatement of original features and materials is encouraged.
- Removal of elements that conceal original architectural details is encouraged.
- Additions to a contributing property shall be physically and visually compatible with, sympathetic to and distinguishable from the heritage fabric of the property, with regard to the location, massing, height, proportions, architectural style, detailing and materials of the addition.
- Property owners are strongly encouraged to design new additions to be reversible so that the form and integrity of the original building is maintained and not compromised should the addition be removed at a later date.

5.2.3.2 Location

Additions should be placed so they are considered to be subordinate to the primary building on the property in size, stature and detailing.

- The maximum lot coverage for primary residences and accessory buildings, including detached garages, shall be the maximum lot coverage permitted by the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- The minimum setback for primary residences and accessory building, including detached garages, shall be the minimum setback permitted by the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- Maintain prominent views of heritage buildings on contributing properties from the public realm. Do not block or obscure prominent views of heritage buildings from the public realm with additions, landscaping, fencing, servicing or utility equipment.
- Design new buildings so that any significant landscape features of the existing property are maintained including mature trees and site topography. Use creative design solutions to integrate new buildings into the existing setting.
- Place new buildings so they are parallel with the street, in concert with existing buildings in the District.
- Buildings on corner sites are encouraged to address all facing streets.
- Select the location for a new addition that ensures the heritage value of the place is maintained.
- Set additions back from the primary building façade, especially where the addition faces a street.
- Where a new addition is erected to the rear of the existing building, and not visible from the public realm, contemporary designs that differ from their primary buildings may be permitted.
- Locate contemporary roof features including skylights, solar panels, green roofs so that they do not visually impact views of neighbouring properties or viewsapes within the District.

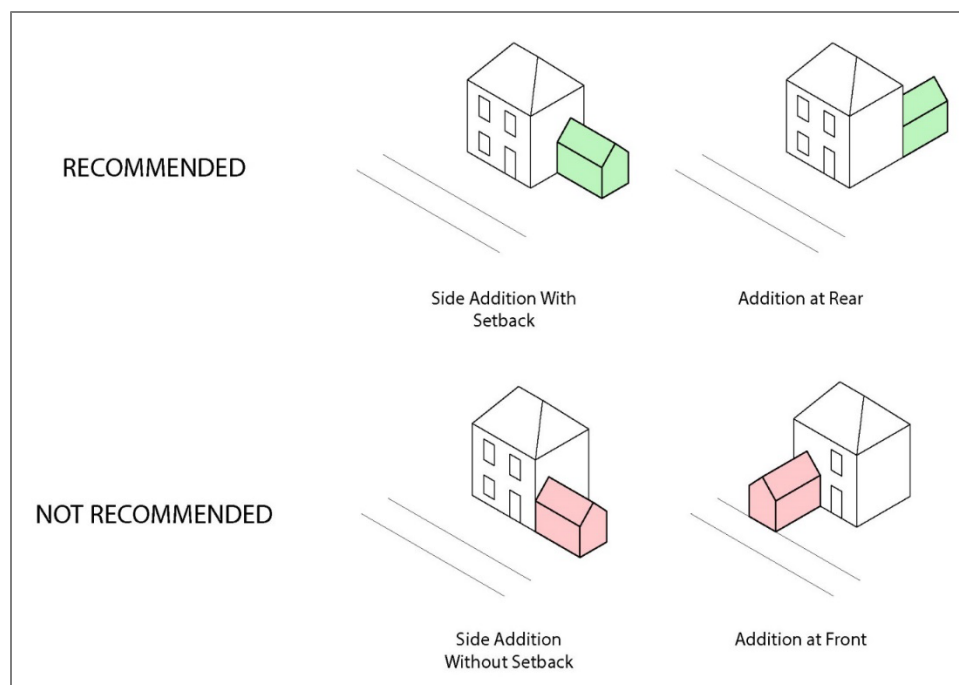


Figure 13: Guidelines for the location of additions to Contributing Properties
(Source: First and Second Street HCD Plan)

5.2.3.3 Scale and Massing

The scale and mass of building additions must be carefully considered.

- Erect additions 1-2 storeys in building height, sympathetic in scale and massing to the primary building.
- Design a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Design rooflines for additions and new buildings so that they compliment the form, material and style of contributing buildings within the District.
- Design additions so that the proportions, placement, style and materials of windows and doors compliment those of contributing properties within the District.
- Design new porches, porticos, verandahs and balconies, so that they compliment the proportions, placement, style and materials of contributing buildings within the District.
- The massing and proportions of an addition shall conform to all applicable regulations of the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.

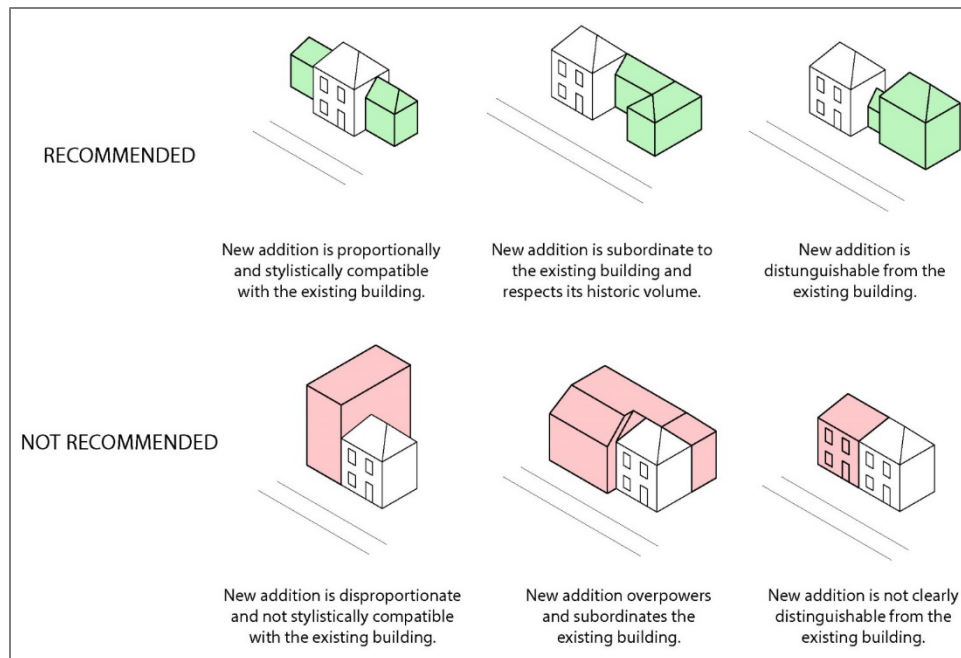


Figure 14: Guidelines for the scale and massing of additions to Contributing Properties
(Source: First and Second Street HCD Plan)

5.2.3.4 Height

- Protect and maintain the low-rise character of the District.
- The height of an addition to a contributing property shall not exceed the height of the historic building on the property.
- Follow the height restrictions set forth in the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.

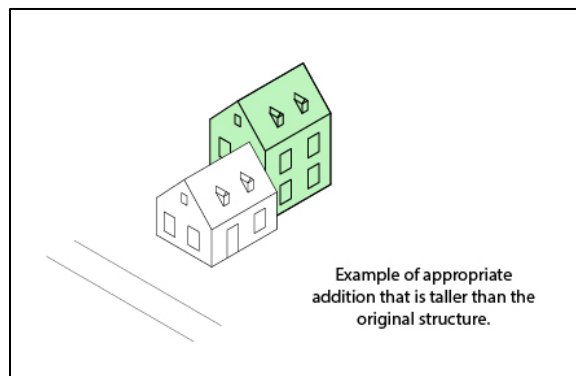


Figure 15: Guidelines for the scale and massing of additions to Contributing Properties
(Source: First and Second Street HCD Plan)

5.2.3.5 Style

- The architectural style of additions to contributing properties should reflect the architectural style of the historic building including roof form, massing, materials, and other

architectural features including dormers, windows, shutters, entrances, porches and porticos.

- Additions to contributing properties with compatible variations of the architectural style of the historic building may be permitted.
- Where a new addition is erected to the rear of the historic building, and not visible from the public realm, contemporary designs that differ from their primary buildings may be permitted.
- Locate contemporary roof features including skylights, solar panels, green roofs so that they do not visually impact views of neighbouring properties or viewscales within the District.

5.2.3.6 Roofs

- Protect and maintain the form, rooflines and detailing of historic buildings including but not limited to fascia, cornice, eaves, gables, trim, dormers, and chimneys.
- Design additions to be physically and visually compatible with historic buildings, this includes the roof form and roofing materials.
- Discreetly integrate rooftop equipment and drainage elements so they do not negatively impact the heritage character of the District.
- Acceptable roof forms include gabled and hipped, though other forms may be more appropriate for an addition to a historic building on a contributing property depending on the architectural style of the historic building.
- The use of asphalt shingles, cedar shingles and cedar shakes is generally acceptable in the District. Select profiles and colours that are compatible with other historic buildings in the District.
- The use of alternative materials that mimic asphalt shingles, cedar shingles or cedar shakes may be considered on a case-by-case basis.
- Avoid selecting roofing materials including plastic and ceramic that do not traditionally appear in the District.

5.2.3.7 Dormers

- Protect and maintain the form, rooflines and detailing of historic dormers including but not limited to fascia, cornice, eaves, gables, trim, and windows.
- Design dormer additions to be sympathetic in scale and proportion with historic building features. Set new dormer additions away from the primary façade wherever possible.

5.2.3.8 Windows

- Protect and maintain the general arrangement, size, material and colour of historic windows wherever possible.
- Windows located in an addition to a historic building shall be compatible with those on the heritage building in terms of their general arrangement, size, proportion, material and colour.
- The use of operable windows is encouraged.
- Blank windowless walls are discouraged.
- Consider the historic solid-to-void ratios and rhythm of windows and bays in the District and implement these wherever possible.
- Provide double hung wood windows wherever possible within muntin arrangement matching those of the historic building.
- The use of vinyl, fiberglass and metal windows is discouraged.

- The use of glue-on or snap-on muntins are also discouraged. The use of true divided lights and simulated divided lights with spacer bar are encouraged.



Figure 16: Muntin options
(Source: *First and Second Street HCD Plan*)

5.2.3.9 Shutters

- Protect and maintain the general arrangement, size, material and colour of historic shutters wherever possible.
- The installation of new shutters may be permitted on additions to contributing properties only where they are physically and visually compatible with those of the historic building. This includes consideration of:
 - The architectural style of the historic building.
 - Louvre operability of the existing shutters.
- The dimensions of shutters shall be one-half the width of the sash they are intended to cover.
- Attach new shutters to window casings rather than exterior walls. Provide hinges and hooks to allow new shutters to be functional.

5.2.3.10 Entrances

- Protect and maintain the general arrangement, proportions, design and material of historic entrances and doors wherever possible.
- Entrances located on an addition to a contributing property shall be compatible with the historic building in terms of their general arrangement, proportions, design and material.
- New entrances shall be subordinate to the primary entrance(s) of the historic building.
- Provide wood entrance doors wherever possible with panel arrangement to match those of the historic building.
- Wood panelled doors are the most appropriate for the District. The use of other door materials including aluminum and fiberglass may be considered on a case-by-case basis

provided they effectively display the detailing, finishing and colour of their wood counterparts.

5.2.3.11 Foundations

- Design new additions so their impact to historic building foundations is as minimal as possible.
- Protect and maintain historic building foundations wherever possible when constructing new additions.

5.2.3.12 Porches and Porticos

- Protect and maintain the form, arrangement and materials of historic porches, porticos, verandahs, and balconies wherever possible.
- New porches, porticos, verandahs, and balconies may be permitted on additions to contributing properties provided they are compatible with the architectural style of the historic building in terms of placement, proportion, design and materials.
- Ensure new porches, porticos, verandahs, and balconies are subordinate to the historic building, especially where they are located at a secondary entrance.
- Wood, brick and stone are the most appropriate material for porches, porticos, verandahs and balconies within the District.

5.2.3.13 Garages, Coach Houses and Secondary Structures

Garages, while necessary, are large modern-day additions to residential dwellings. Often garages consume a large portion of their residential lots and have significant negative impacts on the streetscape. Within the District there are numerous examples of successful garage additions, setback significantly from the front lot line. Some of these additions are connected to the residential dwelling whereas others are erected as stand-alone structures.

- Protect and maintain the form and materials of historic garages, coach houses and secondary structures wherever possible.
- The addition of attached and detached coach houses and secondary structures to contributing properties may be permitted provided they are physically and visually compatible with the architectural style of the historic building.
- New garages, coach houses and secondary structures shall be subordinate to the primary building on the property in terms of their scale, massing and location. Wherever possible, new garages shall be setback from the principal building facade facing the street.
- Where a new garage coach houses or secondary structures is erected to the rear of the historic building, and not visible from the public realm, contemporary designs that differ from their primary buildings may be permitted.

5.2.3.14 Utility Service Equipment

- Find solutions to incorporate sustainable building initiatives without degrading the heritage value of contributing buildings.
- Ensure any new solar panels, roof top units, condensers, electrical panels etc. are installed so they are not visible from the public realm.
- If service equipment is visible from the public realm, provide appropriate screening materials.
- When new service equipment is placed on the ground and visible from the public realm, provide appropriate screening using landscape features.

5.2.3.15 Exterior Walls

- Protect and maintain historic exterior walls wherever possible.
- Design an addition that is compatible in terms of materials and massing with the exterior form of its primary contributing building and its setting, yet distinguishable from it. This can be achieved through the use of a different yet compatible cladding material or the use of the same material with a different pattern.
- The application of lower-quality cladding materials or surface coatings (i.e. vinyl, plastic) is generally discouraged. High-quality, durable materials including brick and stone masonry, wood, fibre cement board and metal is encouraged.
- The application of materials traditionally not found in the District should generally be avoided. Where these materials are located outside of the public realm, they may be permitted.

5.3 Guidelines for Non-Contributing Properties

5.3.1 General Guidelines

5.3.1.1 Understanding

Alterations and additions, and new development on a non-contributing property shall be based on a firm understanding of the heritage character of the District, while reflecting their own time.

5.3.1.2 Compliances

Current codes and standards pertaining to health and safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the heritage character of the non-contributing property and the District. This includes but is in no way limited to the Ontario Building Code (OBC) and AODA.

5.3.1.3 Demolition and Relocation

These guidelines apply to the full and partial demolition of non-contributing properties in the Heritage Conservation District.

- The demolition of non-historic building on non-contributing properties in the District is permitted.
- A Heritage Permit for the demolition of a non-historic building on a non-contributing property in full or in part shall not be granted until the design for the replacement building or alterations has been submitted and approved in principle by the Town. The design of replacement buildings and alterations must comply with the guidelines for new construction and/or alterations.

5.3.1.4 Lot Severances and Assembly

- Consent applications will be evaluated on a case-by-case basis for lot severances and assembly in the District.
- All severances must conform to provincial and local policies and by-laws including, but not limited to in-effect Official Plan and Zoning by-law.
- In addition, within the Old Oakville Heritage Conservation District, severances may be possible, however, the lot size of any infill property or severance shall reflect the character of the surrounding lot fabric.
- Protect remaining traditional quarter acre lot early Town settlement pattern by conserving the lot size, openness at intersections, front yard setbacks, and vistas between and through the properties.

5.3.2 Alterations and Additions to Non-Contributing Properties

5.3.2.1 Impact on Heritage Character of the District

- Alterations and additions to a non-contributing property may be permitted where they are physically and visually compatible with the existing building and do not negatively impact the heritage character of the District.

5.3.2.2 Scale, Massing and Location

- The scale, massing and location of any addition to a non-contributing property shall be physically and visually compatible with the existing building and shall not negatively impact the heritage character of the District.
- The massing and proportions of an addition shall conform to all applicable regulations of the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- The maximum lot coverage for primary residences and accessory buildings, including detached garages, shall be the maximum lot coverage permitted by the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- The minimum setback for primary residences and accessory building, including detached garages, shall be the minimum setback permitted by the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- Maintain prominent views of heritage buildings on contributing properties from the public realm. Do not block or obscure prominent views of heritage buildings from the public realm with additions, landscaping, fencing, servicing or utility equipment.
- Design new buildings so that any significant landscape features of the existing property are maintained including mature trees and site topography. Use creative design solutions to integrate new buildings into the existing setting.
- Place new buildings so they are parallel with the street, in concert with existing buildings in the District.
- Buildings on corner sites are encouraged to address all facing streets.

5.3.2.3 Height

- Protect and maintain the low-rise character of the District.
- The height of an addition to a non-contributing property may exceed the height of the existing building on the property.
- Follow the height restrictions set forth in the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.

5.3.2.4 Style

- The architectural style of additions to non-contributing properties should be compatible with the existing building and shall not negatively impact the heritage character of the District.
- Additions to non-contributing properties with compatible variations of the architectural style of the existing building may be permitted.
- Where a new addition is erected to the rear of the existing building, and not visible from the public realm, contemporary designs that differ from their primary buildings may be permitted.
- Locate contemporary roof features including skylights, solar panels, green roofs so that they do not visually impact views of neighbouring properties or viewscapes within the District.

5.3.2.5 Roofs

- Design additions to be physically and visually compatible with the existing building, this includes the roof form and roofing materials.
- Discreetly integrate rooftop equipment and drainage elements so they do not negatively impact the heritage character of the District.
- Acceptable roof forms include gabled and hipped, though other forms may be more appropriate for an addition to an existing building on a non-contributing property depending on the architectural style of the existing building.
- The use of asphalt shingles, cedar shingles and cedar shakes is generally acceptable in the District. Select profiles and colours that are compatible with other historic buildings in the District.
- The use of alternative materials that mimic asphalt shingles, cedar shingles or cedar shakes may be considered on a case-by-case basis.
- Avoid selecting roofing materials including plastic and ceramic that do not traditionally appear in the District.

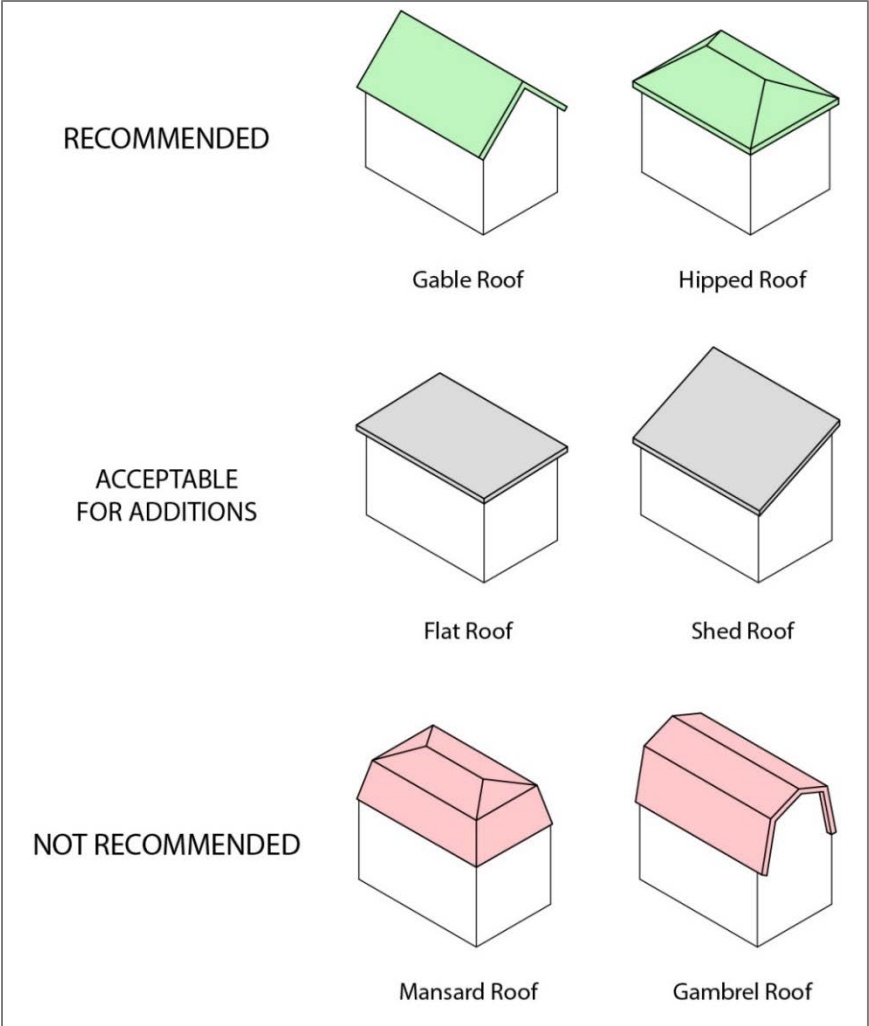


Figure 17: Guidelines for roof forms in the District
(Source: First and Second Street HCD Plan)

5.3.2.6 Dormers

- Dormers may be permitted as additions to non-contributing properties provided they are physically and visually compatible with the architectural style of the existing building and they do not negatively impact the heritage character of the District.
- Design dormer additions to be sympathetic in scale and proportion with existing building features. Set new dormer additions away from the primary facade wherever possible.

5.3.2.7 Windows

- New window openings and windows on additions to non-contributing properties shall be physically and visually compatible with those of the existing building in terms of their general arrangement, size, proportion, material and colour.
- The use of operable windows is encouraged.
- Blank windowless walls are discouraged.
- Consider the historic solid-to-void ratios and rhythm of windows and bays in the District and implement these wherever possible.

- Provide double hung wood windows wherever possible within muntin arrangement matching those of the existing building.
- The use of vinyl, fiberglass and metal windows is discouraged.
- The use of glue-on or snap-on muntins are also discouraged. The use of true divided lights and simulated divided lights with spacer bar are encouraged.

5.3.2.8 Shutters

- The installation of new shutters may be permitted on additions to non-contributing properties only where they are physically and visually compatible with those of the existing building. This includes consideration of:
 - The architectural style of the existing building on the non-contributing property;
 - Louvre operability of the existing shutters.
- The dimensions of shutters shall be one-half the width of the sash they are intended to cover.
- Attach new shutters to window casings rather than exterior walls. Provide hinges and hooks to allow new shutters to be functional.

5.3.2.9 Entrances

- Entrances located on an addition to a non-contributing property should be physically and visually compatible with the existing building in terms of their general arrangement, proportions, design and material, and not negatively impact the heritage character of the District.
- Provide wood entrance doors wherever possible with panel arrangement to match those of the existing building.
- Wood panelled doors are the most appropriate for the District. The use of other door materials including aluminum and fiberglass may be considered on a case-by-case basis provided they effectively display the detailing, finishing and colour of their wood counterparts.

5.3.2.10 Porches and Porticos

- New porches, porticos, verandahs, and balconies may be permitted on additions to non-contributing properties provided they are compatible with the architectural style of the existing building in terms of placement, proportion, design and materials, and do not negatively impact the heritage character of the District.
- Wood, brick and stone are the most appropriate material for porches, porticos, verandahs and balconies within the District.

5.3.2.11 Garages, Coach Houses and Secondary Structures

- The addition of attached and detached garages to non-contributing properties may be permitted provided they are physically and visually compatible with the architectural style of the existing building.
- New garages shall be subordinate to the primary building on the property in terms of their scale, massing and location. Wherever possible, new garages shall be setback from the principal building facade facing the street.
- Where a new garage is erected to the rear of the existing building, and not visible from the public realm, contemporary designs that differ from their primary buildings may be permitted.

5.3.2.12 Utility Service Equipment

- Ensure any service equipment including, but not limited to, new solar panels, roof top units, condensers, electrical panels etc. are installed so they are not visible from the public realm.
- If service equipment is visible from the public realm, provide appropriate screening materials.
- When new service equipment is placed on the ground and visible from the public realm, provide appropriate screening using landscape features.

5.3.2.13 Exterior Walls

- The cladding materials of additions to non-contributing properties shall be compatible with the existing building and shall not negatively impact the heritage character of the District.
- The application of lower-quality cladding materials or surface coatings (i.e. vinyl, plastic) is generally discouraged. High-quality, durable materials including brick and stone masonry, wood, fibre cement board and metal is encouraged.
- The application of materials traditionally not found in the District should generally be avoided. Where these materials are located outside of the public realm, they may be permitted.

5.3.3 New Development

5.3.3.1 Impact on Heritage Character of the District

Within the District, there are few areas where new buildings could be constructed without the relocation or demolition of an existing building or structure. Nonetheless, there may be circumstances where infill or new development is possible in the future or where redevelopment is proposed as a result of the loss of buildings through extreme circumstances, etc. In these situations, the following policies regarding new development or infill apply.

- New buildings shall be designed to be compatible with and respect the heritage character of the District through attention to height, built form, setback, massing, material, orientation, relationship to the street, and other architectural or physical elements.
- New buildings shall contribute to the sense of place of the District and shall not negatively impact or detract from the heritage character of the adjacent buildings, streetscape and overall District.
- New development is permitted on lands where:
 - No building exists and/or a lot which is currently vacant.
 - A historic building existed on a contributing property and was demolished in conformity with the policies and guidelines in the District Plan.
 - A building on a non-contributing property is being replaced.

5.3.3.2 Location, Scale and Massing

The location and orientation of new development must be carefully considered to ensure the new building 'fits' within the existing context of the District.

- The scale, massing and location of any new buildings shall be physically and visually compatible with the District and shall not negatively impact the heritage character of the District.

- The massing and proportions of new buildings shall conform to all applicable regulations of the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- The maximum lot coverage for primary residences and accessory buildings, including detached garages, shall be the maximum lot coverage permitted by the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- The minimum setback for primary residences and accessory building, including detached garages, shall be the minimum setback permitted by the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.
- Maintain prominent views of heritage buildings on contributing properties from the public realm. Do not block or obscure prominent views of heritage buildings from the public realm with additions, landscaping, fencing, servicing or utility equipment.
- Design new buildings so that any significant landscape features of the existing property are maintained including mature trees and site topography. Use creative design solutions to integrate new buildings into the existing setting.
- Place new buildings so they are parallel with the street, in concert with existing buildings in the District.
- Buildings on corner sites are encouraged to address all facing streets.

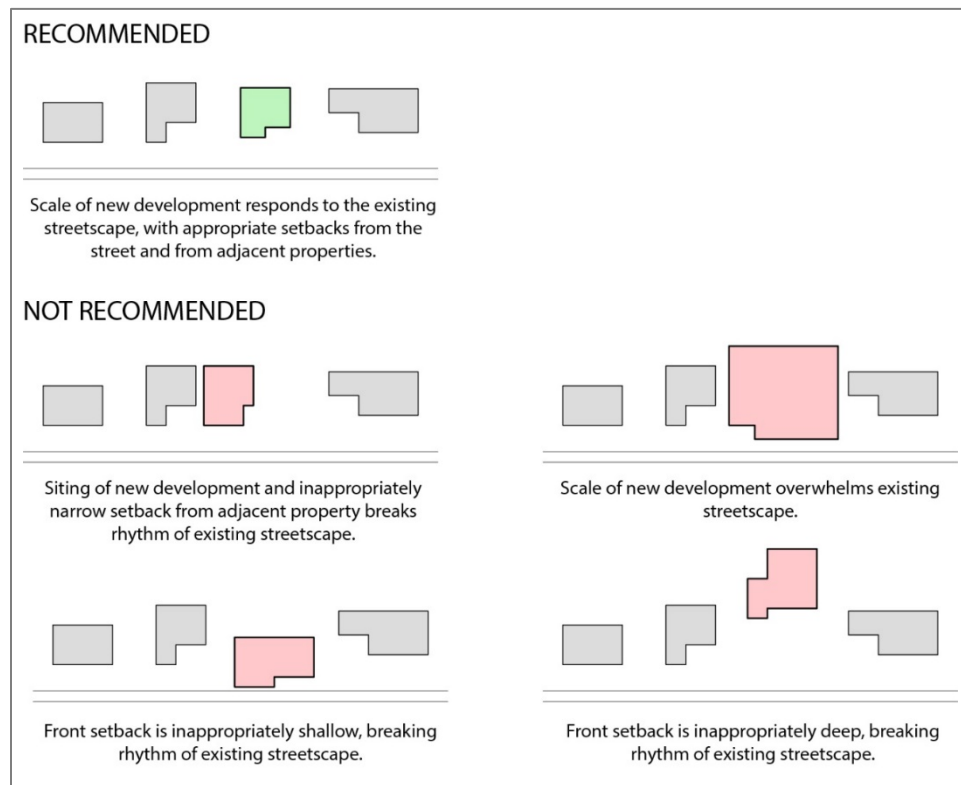


Figure 18: Guidelines for sitting new development within the existing streetscape
(Source: First and Second Street HCD Plan)

5.3.3.3 Height

- Protect and maintain the low-rise character of the District.
- Follow the height restrictions set forth in the Town of Oakville Zoning By-law, subject to amendments and variances that may be approved.

5.3.3.4 *Style*

- The architectural style of new buildings should be compatible with those in the District and shall not negatively impact the heritage character of the District.

5.3.3.5 *Roofs*

- Design roofs to be physically and visually compatible with those in the District, this includes the roof form and roofing materials.
- Discreetly integrate rooftop equipment and drainage elements so they do not negatively impact the heritage character of the District.
- Acceptable roof forms include gabled and hipped, though others may be permitted on a case-by-case basis.
- The use of asphalt shingles, cedar shingles and cedar shakes is generally acceptable in the District. Select profiles and colours that are compatible with other historic buildings in the District.
- The use of alternative materials that mimic asphalt shingles, cedar shingles or cedar shakes may be considered on a case-by-case basis.
- Avoid selecting roofing materials including plastic and ceramic that do not traditionally appear in the District.

5.3.3.6 *Dormers*

- Dormers may be permitted for new buildings on non-contributing properties provided they are physically and visually compatible with the architectural style of those in the District and they do not negatively impact the heritage character of the District.
- Design dormers to be sympathetic in scale and proportion with the architectural style of the new building.

5.3.3.7 *Windows*

- New window openings and windows for new buildings on non-contributing properties shall be physically and visually compatible with those in the District in terms of their general arrangement, proportions, design and materials.
- The use of operable windows is encouraged.
- Blank windowless walls are discouraged.
- Consider the historic solid-to-void ratios and rhythm of windows and bays in the District and implement these wherever possible.
- Provide double hung wood windows wherever possible within muntin arrangement matching those of the existing building.
- The use of vinyl, fiberglass and metal windows is discouraged.
- The use of glue-on or snap-on muntins are also discouraged. The use of true divided lights and simulated divided lights with spacer bar are encouraged.

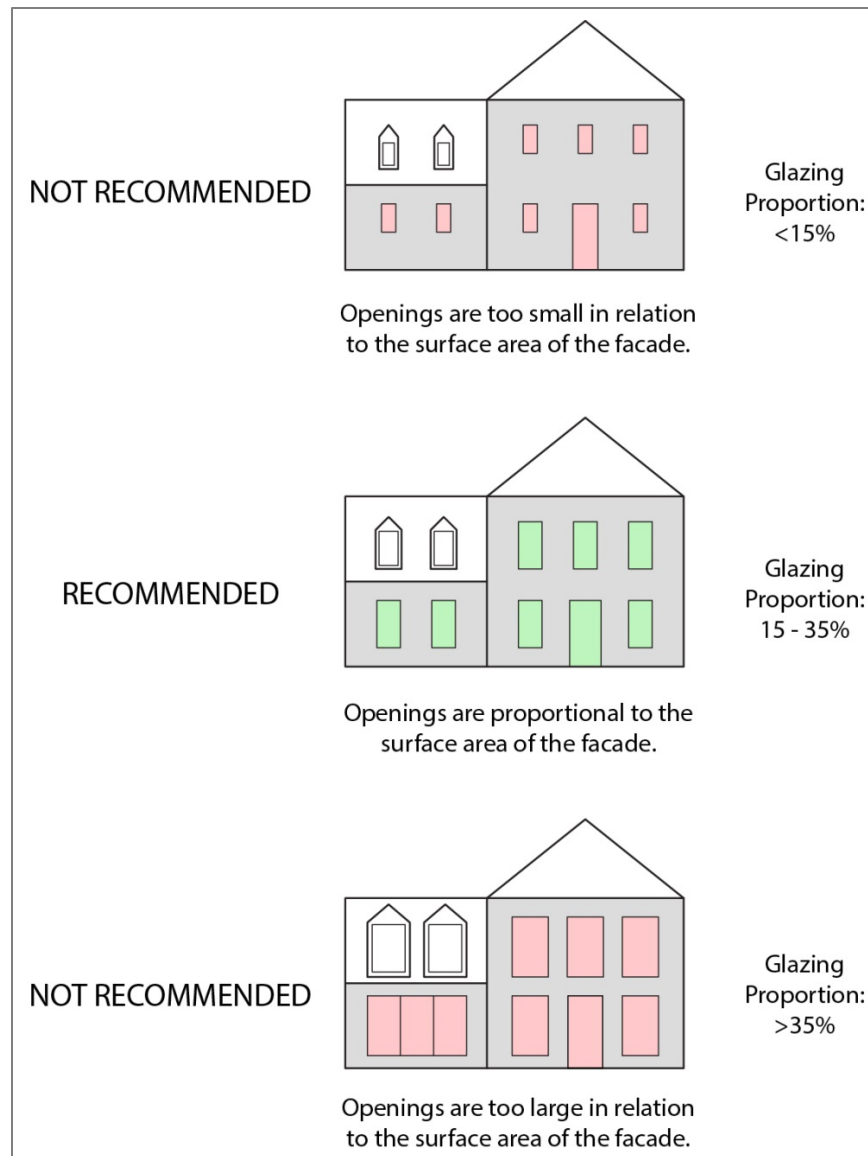


Figure 19: Guidelines for the solid-to-void ratio of new development
(Source: First and Second Street HCD Plan)

5.3.3.8 Entrances

- Entrances for new buildings on a non-contributing property should be physically and visually compatible with those in the District in terms of their general arrangement, proportions, design and material, and not negatively impact the heritage character of the District.
- Provide wood entrance doors wherever possible with panel arrangement to match those of the existing building.
- Wood panelled doors are the most appropriate for the District. The use of other door materials including aluminum and fiberglass may be considered on a case-by-case basis provided they effectively display the detailing, finishing and colour of their wood counterparts.

5.3.3.9 Porches and Porticos

- New porches, porticos, verandahs, and balconies may be permitted for new buildings on non-contributing properties provided they are compatible with the architectural style of those in the District in terms of placement, proportion, design and materials, and do not negatively impact the heritage character of the District.
- Wood, brick and stone are the most appropriate material for porches, porticos, verandahs and balconies within the District.

5.3.3.10 Garages, Coach Houses and Secondary Structures

- The addition of attached and detached garages to non-contributing properties may be permitted provided they are physically and visually compatible with the architectural style of those in the District.
- New garages shall be subordinate to the primary building on the property in terms of their scale, massing and location. Wherever possible, new garages shall be setback from the principal building facade facing the street.
- Where a new garage is erected to the rear of the primary building, and not visible from the public realm, contemporary designs that differ from their primary buildings may be permitted.

5.3.3.11 Utility Service Equipment

The positioning of new service fixtures and elements should be carefully considered so as not to detract from the heritage character of the District.

- Find solutions to incorporate sustainable building initiatives without degrading the heritage value of contributing properties.
- Ensure any new solar panels, roof top units, condensers, electrical panels etc. are installed so they are not visible from the public realm.

5.3.3.12 Exterior Walls

- The cladding materials of new buildings on non-contributing properties shall be compatible with the existing building and shall not negatively impact the heritage character of the District.
- The application of lower-quality cladding materials or surface coatings (i.e. vinyl, plastic) is generally discouraged. High-quality, durable materials including brick and stone masonry, wood, fibre cement board and metal is encouraged.
- The application of materials traditionally not found in the District should generally be avoided. Where these materials are located outside of the public realm, they may be permitted.

5.4 Landscape and Site Guidelines for Public Lands (Contributing and Non-Contributing)

5.4.1 Paved Areas

- Maintain existing modern streetscape features, such as paved roads, sidewalks and concrete curbs. These features improve accessibility and the pedestrian environment and help to distinguish the public right-of-ways from private properties. Ensure that water drainage does not negatively impact abutting private properties.
- Maintain existing sidewalks with surface treatments that complement the overall small-scale streetscapes and other street furniture styles. Front St right-of-way shall support

safe on-road trail route and access with distinguished surface materials, patterns and/or paint.

- Low impact development measures, such as permeable surfaces and water retention areas in parking lots should be considered to improve environmental sustainability along two important shorelines.
- Parking areas must be designed and located so that they are as unobtrusive as possible. Tree planting and landscape areas shall be integrated into parking lot designs to soften the impact of this hardscape to the District.
- Through-traffic should continue to be discouraged using speed limits, limited street grid connectivity and other measures where necessary.
- New and/or replacement sidewalks and curbs should meet the standards of the Accessibility for Ontarians with Disabilities Act (AODA).

5.4.2 Street Trees and Boulevards

- Continue to identify, commemorate and protect heritage trees within the District.
- Protect and maintain the existing tree canopies located on both sides of the street along the rights-of-way within the District, while enabling key views into the downtown and Lake Ontario.
- Prioritize planting of new trees along sidewalks and boulevards located on both sides of the street wherever feasible in relation to adequate root zone area and soil volume requirements being met and resolved conflicts between underground servicing infrastructure and overhead wires.
- Avoid gaps between existing mature street tree canopies by planting companion trees where appropriate; companion trees are planted adjacent to over mature trees to serve as well-established replacements in the future.
- Tree health should be monitored on a regular basis and dead wood removed to avoid decay and prevent property damage. Remove and replace dead trees in accordance with Town standards for tree removal and replanting in order to maintain the tree canopy.
- Protect and maintain existing grassed boulevards. Where grassed boulevards are damaged by winter maintenance activities, they should be repaired the following spring.



Figure 20: Paved sidewalk along Reynolds St



Figure 21: Urban tree cover along King St. between Reynolds St. and Trafalgar Rd. in Area 5 – St. Andrew’s Traditional

- All other applicable Town standards for tree planting and maintenance shall be followed, including planting of historic tree species.

5.4.3 Street Furniture, Lighting and Utilities

- Street furniture should be unified and compliment the historic architectural attributes of the District, as well its connection to Oakville’s historic downtown.
- A variety of street lighting currently exists within the District. New and replacement lighting poles should be of a consistent design, eco-friendly, night-sky compliant and be compatible with the heritage character of the District. Lighting fixtures’ material, scale and colour should be compatible with the character of the streetscape.
- Overhead wires should be buried, when possible, in order to minimize conflicts with the mature tree canopy and significant sightlines and views to the downtown, streetscapes, lake and creek.



Figure 22: Open Views to Lake Ontario from George St. terminus at George Street Parkette

5.4.4 Views

- Protect the primary tree-framed views of Lake Ontario along public right-of-ways, including Navy St, Thomson St, George St, Dunn St, Trafalgar Rd, Reynolds St and Allan St. New street trees should be located along sidewalks or boulevards to frame these views, not obscure them.
- Protect the secondary vistas to the lake, creek, downtown, churches and building facades along Key Streetscape Overlay.
- Protect the secondary vista openings within the streetscape at the road intersections within the District.



Figure 23: View of marina and Sixteen Mile Creek, from Oakville Museum garden

5.4.5 Public Parks and Open Space

- Protect and maintain the parks and open spaces along the Lake Ontario and Sixteen Mile Creek shorelines. These areas should remain publicly accessible. Increased pedestrian amenities, such as connecting pathways or paving, may be permitted.
- Conserve and enhance the physical connections between the parks and public landmarks within the District’s Area 1 - Waterfront Open Space, including Market Square, Erchless Estate, Lakeside Park, Dingle Park and George Parkette.
- Protect and maintain the individually designated properties within the park system and only permit park programs that do not negatively impact the heritage attributes.
- Alterations, additions and new development within the parks and open spaces in the District shall conserve the cultural heritage value and heritage attributes identified in the Cultural Heritage Landscape designations for the Oakville Harbour and the Erchless Estate.

- Conserve and enhance the safety of the physical trail and right-of-way connections between the parks and public landmarks within the District's Area 1 - Waterfront Open Space, including Market Square, Erchless Estate, Lakeside Park, Dingle Park and George Parkette.
- Integrate and celebrate Indigenous history in District's Area 1 - Waterfront Open Space.
- Continue to identify, commemorate and protect heritage trees in parks and open spaces.
- Protect and maintain the existing trees in parks and open spaces, prioritizing successional planting of new trees and historic grove-like restoration of the shoreline.
- Tree health should be monitored on a regular basis and dead wood removed to avoid decay and prevent property damage. Remove and replace dead trees in accordance with Town standards for tree removal and replanting in order to maintain the tree canopy.
- All other applicable Town standards for tree planting and maintenance shall be followed, including planting of historic tree species.
- Fencing shall be low-lying, porous and picket with frequent openings for public access to the park.
- Protect and maintain historic fencing and walls in situ when possible. Refer to historic photographs or documentation for appropriate styles wherever possible when adding new fences in parks and open spaces.



Figure 24 Trail network in Dingle Park within Area 1 - Waterfront Open Space

5.4.6 Wayfinding

- Use Oakville Historical Society signage for key historic structures within the District.
- The predominant public space signage within the District is white with single or double posts. Signage should be unified and well-maintained at key public space entrances.
- The Town may consider introducing special street signage identifying the heritage conservation district in the future.



Figure 25: Historic structure signage, the Old Post Office and Thomas House (left), and the Worn Doorstep (right)



Figure 26: Park signs, using both double (Lakeside Park, Oakville Lawn Bowling Club) and single (Dingle Park, Oakville Historic Society) post signage

5.5 Landscape and Site Design Guidelines for Privately Owned Lands(Contributing and Non-Contributing)

5.5.1 *Soft Landscaped Areas and Trees*

- Maximize, protect and maintain existing generous setbacks with landscaped areas, including gardens, low-profile hedges and open lawns. New landscaped areas are encouraged, particularly along sidewalks and curb frontages contributing and enhancing the continuity of the streetscape character of the District.
- Protect and maintain the existing and future tree canopy within the District. A tree permit shall be required for the injury or removal of any tree located within the front yard of a private property, in accordance with the definitions, conditions and requirements specified in the Town of Oakville's Private Tree Protection By-Law 2008-156 (as amended). All efforts shall be made to design additions and new development to accommodate existing mature trees, rather than remove them. The planting of new trees is strongly encouraged.
- Monitor tree health on a regular basis and remove dead wood to avoid decay and prevent property damage.
- The impact of alterations, additions and new development on soft landscaping should be reasonably mitigated through new landscaping plans that respect the heritage character of the District.



Figure 27: Maximized setback with landscaped garden, 22 George St

5.5.2 Surface Treatments and Hardscaping

- Protect and maintain historic pathways through a property.
- New pathways may be permitted, providing their siting and paving materials are compatible with the property frontage and the streetscape. Suitable materials for pathways include flagstone, pavers, gravel, and concrete. Proper methods of drainage must be installed with hardscaping.
- Paved parking areas within front yards are not permitted.
- Minimize the visibility of driveways and surface parking areas from the public realm wherever possible. Suitable materials for driveways include flagstone, pavers, gravel, concrete and asphalt.



Figure 28: Flagstone pathway used at 230 King St.

5.5.3 Fencing and Walls

- Protect and maintain historic fencing and walls in situ when possible. Proposals for alterations, additions and new development that impact historic fencing and walls should provide appropriate mitigation measures.
- Refer to historic photographs or documentation for appropriate styles wherever possible when adding new fences and walls to Contributing Properties. On Non-Contributing Properties or where historic documentation cannot be found, refer to historic precedents within the District or surrounding residential areas, including low picket, natural edging, wrought iron, retaining walls, stone walls and a combination of those listed.
- Plantings, ornamental fencing and garden walls may not be more than one metre in height. They may be used to define the edge of the property in relation to neighbouring properties and the public realm. These features shall not block views of heritage buildings from the public realm and support an inviting openness to the streetscape and neighbourhood character.



Figure 29: Low stone wall at 27 Reynolds St. (far left); white picket fence at 144 Front St. (left), low stone wall with low hedge at 19 Navy St. (top)

5.5.4 Accessory Buildings and Structures (excluding Garages)

- Accessory buildings and structures, such as sheds and gazebos shall not be permitted on the portions of a Contributing Property that are visible from the public realm, except where historic photographs or documentation display a compatible precedent. On Non-Contributing Properties, accessory buildings and structures may be permitted to be visible from the public realm, providing they are physically and visually compatible with the property and do not negatively impact the heritage character of the District.

5.5.5 Screening and Buffering

- Plantings, ornamental fencing and low garden walls should be used to screen or buffer garbage storage areas or utility and service equipment that are otherwise visible from the public realm.



Figure 30: Continuous street edge with porous and low-lying fencing/wall treatments

- Screening occurs when ornamental fencing or evergreen material is used to block views, whereas buffering allows filtered porous views, such as partially enclosed fence (e.g. picket fencing) or a deciduous shrub border.

5.5.6 Lighting

- Lighting features may be permitted to illuminate walkways, steps, porches and entrances, providing there is no light trespass or spillover towards neighbouring properties or the public realm. Full cutoff lighting is required.
- Skylighting, extensive building elevation lighting and lighting that could disturb birds or insects will not be permitted.
- New and/or replacement lighting should meet the guidelines established in the Town of Oakville’s Design Guidelines for Stable Residential Communities.

5.6 Character Area Specific Guidance

Additional guidance is provided for each streetscape and landscape character area within the District, as presented in Map 4 and described in sections below. Refer to Table 3 for the property list per character area to identify the applicable area.

5.6.1 Area 1 - Waterfront Open Space

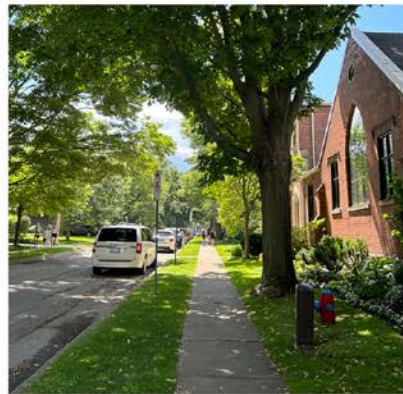
The Waterfront Open Space character area reflects the HCD's current open space land use designations that evolved as landscapes of the traditional territories of the Anishinaabe and Haudenosaunee peoples, 19th century commercial development, 20th century recreation and the town's site of origin with a port at the mouth of Sixteen Mile Creek. The topography of this character area is varied, incorporating the Sixteen Mile Creek Valley, shoreline of Lake Ontario and the bottom of the gully at George Street Parkette that runs north to south, as well as other green spaces, including: Lakeside Park, Market Square and Dingle Park. Two significant cultural heritage landscapes are also located here: the semi-natural river harbour on Sixteen Mile Creek, and the Erchless Estate. They contribute to the Waterfront Open Space character area's design and physical value, as well its evolution as a woodland through the 1868 inspired legacy of Mayor W. F. Romain who led the restoration of landscape to the pre-colonial canopy and Oakville's "grove-like aspect."

The Waterfront Open Space character area's function has evolved over time to predominantly active and passive recreational space, with several structures within the HCD having direct association with recreation including Oakville Club and Oakville Lawn Bowling Club. Other buildings are unique and in keeping with their unique histories of the Town's early settlement. Visual and physical access to the Lake Ontario and Sixteen Mile Creek shorelines serves the immediate community and visitors from within and outside of Oakville. Individual properties under this character area are listed in Table 3.

Additional Waterfront Open Space guidance:

- Protect the narrow nature of Water St and Front St that supports an informal 'back lane' character, and mature tree canopies along Front St.
- Protect and enhance physical access to the present public lands of the Town's early townscape along Lake Ontario and Sixteen Mile Creek shorelines.
- Protect and enhance visual access to the public lands, creek and lake.
- Protect and conserve the predominant topographical features of valley slope to the lake and harbour.
- Restore tree grove landscape and natural heritage functions along the shorelines to improve climate resiliency and historic character.
- Integrate passive and active recreational activities that support community needs, while also protecting its heritage attributes.
- Integrate historic and current Indigenous knowledge, traditions, activities and use of current parklands.
- Commemorate two designated CHLs (i.e., Erchless Estate and the Oakville Harbour).

Streetscape and Landscape
Character Analysis Area 2 - Old
Oakville Settlement Pattern



5.6.2 Area 2 - Old Oakville Settlement Pattern

In addition to being a landscape of the traditional territories of the Anishinaabe and Haudenosaunee peoples, the Old Oakville Settlement Pattern character area has been part of the town’s site of origin as a commercial centre around the port at the mouth of Sixteen Mile Creek, and a low-density residential neighbourhood since the 19th century. The majority of the lots are intact quarter acre lots of the original 1835 grid pattern settlement, enabling a visible and felt experience of the town’s early character. Further, the Old Oakville Settlement Pattern character area is framed by the open spaces to the west and south, streetscapes along Navy, Front, Water and Thomas streets, mature tree canopy cover, and the six intersection ‘corners’ that set the precedent for open corners within the remainder of the HCD.

The Old Oakville Settlement pattern reflects mature tree canopies (reflecting Mayor W. F. Romain’s 1868 tree restoration legacy), and features St. Jude’s Anglican Church’s tall bell tower with multiple site lines that are set within a large open space. Further, the predominant architectural styles include 19th Century Vernacular, Georgian Revival, and Neo-Classical. Individual properties under this character area are listed in Table 3.

Additional Old Oakville Settlement Pattern guidance:

- Protect remaining traditional quarter acre lot early Town settlement pattern by conserving the lot size, openness at intersections, front yard setbacks, and vistas between and through the properties.
- Protect the deep front yard property setbacks adjacent to St. Jude’s Anglican Church to conserve its dominance in the open townscape, and view site lines.
- Protect composition of Thomas Street between Front and King Street as a cohesive streetscape with consistent, narrow setback, materials and colours.
- Protect and maintain visual connectivity of residential properties to open space, porous urban fabric, and mature tree canopies and understory vegetation.



Figure 31:: Conservative lot sizes, tree canopy protection and porous urban fabric preserve valuable vistas

Streetscape and Landscape
Character Analysis Area 3 - Gully
Landscape



5.6.3 Area 3 - Gully Landscape

The Gully Landscape is part of the traditional territories of the Anishinaabe and Haudenosaunee peoples, low-density residential neighbourhood since the 19th century and town’s site of origin with a port at the mouth of Sixteen Mile Creek. It is characterized by a deep gully which primarily runs from the north to the south end of George Street across the HCD, terminating at George Street Parkette, as well as along the most southern streetscape along Dunn Street towards Dingle Park. A more gentle rise and fall of the topography is experienced along William, King and Front Street within the Gully Landscape character area. The area is well defined by mature tree canopies and understory vegetation (reflecting Mayor W. F. Romain’s 1868 tree restoration legacy). Because of the gully and the surrounding higher elevations, the Gully Landscape character area offers various viewpoints at higher and lower elevations that are unique within the HCD, including views to the lake and the downtown. It also reflects a mix of architectural styles and heights that feature architectural details and landscape elements, such as terracing, steps and retaining walls, which are well-integrated into the prominent slopes of the area. Individual properties under this character area are listed in Table 3.

Additional Gully Landscape guidance:

- Protect remaining traditional quarter acre lot early Town settlement pattern by conserving the lot size, front yard setbacks, openness at intersections, and vistas between and through the properties.
- Protect and conserve both vertical (north to south slopes) and horizontal (east to west slopes) gully planes within the landscape through height and massing of residential built form, terracing and protection of long views and vistas to the lake, and residential streetscape.
- Protect and maintain visual connectivity of residential properties to open space, porous urban fabric, and mature tree canopies and understory vegetation.



Figure 32: Building Elevation and Height Following the Topographical Slope

Streetscape and Landscape
Character Analysis Area 4 - Mixed
Residential Development Pattern



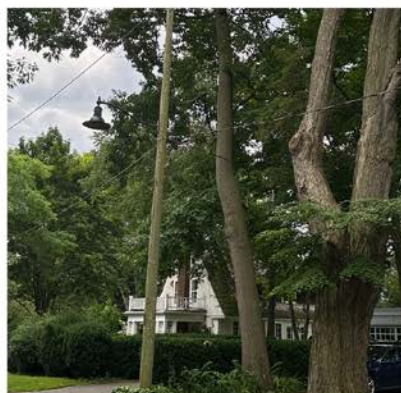
5.6.4 Area 4 - Mixed Residential Development Pattern

The Mixed Residential Development Pattern character area is within the traditional territories of the Anishinaabe and Haudenosaunee peoples, and the town's site of origin with a port at the mouth of Sixteen Mile Creek. It is defined by a low-density residential neighbourhood spanning the early settlement period between 1830 and 1900, small-town boom between 1900 and 1930, densification and post 1980s. The Mixed Residential Development Pattern character area has a mix of architectural styles that are along Traditional Town road typology (e.g. two lanes of traffic and sidewalks on one or both sides of the road), and framed by varied building setbacks, lot size and fencing typologies that maintain the open character of the HCD. Roads within this area are also abundantly characterized by mature tree canopies and understory vegetation. Individual properties under this character area are listed in are listed in Table 3.

Additional Mixed Residential Development Pattern guidance:

- Protect remaining traditional quarter acre lot early Town settlement pattern and divided lots during the early settlement period and the small-town boom period by conserving the lot size, openness at intersections, and vistas between and through the properties.
- Allow varied front yard setbacks and building heights and massing by block, reflecting varied streetscape character established through the organic evolution of Oakville as a small town.
- Allow a mix of unifying architectural styles and features and material (e.g. stucco and horizontal frame cladding).
- Strengthen the urban forest canopy on private lands within Area 4, including planting of trees and understory vegetation.

Streetscape and Landscape
Character Analysis Area 5 - St.
Andrew's Traditional



5.6.5 Area 5 - St. Andrew's Traditional

The St. Andrew's Traditional character area is within traditional territories of the Anishinaabe and Haudenosaunee peoples, a low-density residential neighbourhood since the 19th century and the Town's site of origin with a port at the mouth of Sixteen Mile Creek. It reflects the historical association and 150-year evolution of the character area with a strong association with the St. Andrew's Catholic Church that features a steeple and has multiple site lines that are set within a large open space. St. Andrew's Traditional character area is defined by the church as the key landmark, and a low-density residential neighbourhood development pattern and architectural style that is consistent with early settlement period between 1830 and 1900, small-town boom between 1900 and 1930, densification and post 1980s. White/grey stucco and horizontal frame building cladding are the primary materials used on most of the structures in the area.

Reynolds Street is also abundantly characterized by the mature tree canopies and understory vegetation (reflecting Mayor W. F. Romain's 1868 tree restoration legacy). The residential built form adjacent to the church provides generous setbacks, larger lot sizes, and architectural character complement St. Andrew's presence, highlighting its significance as a landmark. Individual properties under this character area are listed in are listed in Table 3.

Additional St. Andrew's Traditional guidance:

- Protect remaining traditional quarter acre lot early Town settlement pattern by conserving the lot size, openness at intersections, front yard setbacks, and vistas between and through the properties.
- Protect the deep front yard property setbacks, heights and massing of buildings along King, Reynolds and Williams streets to reinforce the placement and scale of St. Andrew's Catholic Church.
- Allow architectural styles with unifying architectural material, including white/grey stucco and horizontal frame cladding.
- Protect the narrow nature of Allan St that supports an informal 'back lane' character and entrance to the public pathway to Lake Ontario.

5.6.6 Key Streetscape Overlay

The Key Streetscape Overlay reflects the significant and unique interface between open space, private properties and road right of ways along Water Street, Navy Street and Front Street. These streetscapes define an important intact residential edge within the HCD, historic commercial centre and harbour road functions of Navy Street and Water Street, and characteristic narrow one-way laneway of Front Street. This overlay provides supplementary character defining elements that enhance specific properties in the *Area 2 – Old Oakville Settlement Patterns* and *Area 3 – Gully Landscape* character areas.

Navy Street, Front Street and Water Street are three important road rights-of-way within the Old Oakville HCD with higher public profiles and utility due to their adjacency to open spaces and highly visited Town of Oakville's landmarks, while also offering character defining primary and secondary views. Navy Street, terminating at the lake, is abundantly characterized by the mature tree canopies and understory vegetation (reflecting Mayor W. F. Romain's 1868 tree restoration legacy), as well as framing beautiful views to the lake. Front Street is a very narrow and intimate one-way laneway that also supports on-road pedestrian connections between Lakeside Park, George Street Parkette and Dingle Park. Further, steep valley slopes towards the Sixteen Mile Creek are emphasized as terraces, retaining walls and exposed foundations within the built form and structures along narrow Water Street.

Most of the buildings along the east side of Navy Street and north side of Front Street are original residential building stock facing the street, with an established uniform street wall through either built form setbacks, heights, and/or fencing. The importance of this residential streetscape edge is further amplified by the east and south built form setbacks and openness in the public realm landscape. Individual properties under this character area overlay are listed in are listed in Table 3.

Additional Key Streetscape Overlay guidance includes:

- Protect and strengthen Navy Street and Front Street as key interface streetscapes between the Town settlement origins and evolving public open space and parks. They serve an important function as historic and current gateways, and visual and physical access to the Lake Ontario and Sixteen Mile Creek shorelines.
- Protect and strengthen Water Street as a key streetscape that is defined by retaining walls and terracing built form that respond to the steep topographical slopes of the District.
- Protect and conserve the uniform street wall and defined residential street edge through continuous front yard setbacks, heights and/or fencing along Navy Street and Front Street.
- Protect and conserve the defined open space street edge through continuous fencing and open views.
- Strengthen the key streetscape’s street tree canopy and protected views.

6 EXEMPT ALTERATIONS AND CLASSES OF ALTERATIONS

6.1 What is a Heritage Permit?

All public and private properties in the Old Oakville HCD are designated under Part V of the *Ontario Heritage Act*. Under Section 42 of the *Ontario Heritage Act*, a permit is required for the erection, demolition, removal or external alteration of a building or structure within a designated heritage conservation district. Owners of property in the District should read this document when planning any maintenance work, repairs, alterations, additions or new construction on their property. This document will assist property owners in meeting the objectives of the HCD Plan when undertaking work and ensure compliance with the *Ontario Heritage Act* and applicable Town of Oakville policies.

Owners of property within the Old Oakville HCD are required to submit a heritage permit for any alteration that might result in the loss, removal, obstruction, replacement, damage or destruction of one or more heritage features on the property, or impact the heritage attributes of the District. Proposed alterations are reviewed by Heritage Planning staff and Heritage Oakville Committee members for consistency with the HCD Plan, as well as any applicable heritage designation by-laws, easement agreements or other heritage protections registered to the individual property.

6.2 When is a Heritage Permit Required?

Property owners should contact Heritage Planning staff to arrange a pre-consultation meeting prior to the submission of a heritage permit application in order to ensure the proposed application meets the relevant requirements and to assist owners in the application process. Following the submission of a heritage permit application, certain alterations that have minimal or no impact on any heritage features or heritage attributes can be approved by Heritage Planning staff as outlined in the by-law to delegate Council’s power under the *Ontario Heritage Act* By-law 2018-020. All other applications are forwarded to Heritage Oakville, whose recommendations are then provided to Council for final decision.

The Old Oakville HCD does not preclude consideration of other applicable policies and regulations. Should the proposed alteration require other approvals (such as a minor variance, site plan, building permit, sign permit, site alteration, or tree permit), applicants are encouraged to first seek heritage permit approval. Heritage Planning staff and Heritage Oakville committee members will review all properties with an understanding of site specific considerations and should be made aware of other approvals required by the applicant at the time of submission.

6.3 Exempt Heritage Permit Work

The exempted *alterations* have been guided generally by the principles of either being undertaken within a small area, confined to areas that are generally out of sight from public view, constitute routine maintenance or are easily reversible. They are consistent with the exemptions that have been set by Town Council for the other HCDs in Oakville.

6.3.1 Private Property

The following *alterations* may be carried out without obtaining a permit under Section 42 of the *Ontario Heritage Act*:

- a) **Interior modifications:** The interiors of buildings or structures are not subject to regulation within the Heritage Conservation District, and no permit is required.
Exceptions:
Those interior features designated under Part IV of the *Ontario Heritage Act* or interior features that have an exterior presence, including but not restricted to windows and doors in building façades.
- b) **Roof materials:** Replacement of existing roof materials *in kind* and of the same colour does not require a permit.
Exceptions:
Replacing or removing original roofing materials including wood or asphalt shingles with other materials.
- c) **Skylights:** The installation of skylights located out of view from the *public realm* and in the same plane as the roof (e.g. on the rear slope of a roof or on a flat or low pitched roof) would not require a permit.
Exceptions:
The installation of skylights located on the front elevation or within view of the *public realm* may not be permitted.
- d) **Solar panels:** The installation of solar panels located out of sight from the *public realm* and in the same plane as the roof (e.g., at the rear slope of a roof or on a flat or low pitched roof) would not require a permit.
Exceptions:
Freestanding panels on poles, panels requiring a structural frame for support, and panels located on front elevations or within view of the *public realm*.
- e) **Satellite dishes:** The installation of satellite dishes that are located out of sight from the *public realm* does not require a permit.
Exceptions:
The installation of satellite dishes located on the front elevation or within view of the *public realm*.
- f) **Security lighting and alarm systems:** The installation of security lighting and/or alarm systems does not require a permit.
- g) **Amenity lighting:** The installation of porch lighting or other amenity or seasonal lighting does not require a permit.

- h) **Eavestrough and downspouts:** The removal and/or installation of new eavestroughs and downspouts in the same material and colour as the previously existing do not require a permit.
- i) **Landscaping, soft:** The removal and/or installation of vegetative landscaping, such as planting beds, shrubbery and small ornamental trees, do not require a permit. The pruning and maintenance of trees or the removal of dead branches or limbs do not require a permit.
- Exceptions:
The removal of trees which are at least 4.5m and/or greater than 15 centimetres diameter at breast height (dbh) may require a heritage permit and consultation with heritage planning staff is required. The Town's Private Tree By-law (as amended) may also apply.
- j) **Landscaping, hard:** The removal and/or installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials, in the same location and of the same area and dimension do not require a permit. The removal and/or installation of any hard landscaping located out of view from the *public realm* does not require a permit.
- Exceptions:
The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material, new location, and/or of new dimensions require a permit.
- k) **Fencing:** The removal and/or installation of fencing located out of sight from the *public realm* do not require a permit. The Town's Fence By-law may also apply.
- Exceptions:
The removal and/or installation of fencing in the front yard or visible from the *public realm* of a property does require a permit. The Town's Fence By-law may also apply
- l) **Decks:** The installation and/or removal of decks that are at grade or less than 60cm off the ground and are located within the rear yard and out of view from the *public realm* do not require a permit.
- Exceptions:
The removal and/or installation of decks that are located in the front and side yards of a property require a permit. The installation of decks more than 60cm off the ground requires a permit.
- m) **Storm windows and doors:** The seasonal installation and/or removal of storm windows and screen doors in the same materials and locations do not require a permit.
- Exceptions:
New storm windows and new screen doors require a permit.
- n) **Signage:** The installation of number signage on building façades does not require a permit.
- o) **Maintenance or small repairs:** Ongoing *maintenance* or small repairs to buildings, structures or small areas of paving that do not significantly affect the appearance of the outside of the property and do not involve the permanent removal or loss of *heritage attributes* do not require a permit.
- Exceptions:
The removal and/or installation of any cladding materials require a permit.
The cleaning of any building façade surface (using any method of cleaning such as chemical cleaning or pressurized water) requires a permit.
Carrying out test patches in any location for any cleaning method requires a permit.

The removal of any paintwork from a masonry building façade surface requires a permit.

- p) **Painting:** The painting of doors, window frames, muntins and mullions, trim, eavestroughs, downspouts and minor architectural detailing does not require a permit. The painting of exterior cladding may require a minor heritage permit.

Exceptions:

The painting of unpainted masonry materials may not be permitted.

- q) **Awnings:** The removal and/or installation of awnings that are of the same material, size and scale as existing awnings do not require a permit. The installation of new awnings or canopies at the rear of the property and out of view of the *public realm* does not require a permit.

Exceptions:

Awnings that are of a different material, are larger than the existing awnings, or require additional fastenings to the building require a permit.

As with any modifications being contemplated, it is beneficial to contact Town of Oakville Heritage Planning staff to discuss proposals before commencing work. Some of the above modifications may also require a Building Permit, and appropriate staff should be consulted.

6.3.2 Public Realm Property

Public realm property includes lands that are primarily located in road rights-of-way and the park and trails located in character Area 1 - Waterfront Open Space at the foot of Navy St., Thompson St., George St., Dunn St., Trafalgar St. and Reynold St. The following *alterations* may be carried out without obtaining a permit under Section 42 of the *Ontario Heritage Act*:

- a) **Maintenance or minor repairs:** Ongoing *maintenance* or minor repairs to road or sidewalks surfaces and areas of paving that do not significantly affect the appearance of the surface and that are exempt from review or approval under the Municipal Class Environmental Assessment do not require a permit.

Exceptions:

The installation of any traffic calming device (not including signage), new road or sidewalk surfaces, new crosswalk surfaces or motifs and new boulevards may require consultation with heritage planning staff and/or the municipal heritage committee.

- b) **Installation and/or repair of underground utilities or services:** Subsurface excavation for the installation and repair of utilities (water, sewage, gas, or communications) does not require a permit.

- c) **Repair of above-ground utilities or services:** Work undertaken for the repair of above-ground utilities (hydro, communications and lighting), including conduits, poles and associated boxes or covers.

Exceptions:

The installation of any new luminaires and/or poles including any directional or warning signage for vehicular traffic or pedestrians requires a permit.

The installation of street furniture including but not restricted to seating, planters, tree grates, banners, hanging baskets, garbage receptacles and bike racks requires a permit.

- d) **Landscaping, soft:** The installation of any soft or vegetative landscaping confined to boulevard installation and associated planting beds does not require a permit.

Exceptions:

The removal and/or installation of trees (with anticipated mature height of 4.5 metres or greater) and/or greater than 15 centimetres diameter at breast height (dbh) requires consultation with heritage planning staff.

- e) **Landscaping, hard:** The removal and installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials and of the same area and dimension do not require a permit.

Exceptions:

The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material require a permit.

- f) **Street Signs:** The removal and/or installation of street signs in the existing design.

Exceptions:

New or replacement street signs with a different design than currently exists in the District.

- g) **Street Furniture:** The removal and/or installation of street furniture in the existing design.

Exceptions:

New or replacement street furniture with a different design than currently exists in the District.

As with any modifications being contemplated, it is beneficial to contact Town of Oakville Heritage Planning staff to discuss proposals before commencing work.

6.3.3 Emergency Work

In some instances, emergency work may have to be carried out to public or private property without the benefit of a heritage permit or ascertaining whether such work is exempt from regulation.

Required emergency work may be permitted where the timing of repairs makes it impossible to consult with Town staff regarding a heritage permit. Notwithstanding this provision, all work should be undertaken in a manner that does not destroy valued *heritage fabric*. Photographs of 'before and after' should be taken to confirm the condition of the building and the nature of the finished repairs, and supplied to Town staff as a record of the work.

7 HERITAGE CONSERVATION DISTRICT REVIEW PROCESS

The completion of this project marks the first major revision of the Old Oakville Heritage Conservation District Plan and Guidelines since the HCD was designated in 1979. This update was undertaken with the purpose of ensuring that the HCD Plan meets the requirements of the *Ontario Heritage Act*, which was significantly revised in 2005. The update was also undertaken to ensure that the HCD Plan corresponds with the contemporary condition of the District.

It is considered to be a good practice for municipalities to periodically undertake formal reviews of HCD plans and guidelines. This formal review process complements the ongoing monitoring of the District's evolution that Town staff perform as the HCD Plan is implemented. It ensures that the document remains up-to-date with current legislation, with current best practices in heritage conservation, and with community needs and expectations.

It is advised that Town staff undertake a formal review and update of the Old Oakville Heritage Conservation District Plan and Guidelines every 5 to 8 years. The extent of this review and update project will depend on a number of circumstances, including major revisions to related legislation

or major changes in the built form of the District. However, it is anticipated that these periodic reviews will result in minor changes to this document, not re-writes.

The review process should include engagement with property owners, community members and other interested parties. An assessment of the heritage permits issued in the period following the last review should be undertaken. Recommendations for any potential revisions to the HCD Plan should be made.

In addition, the policies and guidelines of this Plan may be amended by By-law after consultation, circulation to potentially impacted parties and public notice. Minor administrative and technical changes to the Plan may be implemented by a resolution of Council.

8 GLOSSARY AND TERMS

Accessibility: The degree to which an historic place is easy to access by as many people as possible, including people with disabilities (S&G 2010:253).

Adjacent: In terms of cultural heritage resources, potential impacts of proposed development or site alteration on the heritage attributes of protected heritage resources, adjacent can include real properties or sites that are contiguous (PPS 2020: 39).

Alter: means to change in any manner and includes to restore, renovate, repair or disturb and “alteration” has a corresponding meaning (*Ontario Heritage Act*, s. 1).

Compatible: when used together with any building, use, alteration or any other form of change means consistent with the heritage attributes value of a property, and which has little or no adverse impact on its appearance, heritage attributes, and integrity (*Downtown Oakville Heritage Conservation District Plan and Guidelines*, 2013).

Conserved means “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact statement that has been approved, accepted or adopted by relevant planning authority and/or decision-makers. Mitigative measures and/or alternative development approaches can be included in these plans and assessments” (PPS 2020).

Contributing property Property met two or more criteria outlined in O. Reg 9/06.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may involve features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association (PPS 2020:42).

Cultural Heritage Value or Interest (CHVI), also referred to as Heritage Value, is identified if a property meets one of the criteria outlined in O. Reg. 9/06 namely historic or associate value, design or physical value and/or contextual value. Provincial significance is defined under *Ontario Heritage Act (OHA)* O. Reg. 10/06.

Distinguishable: means a change that strikes a balance between imitation and contrast, thereby complementing the property in a manner that respects its heritage value or interest.

Dormer: A window that pierces through, or project from, the sloping roof, usually to that of a bedroom area (Adapted from Kyles 2022).

Façade: The "face" of a building, usually the front. To be a façade as opposed to simply an elevation, the building must have been designed with a particular style and incorporate design elements such as an impressive entrance or window surrounds. The arrangement of windows on a facade is called fenestration (Kyles 2022)

Gable: The triangular end of a roof above the eaves which closes the roof on that end. Also the triangular end of a dormer or a triangular cut in a roof for a window or door. The slope of the gable

end depends on the slope of the roof. For Gothic designs the slope tends to be acute; for Classical buildings the slope is gentler (Kyles 2022).

Heritage Attributes “the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property (PPS 2020).

Heritage Impact Assessment: A study undertaken to assess the impacts of a proposed development or site alteration against the identified cultural heritage value or interest and heritage attributes of a protected heritage resource, or a property located within a Heritage Conservation District. The scope of a Heritage Impact Assessment is determined in consultation with the Town. The HIA considers alternative development approaches or mitigation measures to address any impacts to a cultural heritage resource and its attributes. A Heritage Impact Assessment may be required where construction, alteration, demolition, or additions to a property located within a Heritage Conservation District.

Heritage Oakville Advisory Committee: or ‘Heritage Oakville’, is a municipal heritage committee that Council established, by by-law, to advise and assist council on heritage related matters. Heritage Oakville reviews heritage permits and other heritage-related matters [*Ontario Heritage Act*, s. 28(1)].

Hipped roof: A roof that slopes on four sides.

In situ: This term means ‘in place’ and as used in this document, it refers to the action of protecting, maintaining and/or stabilizing the existing materials in the location where they were found (S&G 2010:254)

In kind: with the same form, material, and detailing as the existing. (S&G 2010:254)

Individual Designation: Means real property designated under Part IV of the *Ontario Heritage Act* by municipal by-law. The designation by-law should include an adequate description of the property, a statement explaining the cultural heritage value or interest of the property and a description of the heritage attributes of the property (Section 29(4) of the *Ontario Heritage Act*)

Intervention: any action, other than demolition or destruction, that results in a physical change to an element of a historic place (S&G 2010: 254).

Maintenance: Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save (S&G 2010: 254).

Minimal intervention: The approach that allows functional goals to be met with the least physical intervention (S&G 2010:254).

Monitoring: the systematic and regular inspection or measurement of the condition of the materials and elements of an historic place to determine their behavior, performance, and rate of deterioration over time (S&G 2010: 255).

Muntin: a strip of wood or metal separating and holding panes of glass in a window or a vertical framing member set between two rails in a door (S&G 2010: 255).

Non-Contributing Property Property did not meet two or criteria outlined in O. Reg 9/06.

Non-destructive testing: testing that does not result in the permanent deformation or damage of the element being tested (S&G 2010:255).

Piecing-in: to repair or add to by inserting a piece (S&G 2010: 255).

Prototype: an original model on which something is patterned (S&G 2010: 255).

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value (S&G 2010:255).

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value (S&G 2010:255).

Reversible means a change that permits restoration to the prior state or condition at a later date without damaging the heritage attributes of a property. This is particularly important if a change is related to a new use that may also later change. Reversible alterations are not destructive.

Subordinate means an alteration that does not detract from the property or affect its heritage value.

Soffit: The underside of a roof overhang, portico, beam, or arch. It can also be the underside of a drain or sewer. These can be plain or very ornate (Kyles 2022).

Vernacular: made locally by inhabitants; made using local materials and traditional methods of construction and ornament; specific to a region or location (S&G 2010:256).

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Appendix A: Phase 2 Consultation Summary

See Separate Document