

## THE CORPORATION OF THE TOWN OF OAKVILLE

### BY-LAW NUMBER 2014-\*\*\*

A by-law to amend the Town of Oakville's North Oakville Zoning By-law 2009-189, as amended, to permit the development of lands described as Part of Lots 16, 17, 18 & 19, Concession 1, NDS (Lower Fourth Developments Limited and Pendent Developments Ltd.)

### COUNCIL ENACTS AS FOLLOWS:

1. This by-law applies to the lands north of Dundas Street West, east of Neyagawa Boulevard, west of Sixth Line as identified on Schedule ~~A~~ to this by-law.
2. Map 8(4) of By-law 2009-189, as amended, is further amended by rezoning the lands identified on Schedule ~~A~~ from ED to NC-4, NC-8, NC-\*, NC-\*\*, NC-\*\*\*, GU-\*, DUC-11 H-6, P, SMF, and NHS.
3. By-law 2009-189, as amended, is further amended by adding the following new sections:

#### **Section 6.5.8.\***

#### **Neighbourhood Centre Performance (NC- \*) Zone \***

In addition to the permitted uses and regulations of the Neighbourhood Centre (NC-1) Performance Zone the following regulations shall apply:

- (a) The maximum width of the driveway shall not exceed 50% of the lot frontage;
- (b) Notwithstanding Table 3.21(g), Bay, Box Out and Bow Windows with or without foundations with a maximum width of 4.0 metres which may be a maximum of three storeys in height and which may include a door shall be permitted to encroach into a flankage yard;
- (c) Notwithstanding Section 3.27, a porch shall have a minimum depth from the exterior of the building to the outside edge of the porch of 1.5 metres. Required depths shall be provided for a minimum of 70% of the porch. However, steps may encroach into the required depth. Porches, shall have walls that are open and unenclosed for at least 35% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the building or insect screening.

- (d) A parking space in a private garage shall have an unobstructed area with a width of not less than 2.9 metres for a single car private garage and one step may encroach into the width of a parking space within a garage at the side of the parking space.

**Section 6.5.8.\***

**Neighbourhood Centre Performance (NC- \*\*) Zone\*\***

In addition to the regulations of the Neighbourhood Centre Zone the following regulations shall apply:

- (a) Notwithstanding Section 3.27, a porch shall have a minimum depth from the exterior of the building to the outside edge of the porch of 1.5 metres. Required depths shall be provided for a minimum of 70% of the porch. However, steps may encroach into the required depth. Porches, shall have walls that are open and unenclosed for at least 35% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the building or insect screening;
- (b) Notwithstanding 4.4.1.2, a parking space in a private garage shall have an unobstructed area with a width of not less than 2.9 metres for a single car private garage and one step may encroach into the width of a parking space within a garage at the side of the parking space.

**Section 6.5.8.\***

**Neighbourhood Centre Performance (NC- \*\*\*) Zone\*\*\***

In addition to the regulations of the Neighbourhood Centre Zone the following regulations shall apply:

- (a) Notwithstanding the definition of front lot line (Section 7) and Section 3.31.1, *front lot line* shall be deemed the lot line that is abutting the lane providing access;
- (b) Notwithstanding Table 6.5.2, the minimum lot frontage for townhouse dwelling unit with lane access backing onto Natural Heritage System Zone shall be 4.2m;
- (c) Notwithstanding Table 6.5.2, the minimum lot depth for townhouse dwelling unit with lane access backing onto Natural Heritage System Zone shall be 18.5m;

- (d) Notwithstanding Table 3.21, the maximum encroachment from the rear lot line setback for a townhouse dwelling unit with lane access backing onto Natural Heritage System Zone shall be 1.0m for porches, verandas, decks and balconies;
- (a) Notwithstanding Section 3.18.3, the maximum width of the driveway for a townhouse dwelling unit with lane access backing onto Natural Heritage System Zone shall not exceed 70% of the lot frontage;
- (e) Notwithstanding Section 3.27, a porch shall have a minimum depth from the exterior of the building to the outside edge of the porch of 1.5 metres. Required depths shall be provided for a minimum of 70% of the porch. However, steps may encroach into the required depth. Porches, shall have walls that are open and unenclosed for at least 35% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the building or insect screening;
- (f) Notwithstanding 4.4.1.2, a parking space in a private garage shall have an unobstructed area with a width of not less than 2.9 metres for a single car private garage and one step may encroach into the width of a parking space within a garage at the side of the parking space.

#### **Section 6.6.9.\***

#### **General Urban Performance (GU-\*) Zone \***

In addition to the permitted uses and regulations of the General Urban (GU) Zone the following regulations shall apply:

- (a) Where a garage door faces the interior side lot line, the garage may project beyond the front wall of the dwelling provided the garage is setback 2.5 metres from the front lot line;
- (b) The maximum width of the driveway shall not exceed 50% of the lot frontage;
- (c) Notwithstanding Table 3.21(g), Bay, Box Out and Bow Windows with or without foundations with a maximum width of 4.0 metres which may be a maximum of three storeys in height and which may include a door shall be permitted to encroach into a flankage yard;
- (d) Notwithstanding Section 3.27, a porch shall have a minimum depth from the exterior of the building to the outside edge of the porch of 1.5 metres. Required depths shall be provided for a minimum of 70% of the porch. However, steps may encroach into the required depth. Porches, shall have

walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the building or insect screening.

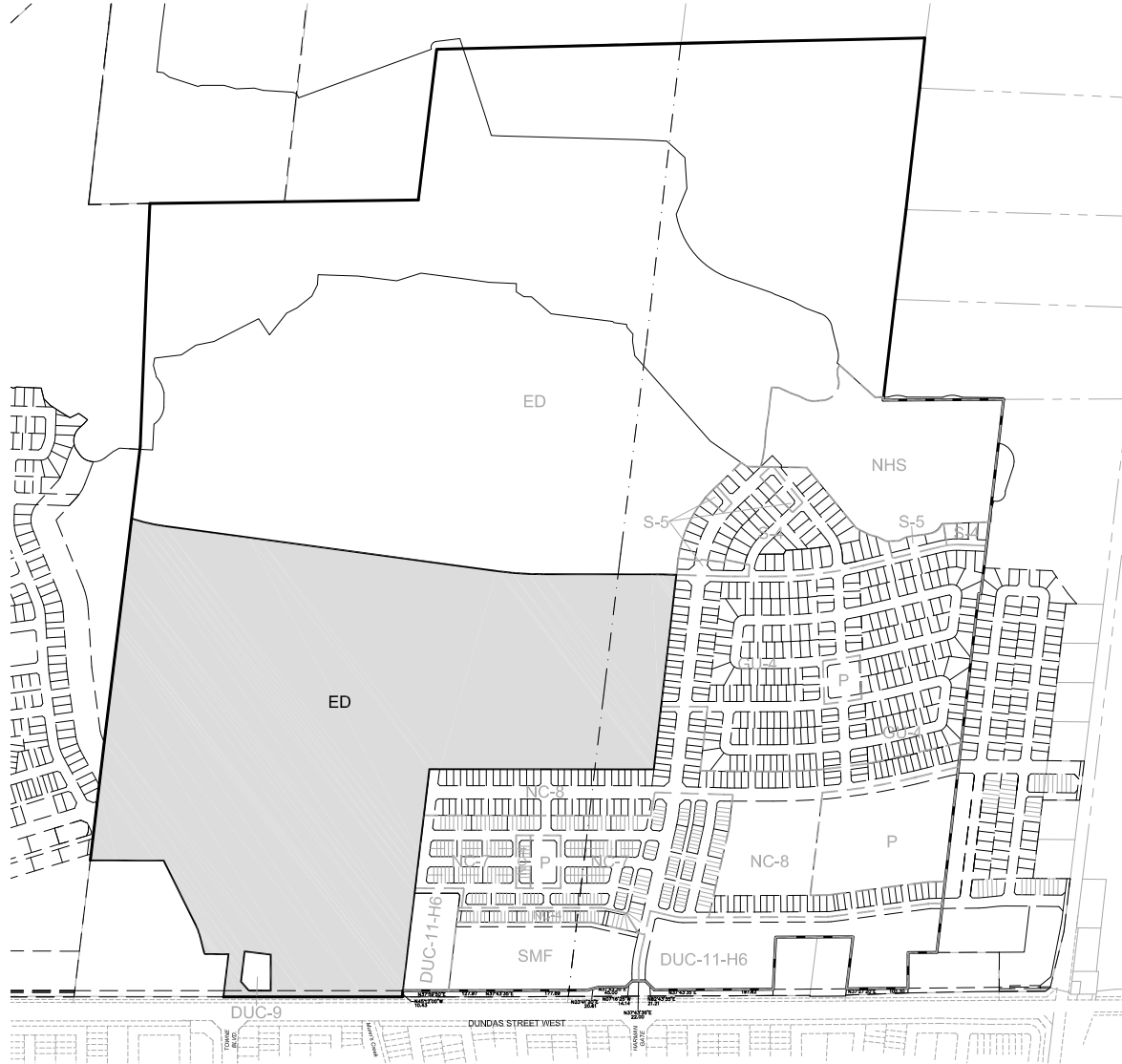
- (e) A parking space in a private garage shall have an unobstructed area with a width of not less than 2.9 metres for a single car private garage and one step may encroach into the width of a parking space within a garage at the side of the parking space.

APPROVED BY COUNCIL this \_\_\_\_\_ day of \_\_\_\_\_, 2014

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

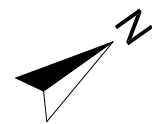
Attachment to  
To By-Law 2014-



**EXISTING ZONING**

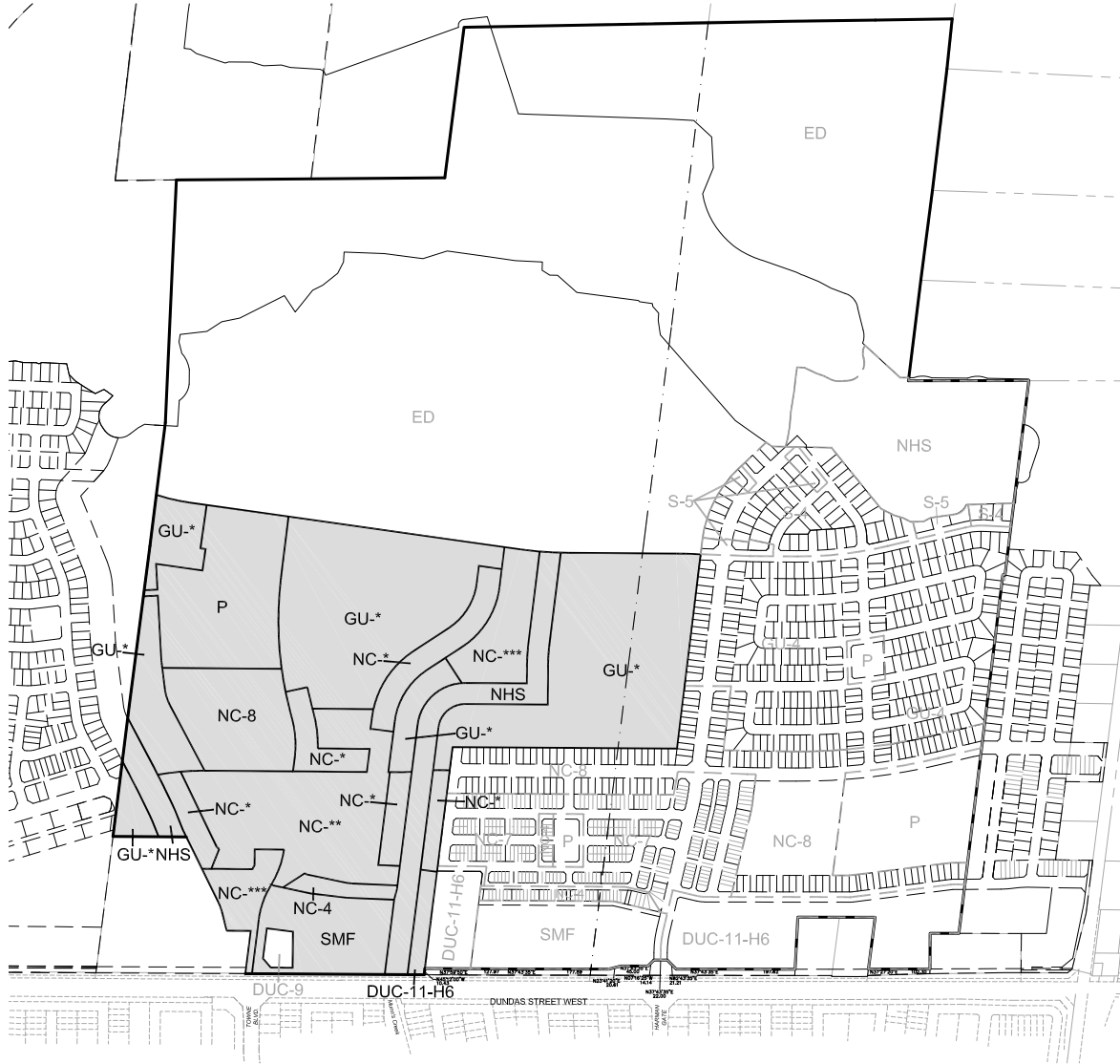
 **AFFECTED LANDS**

EXCERPT FROM MAP  
8 (4)



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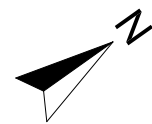
SCHEDULE "A"  
To By-Law 2014-



**PROPOSED AMENDMENTS**

 **AFFECTED LANDS**

EXCERPT FROM MAP  
8 (4)



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