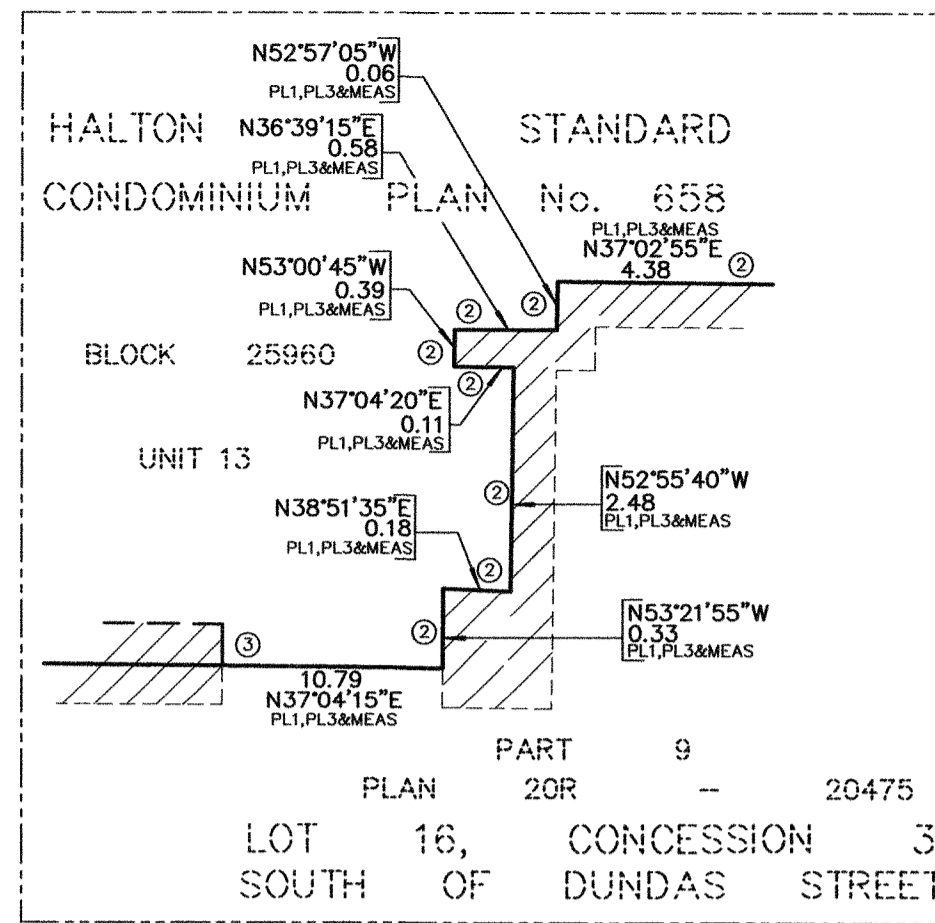


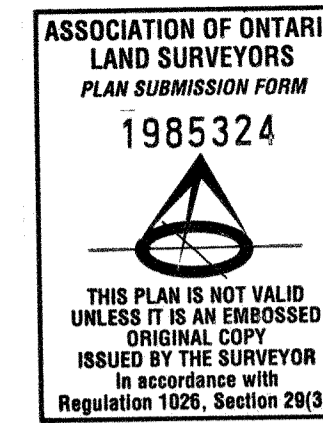
**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**PLAN OF PART OF LOT 16,**  
**CONCESSION 3**  
**SOUTH OF DUNDAS STREET**  
 (GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
**TOWN OF OAKVILLE**  
**REGIONAL MUNICIPALITY OF HALTON**

SCALE 1:250  
 10m 5m 0 10m 20metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.  
**METRIC**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND  
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



DETAIL "A" (NOT TO SCALE)



**PART 2 (SURVEY REPORT)**  
 REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS:  
 SUBJECT TO EASEMENTS IN GROSS AS SET OUT IN INST. Nos. HR1272629  
 AND HR1305728, OVER PART 3, PLAN 20R-19713  
 SUBJECT TO AN EASEMENT AS SET OUT IN INST. No. HR1383594 OVER  
 PARTS 5, 7, 8, 9, 10 AND 11, PLAN 20R-20475  
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**NOTES**

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- CP DENOTES CONCRETE PIN
- PL1 DENOTES HALTON STANDARD CONDOMINIUM PLAN No. 658
- PL2 DENOTES PLAN 20R-2676
- PL3 DENOTES PLAN 20R-20475
- PL4 DENOTES PLAN 20R-19713
- MEAS DENOTES MEASURED
- UG DENOTES UNDERGROUND GARAGE WALL
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- SCP DENOTES SPECIFIED CONTROL POINTS
- ① DENOTES VERTICAL PLANE ESTABLISHED BY MEASUREMENT.
- ② DENOTES VERTICAL PLANE ESTABLISHED BY BACKSIDE FACE OF DRYWALL AND/OR ITS PRODUCTION.
- ③ DENOTES VERTICAL PLANE ESTABLISHED BY THE CENTRELINE OF WALL OR COLUMN AND/OR ITS PRODUCTION.

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD SURVEYING LTD.  
 ALL TIES TO CONCRETE FOUNDATION.

SHORT STANDARD IRON BARS WHERE PLANTED IN PLACE OF STANDARD IRON BARS  
 DUE TO PROXIMITY TO UNDERGROUND UTILITIES AND/OR LACK OF OVERBURDEN.

BEARINGS ARE GRID, UTM ZONE 17, NAD83 (ORIGINAL), DERIVED FROM  
 SCP 00819830502 NORTH 4811232.799 EAST 605864.836  
 SCP 00819830503 NORTH 4811422.253 EAST 606055.142

COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL), TO URBAN ACCURACY PER  
 SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO  
 RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE  
 COMBINED SCALE FACTOR OF 0.999727.

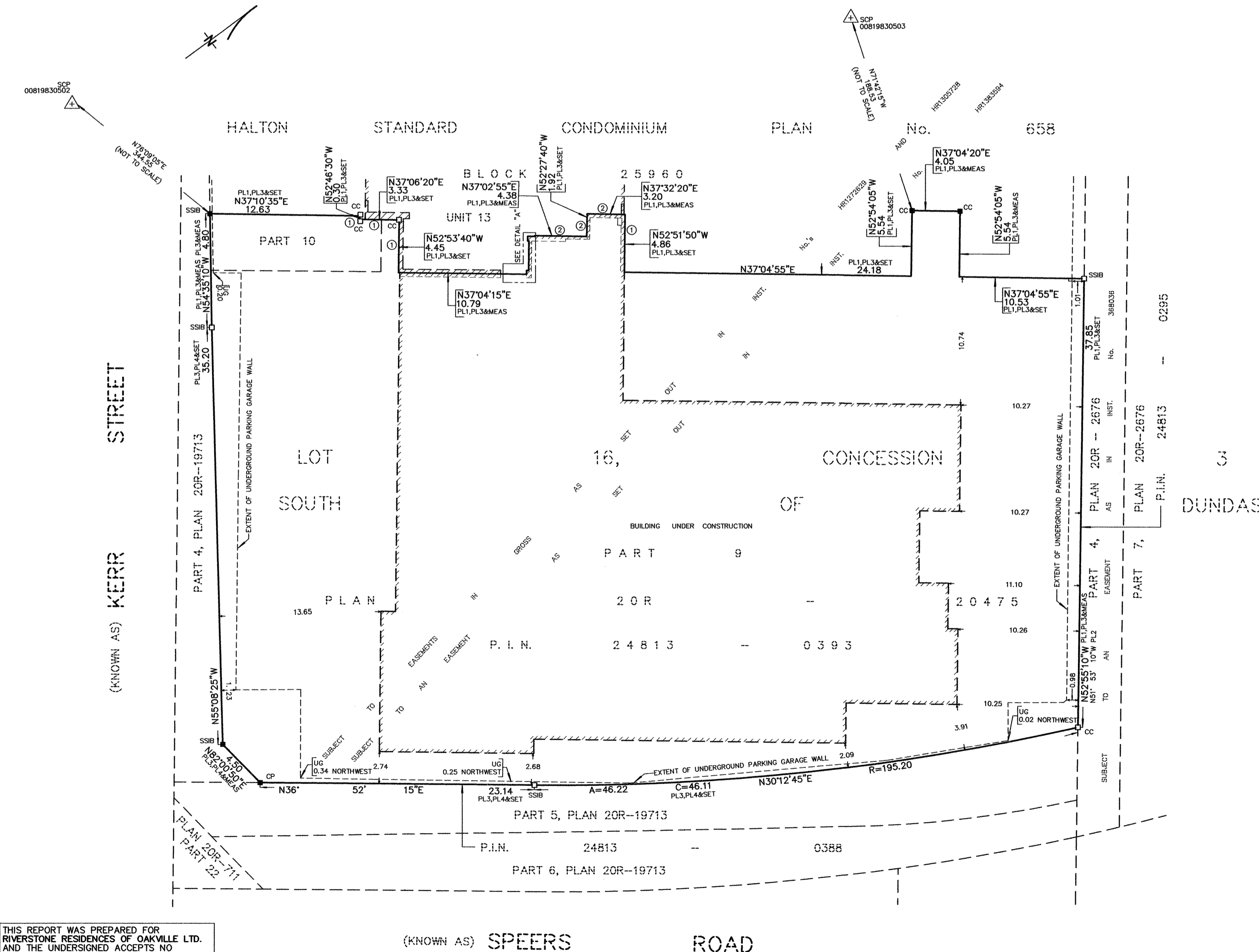
THE BOUNDARIES ILLUSTRATED ON THIS PLAN ARE AT ELEVATION 102.00 METRES  
 (AT GRADE). FOR THE EXTENT OF BOUNDARIES BELOW AND ABOVE GRADE REFER  
 TO PLAN 20R-20475.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON THE 3<sup>rd</sup> DAY OF OCTOBER, 2016.

DATE OCTOBER 3, 2016

*R. Denbroeder*  
 R. DENBROEDER  
 ONTARIO LAND SURVEYOR



THIS REPORT WAS PREPARED FOR  
 RIVERSTONE RESIDENCES OF OAKVILLE LTD.  
 AND THE UNDERSIGNED ACCEPTS NO  
 RESPONSIBILITY FOR USE BY OTHER PARTIES.  
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**rpe RADY-PENTEK & EDWARD SURVEYING LTD.**  
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 Tel. (905) 264-0881 Fax (905) 264-2099  
 Website: www.r-pe.ca  
 DRAWN: I.A. CHECKED: R.D.  
 JOB No. 11-136 CAD FILE No. 11-136-SRPR