

Joshua Creek

1320 WHEAT BOOM DRIVE

URBAN DESIGN BRIEF ADDENDUM

December 2025



OAKVILLE

VALERY
H O M E S

NAK 
design strategies

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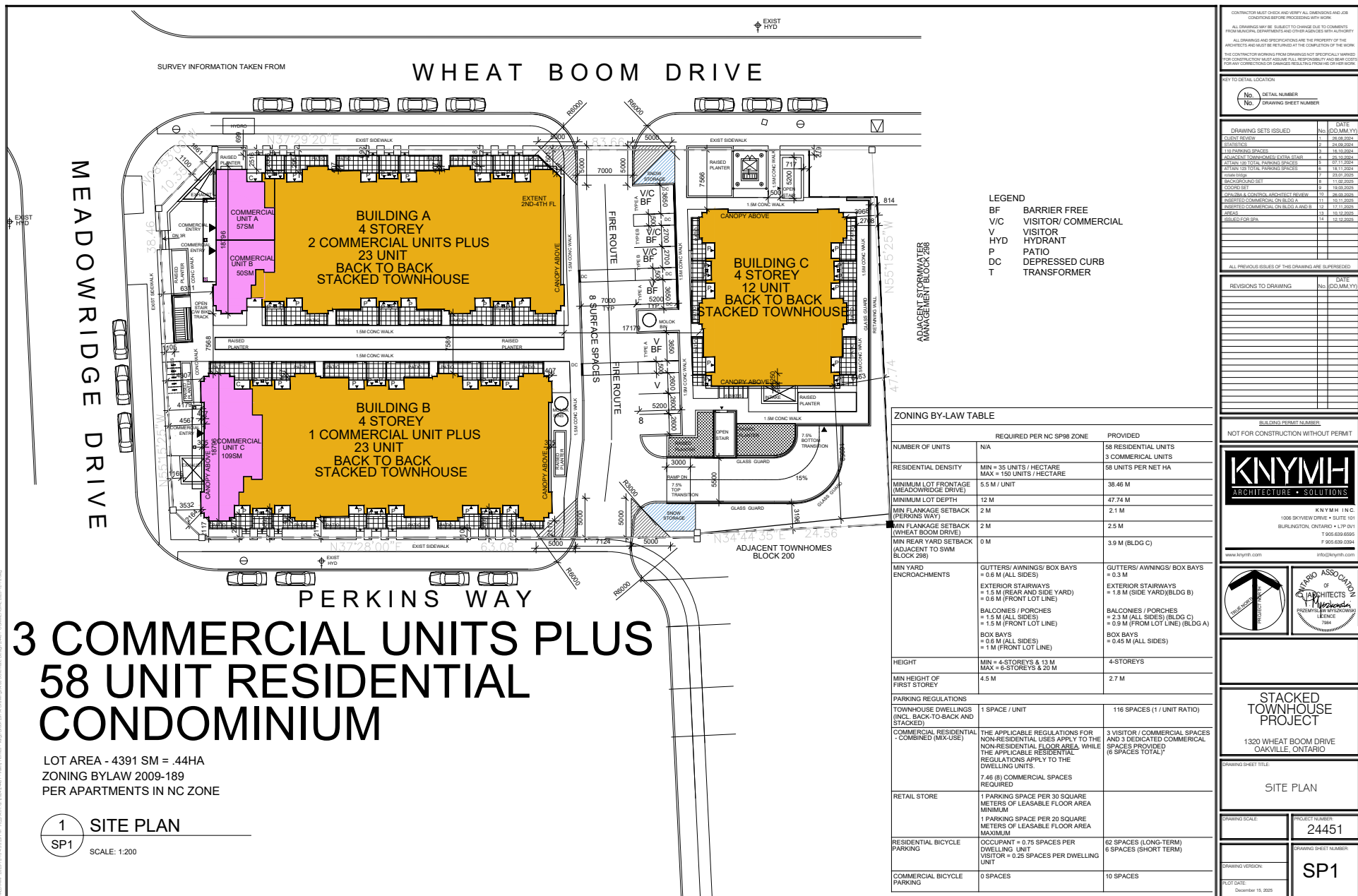


Figure 1.1a: Joshua Creek 1320 Wheat Boom Drive Site Plan

1.0 INTRODUCTION AND PURPOSE OF THE ADDENDUM

This Urban Design Brief (UDB) Addendum has been prepared in support of the revised development concept for 1320 Wheat Boom Drive (Block 297). The Addendum supplements the June 2025 UDB and should be read in conjunction with the original document. The updates respond to coordination with Town staff regarding the introduction of approximately 2,200 sq.ft. of neighbourhood-serving commercial space fronting Meadowridge Drive.

The updated development concept incorporates three small-format commercial units within the ground floor levels of Buildings A and B. These modifications strengthen the Meadowridge Drive frontage, improve the corner condition at Wheat Boom Drive and Meadowridge Drive, and enhance the overall architectural expression of the project.

Because the commercial use is permitted within the existing policy framework, the proposed Official Plan Amendment (OPA) has been withdrawn. A Zoning By-law Amendment (ZBA) resubmission remains required to address the revised mixed-use program and to eliminate the commercial parking requirement in support of a transit-oriented, pedestrian-focused environment.

2.0 OVERVIEW OF THE COMMERCIAL PROGRAM

The updated proposal introduces approximately 2,200 sq.ft. of commercial floor area within three ground-floor units along Meadowridge Drive:

- Commercial Unit A (Building A)
- Commercial Unit B (Building A)
- Commercial Unit C (Building B)

These units are oriented directly onto the public sidewalk, providing visibility, accessibility, and flexibility for neighbourhood-serving uses such as small retail, personal services, or food-oriented uses.

The commercial units capitalize on the site's position within the Neighbourhood Centre Area and along a future transit-supportive corridor, and are consistent with the scale and role envisioned for mixed-use nodes within the North Oakville East Secondary Plan.

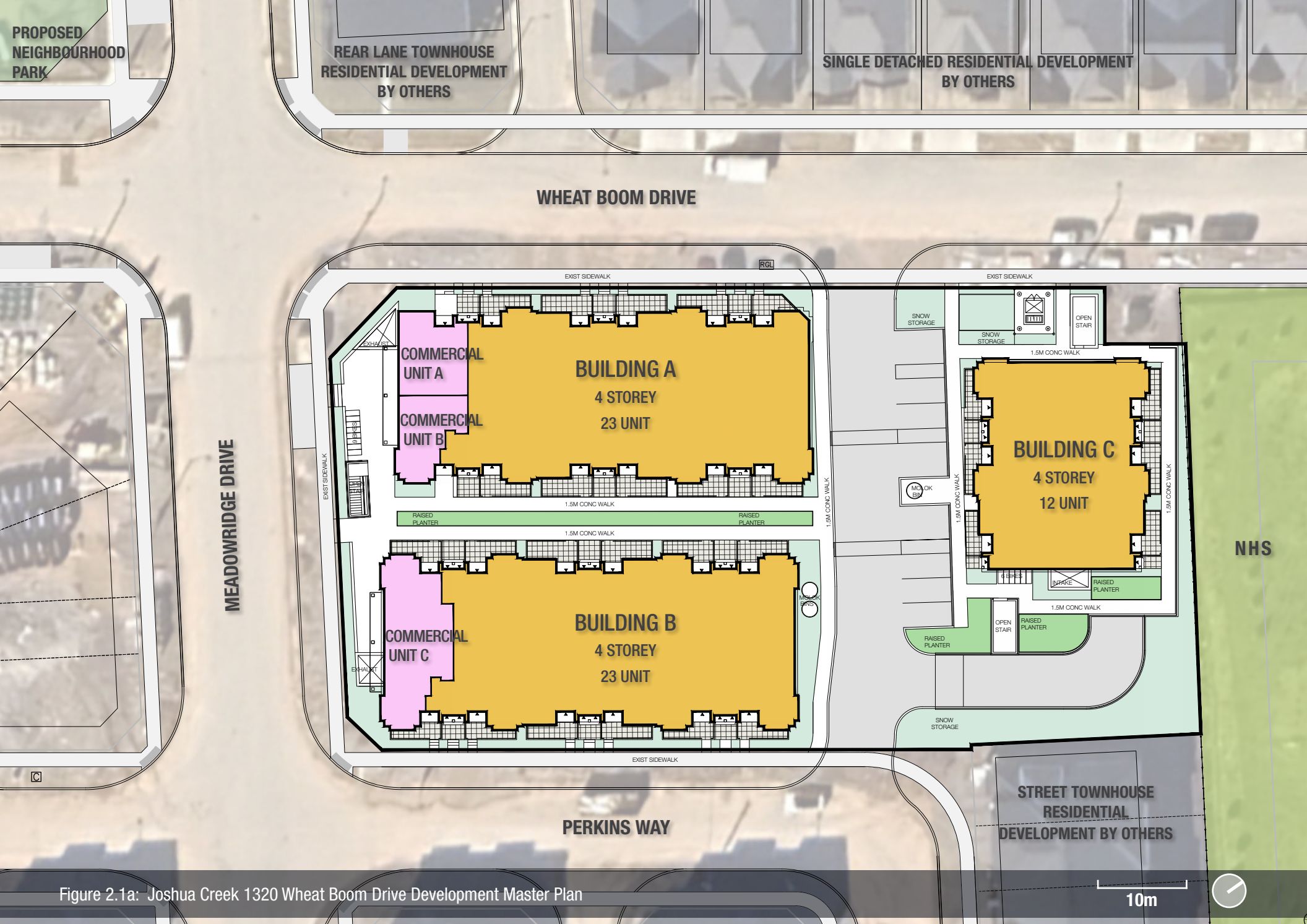


Figure 2.1a: Joshua Creek 1320 Wheat Boom Drive Development Master Plan

3.0 URBAN DESIGN AND PUBLIC REALM FRAMEWORK

The introduction of commercial uses enhances frontage conditions, improves pedestrian connectivity, and refines the built form and landscape character along the Meadowridge Drive corridor. This section presents the design rationale alongside the updated drawings that reflect these changes.

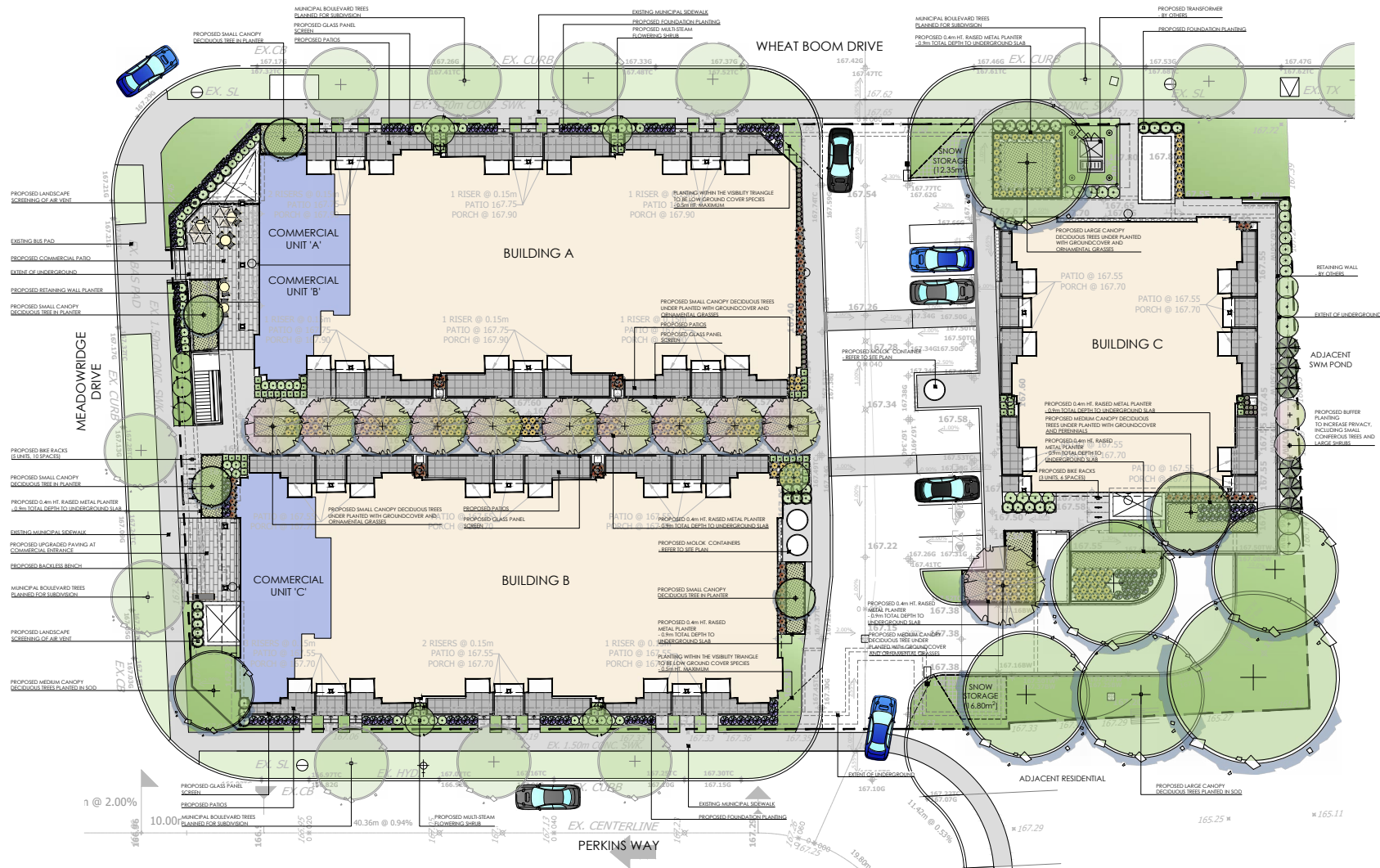
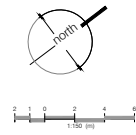
3.1 Streetscape and Frontage Activation

The addition of commercial units reinforces Meadowridge Drive as an animated, pedestrian-oriented street frontage. Key improvements include the following:

- Transparent glazing is strategically extended across the commercial façades, ensuring strong visual connections between interior activity and the sidewalk.
- A generous, widened pedestrian realm is established along the frontage, creating vital space for seating areas, small outdoor patio spaces, and improved circulation.
- Directly aligned entrances are featured, with the main commercial frontage of Building B providing clear grade-accessible access from the sidewalk to reinforce the pedestrian focus and overall accessibility goals.

- The streetscape is softened and defined by enhanced boulevard tree planting and low foundation landscaping, which establishes a strong green buffer and improves the overall aesthetic character.

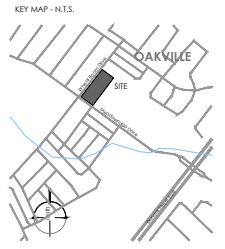
These updates are shown on the Updated Landscape Plan, which illustrates the refined sidewalk edge, planting, and interface with the at-grade commercial units. This figure supersedes the landscape plan figure originally provided in the June 2025 Urban Design Brief.



ON SITE SNOW STORAGE

Build Hardship (m ²)	200.00m ²
Required Snow Storage in Softscape (m ²)	70.00m ²
Provided Snow Storage in Softscape (m ²)	20.00m ²

1. ALL SNOW STORAGE AREAS ARE MIN. 1.5m AWAY FROM ANY TREE.
2. PLANT MATERIAL ADJACENT TO SNOW STORAGE AREAS SELECTED TO TOLERANT SALT AND WINTER CONDITIONS.
3. ALL SNOW TO BE REMOVED PRIVATELY OFF-SITE



- LEGEND
- property line
 - proposed deciduous tree
 - proposed shrub
 - proposed perennial
 - min. 150mm topsoil, fine grade & soil
 - proposed concrete unit pavers
 - C.P. concrete
 - snow storage area
 - proposed elevation

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

REVISIONS / SUBMISSIONS

#	DATE	DESCRIPTION
1	2023-04-08	Issued for 1st Submission
2	2023-12-09	Issued for review & coordination
3	2023-12-10	Issued for 2nd Submission



CLIENT
Valley Group
Municipality
Town of Oakville

PROJECT
Argo (Joshua Creek) Block 297
1320 Wheat Boom Drive

MUNICIPAL FILE NUMBER

SHEET
Landscape
Concept Plan

LC-01

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landscape architecture

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Figure 5.1a: Joshua Creek 1320 Wheat Boom Drive Landscape Plan

3.2 Corner Condition and Neighbourhood Node Definition

The revised design strengthens the southwest corner of Wheat Boom Drive and Meadowridge Drive as a neighbourhood node. Enhancements include:

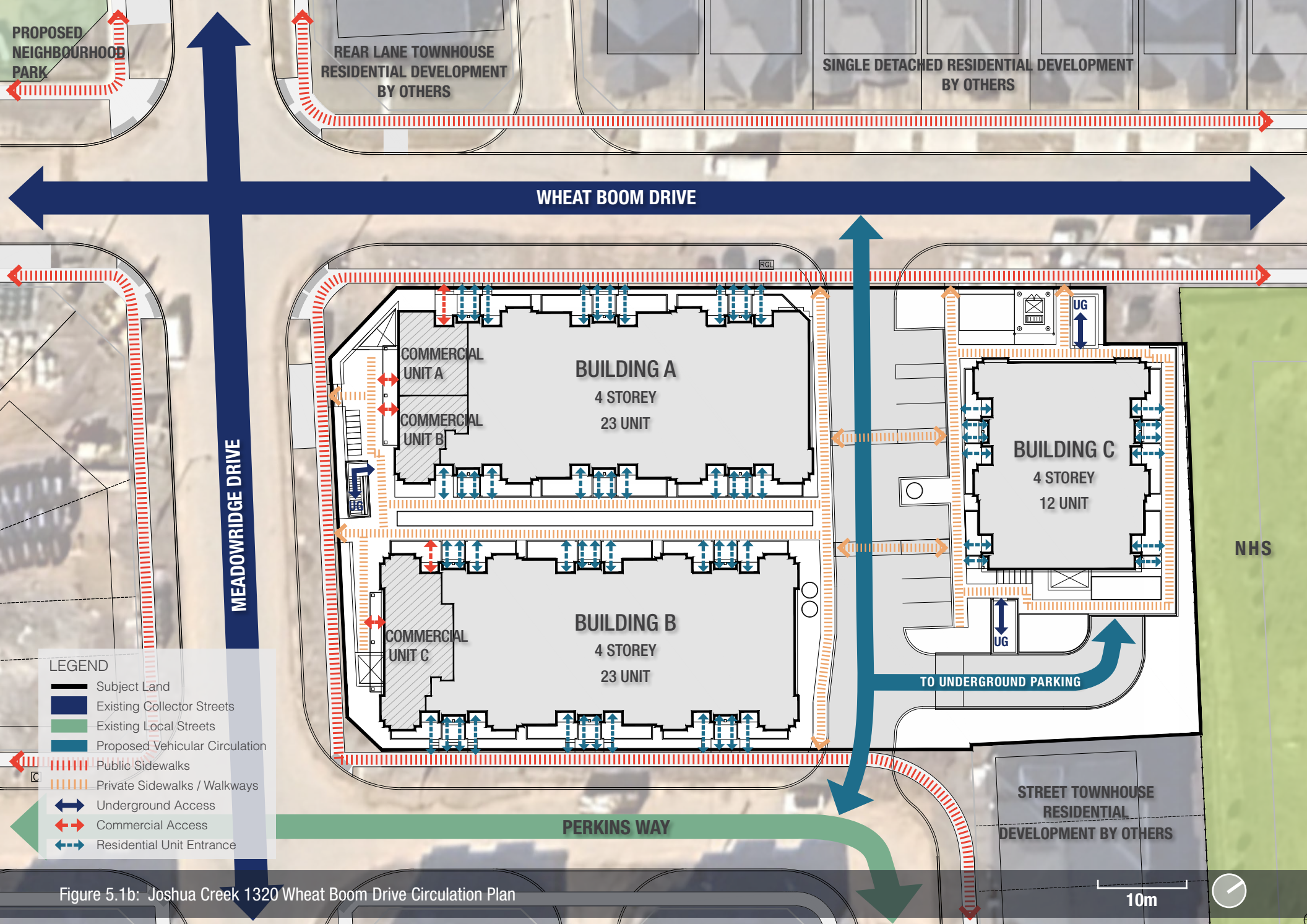
- A clear commercial presence wrapping the corner;
- Increased transparency and visibility;
- A reinforced public realm, supported by additional planting and improved pedestrian circulation; and
- A more pronounced architectural expression facing the intersection.

These refinements support a stronger community focal point and reinforce the site's role within the broader neighbourhood structure.

3.3 Site Circulation and Pedestrian Connectivity

Pedestrian and on-site circulation have been refined to support the at-grade commercial program and to improve site-wide connectivity. Updates include:

- Direct pedestrian routes linking building entrances, commercial doorways, and public sidewalks;
- Adjusted internal walkway alignments to provide clear, barrier-free access; and
- Consolidated driveway and rear parking areas to minimize vehicular-pedestrian conflict.



3.4 Built Form and Façade Refinements

The incorporation of commercial uses has resulted in updates to the building elevations:

- A defined commercial base with increased glazing;
- Material refinements at grade to strengthen human scale;
- Recessed entrances and weather-protected entry points; and
- Updated signage bands integrated cohesively into the façade design.

These changes maintain compatibility with surrounding residential forms while enhancing the project's mixed-use character.

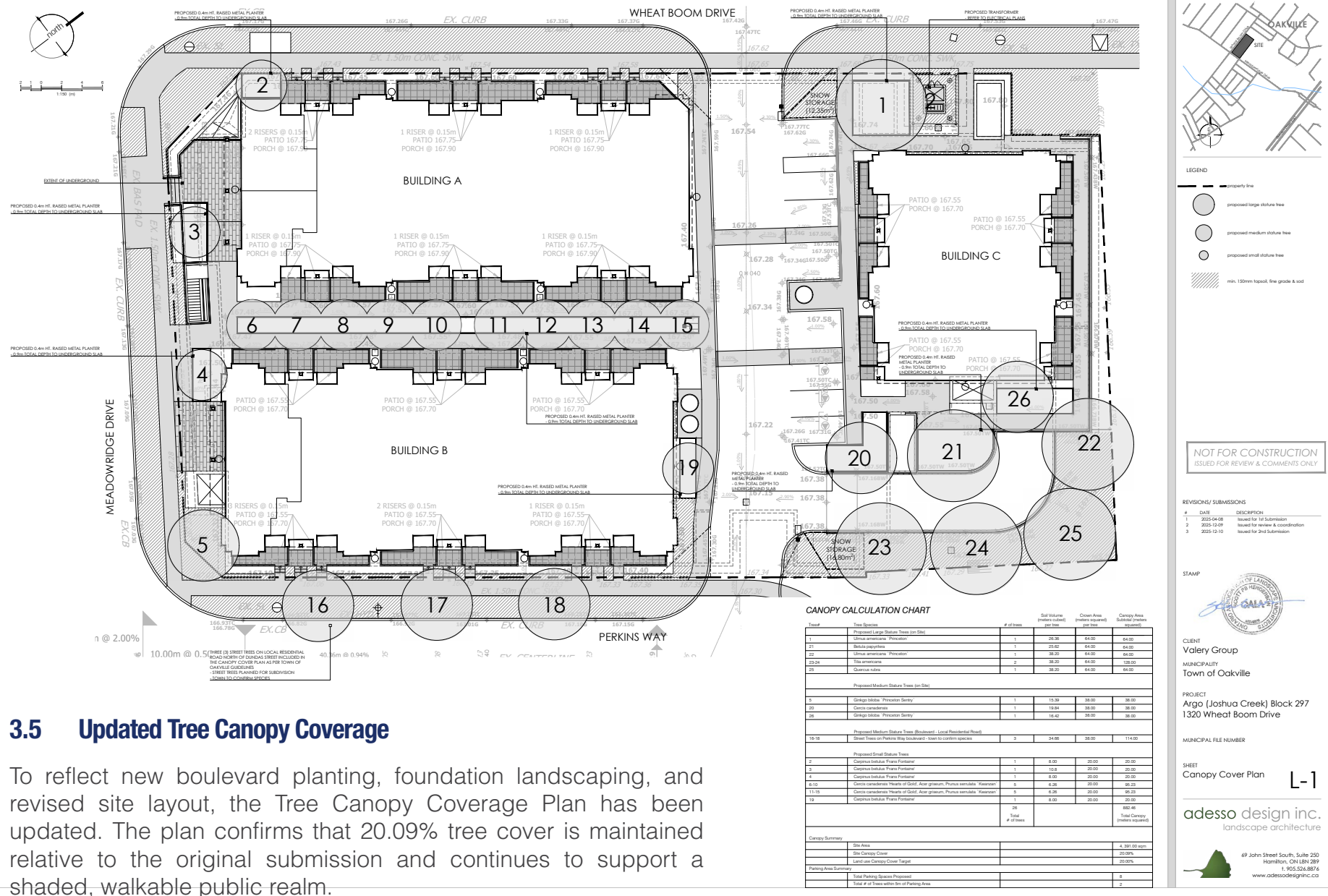


Figure 5.1a: Joshua Creek 1320 Wheat Boom Drive Tree Canopy Coverage Plan

4.0 CONCLUSION

This UDB Addendum outlines the integration of approximately 2,200 sq.ft. of commercial space along Meadowridge Drive and documents the resulting refinements to the site plan, elevations, landscape, and public realm. These updates enhance the mixed-use character of the development and contribute to a pedestrian-supportive corridor consistent with Town policies.

The revised design supports the withdrawal of the OPA and will inform the ZBA resubmission required to implement the updated mixed-use program and remove the commercial parking requirement.

The revised design continues to align with:

- The North Oakville East Secondary Plan
- Livable by Design Manual
- North Oakville Urban Design & Open Space Guidelines

The improvement of active frontages, strengthened corner condition, and enhanced public realm support the intended mixed-use, transit-supportive character of the Neighbourhood Centre Area.



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