

drawing legend

- LANDSCAPE AREA
HEAVY DUTY PAVING
LIGHT DUTY PAVING
CONCRETE SIDEWALK
POURED CONCRETE APRON AT LOADING
FLUSH CURB WITH TACTILE INDICATOR
FIRE ACCESS ROUTE
PAINTED LINE STRIPPING
TYPICAL PARKING STALL
TYPE A BARRIER-FREE STALL
TYPE B BARRIER-FREE STALL
PARKING COUNT
EXISTING PARKING COUNT
BARRIER FREE CURB RAMP
PAINTED CROSSWALK
BICYCLE PARKING WITH CLEARANCE
PRINCIPAL ENTRANCE
SECONDARY ACCESS / EXIT

drawing notes

- 01 OUTLINE OF BUILDING CANOPY
02 OUTLINE OF FACE OF BUILDING ABOVE
03 OUTLINE OF MECHANICAL / SPRINKLER ROOM
04 OUTLINE OF ELECTRICAL ROOM
05 NEW PAD MOUNTED ELECTRICAL TRANSFORMER WITH STEEL BOLLARD PROTECTION
06 EXISTING ELECTRICAL TRANSFORMER AND PAD
07 FIRE DEPARTMENT CONNECTION
08 NEW FIRE HYDRANT
09 EXISTING FIRE HYDRANT
10 NEW TRAFFIC LINE PAINTING
11 OUTLINE OF EXTENTS OF EXISTING CURB TO BE REMOVED
12 DOUBLE BICYCLE RACKS
13 OUTLINES TREE PROTECTION ZONE
14 EXISTING PYLON SIGN TO BE REMOVED
15 POURED CONCRETE RETAINING WALL
16 GALVANIZED STEEL GUARD/HAND RAIL
17 GAS METER
18 BOULEVARD WITHIN THE PUBLIC RIGHT-OF-WAY
19 NEW PYLON SIGN

general notes

- 1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
2. REFER TO DRAWINGS AND REPORTS PREPARED BY:
-SITE SURVEY BY:
-SITE SERVICES AND GRADING BY:
-LANDSCAPING BY:
-ELECTRICAL SERVICES BY:
3. UNLESS NOTED OTHERWISE, CURB RADI ARE 1000 MM.
4. REFUSE STORAGE TO BE INTERNAL AND WILL BE PART OF TENANT FIT-UP SCOPE.
5. LAND OWNER SHALL ARRANGE SNOW REMOVAL UNDER PRIVATE CONTACT.
6. THERE SHALL BE NO OUTDOOR STORAGE.
7. FIRE ROUTE SHALL BE A MINIMUM OF 6.0M CLEAR WIDTH WITH A CENTERLINE TURNING RADIUS NO LESS THAN 12.0M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(a) AND (b).
8. FIRE ROUTE SHALL HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(c).
9. FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(e).
10. FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(g).
11. FIRE ROUTE SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
12. PAVEMENT MARKINGS SHALL BE "WHITE" FOR VEHICULAR STALLS AND "YELLOW" FOR STRIPPED AREAS.
13. BARRIER-FREE PAVEMENT MARKINGS SHALL MEET TOWN OF OAKVILLE STANDARDS.
14. TRAFFIC CONTROL SIGNAGE & PAVEMENT MARKINGS SHALL MEET TOWN OF OAKVILLE STANDARDS.
15. ILLUMINATION SHALL BE DIRECTED DOWN AND AWAY FROM ADJACENT PROPERTIES.
16. SIGNAGE INDICATED SHALL BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMITY WITH THE SIGN BY-LAW.
17. EXPOSED CONCRETE WALLS AND FOUNDATIONS SHALL BE FREE OF DEFECTS AND PROVIDED WITH A SMOOTH SANDBLAST FINISH.
18. BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.

PARKING CALCULATIONS

PARKING REQUIRED
TOWN OF OAKVILLE ZONING BY-LAW 2014-14 PART 5
2526 SPEERS RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING) = 1 PER 100 S.M. NET FLOOR AREA = 1,856.89 S.M. / 100 S.M. = 18.57 = 19 SPACES
2530 SPEERS RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING) = 1 PER 100 S.M. NET FLOOR AREA = 2,930.74 S.M. / 100 S.M. = 29.31 = 30 SPACES
2538 SPEERS RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING) = 1 PER 100 S.M. NET FLOOR AREA = 2,930.74 S.M. / 100 S.M. = 29.31 = 30 SPACES
549 BRONTE RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - RETAIL STORE) = 1 PER 18 S.M. NET FLOOR AREA = 717.62 S.M. / 18 S.M. = 39.87 = 40 SPACES
NEW BUILDING A MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING) = 1 PER 100 S.M. NET FLOOR AREA = 2,862.24 S.M. / 100 S.M. = 28.62 = 29 SPACES
NEW BUILDING B MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING) = 1 PER 100 S.M. NET FLOOR AREA = 864.45 S.M. / 100 S.M. = 8.64 = 9 SPACES
TOTAL PARKING PROVIDED = 200 SPACES
BARRIER-FREE PARKING SPACES REQUIRED (TABLE 5.3.1.) = 2 +2% OF TOTAL SPACES ON THE LOT = 6 BARRIER FREE SPACES
TOTAL STANDARD PARKING PROVIDED = 192 SPACES
TOTAL BARRIER-FREE PARKING PROVIDED = 8 SPACES

PARKING PROVIDED
50 SPACES (EXISTING)
44 SPACES (EXISTING)
34 SPACES (EXISTING)
23 SPACES (EXISTING)
35 SPACES (EXISTING)
14 SPACES
TOTAL PARKING PROVIDED = 200 SPACES
BARRIER-FREE PARKING SPACES REQUIRED (TABLE 5.3.1.) = 2 +2% OF TOTAL SPACES ON THE LOT = 6 BARRIER FREE SPACES
TOTAL STANDARD PARKING PROVIDED = 192 SPACES
TOTAL BARRIER-FREE PARKING PROVIDED = 8 SPACES



context plan

SCALE n.t.s.

SITE STATISTICS

ZONING: 2526, 2530, 2538 SPEERS ROAD EMPLOYMENT ZONE E1 - OFFICE EMPLOYMENT
NEW BUILDINGS A, B EMPLOYMENT ZONE E4 - BUSINESS COMMERCIAL
549 BRONTE ROAD
ZONING BY-LAW NO. 2014-14 (THE CORPORATION OF THE TOWN OF OAKVILLE)
31,832.67 S.M. 342,644.00 S.F. 3.18 HECTARES 7.67 ACRES

LOT AND BUILDING SETBACK REQUIREMENTS

Table with 3 columns: MINIMUM AND MAXIMUM SETBACK REQUIREMENTS, REQUIRED, PROVIDED. Rows include Minimum Lot Frontage, Minimum Front Yard, Highway Corridor, Minimum Interior Side Yard, etc.

BUILDING CLASSIFICATION - NEW BUILDING A

CLASSIFIED UNDER ONTARIO REGULATION 330/12
O.B.C. 3.2.2.7: GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED
PROPOSED BUILDING AREA: 2,862.24

- EFFECTIVE RESTRICTIONS
1. A BUILDING CLASSIFIED AS GROUP F IS PERMITTED TO CONFORM TO SENTENCE (2) PROVIDED.
a. THE BUILDING IS SPRINKLERED.
b. IT IS NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT, AND
c. IT HAS A BUILDING AREA NOT MORE THAN (i) 4,500 S.M. IF 1 STOREY IN BUILDING HEIGHT

- 2. THE BUILDING REFERRED TO IN SENTENCE (1) IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION, AND:
a. FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN.
b. LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL (i) HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45MIN. OR (ii) BE OF NON-COMBUSTIBLE CONSTRUCTION

BUILDING CLASSIFICATION - NEW BUILDING B

CLASSIFIED UNDER ONTARIO REGULATION 330/12
O.B.C. 3.2.2.7: GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED
PROPOSED BUILDINGS AREA: 864.45

- EFFECTIVE RESTRICTIONS
1. A BUILDING CLASSIFIED AS GROUP F IS PERMITTED TO CONFORM TO SENTENCE (2) PROVIDED.
a. THE BUILDING IS SPRINKLERED.
b. IT IS NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT, AND
c. IT HAS A BUILDING AREA NOT MORE THAN (i) 4,500 S.M. IF 1 STOREY IN BUILDING HEIGHT

- 2. THE BUILDING REFERRED TO IN SENTENCE (1) IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION, AND:
a. FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN.
b. LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL (i) HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45MIN. OR (ii) BE OF NON-COMBUSTIBLE CONSTRUCTION

GROSS FLOOR AREAS

Table with 2 columns: EXISTING GROSS FLOOR AREAS, NEW GROSS FLOOR AREAS. Rows include 2526 Speers Road, 2530 Speers Road, 2538 Speers Road, 549 Bronte Road.

TOTAL GROSS FLOOR AREA

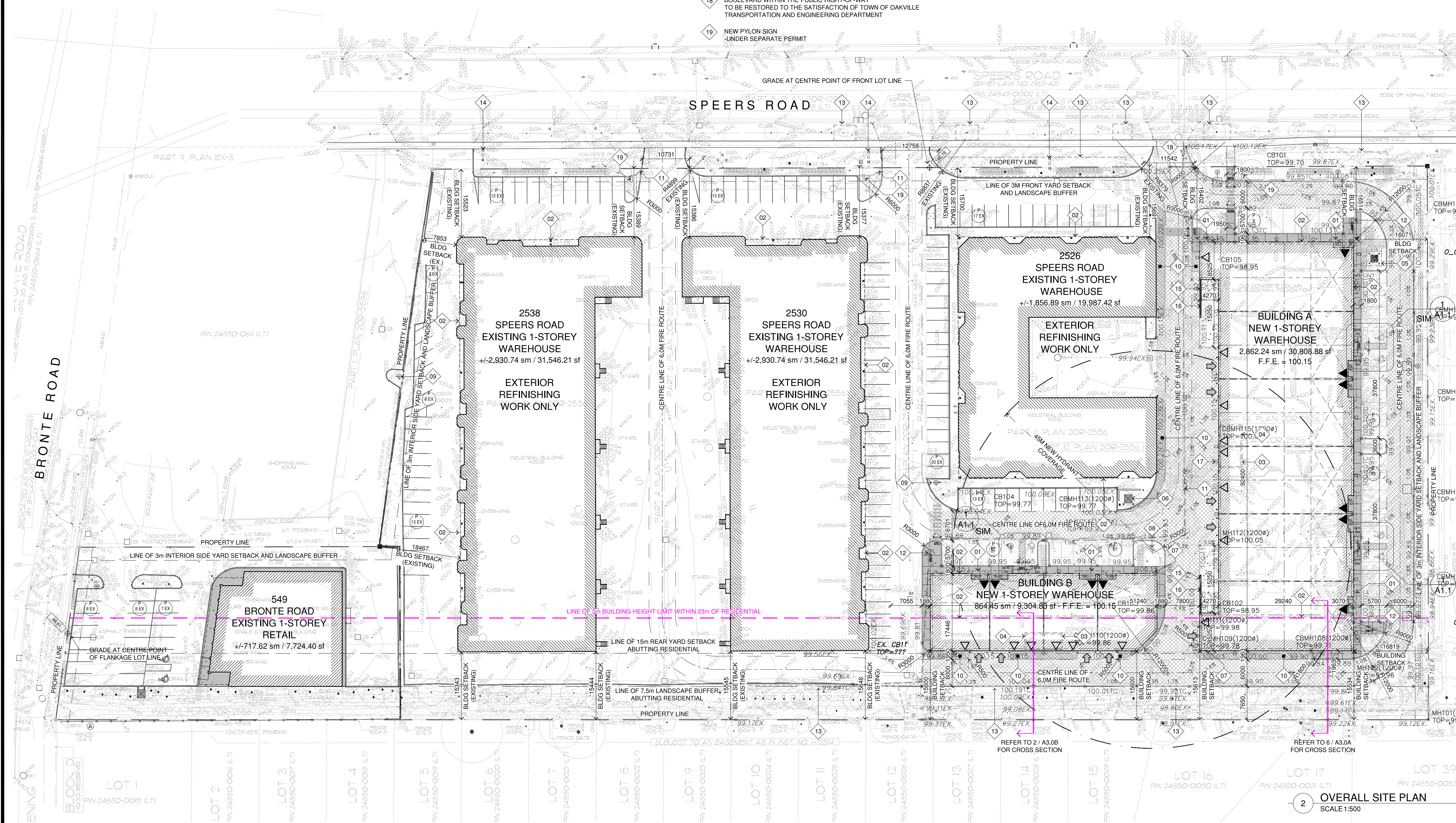
Table with 2 columns: EXISTING, NEW. Rows include Total Existing, Total New, and Total Gross Floor Area.

DENSITY AND COVERAGE CALCULATIONS

Table with 2 columns: BUILDING AREA / SITE AREA, PAVED AREA / SITE AREA, LANDSCAPED AREA / SITE AREA. Rows include Building Coverage, Paved Coverage, Landscaped Area, and Total Coverage.

BICYCLE PARKING

Table with 2 columns: TOWN OF OAKVILLE ZONING BY-LAW 2014-14 PART 5, BICYCLE PARKING SPACES REQUIRED. Rows include Total Net Floor Area, Total Bicycle Parking Required, and Total Bicycle Parking Provided.



OVERALL SITE PLAN SCALE 1:500

Pearce McCluskey Architects
2203 Durwin Drive • Mississauga, Ontario • L5L 1X2
www.pmaarchitects.ca 1.905.607.2444



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detail number key to details
sheet number



OWNER: SOUTH DOWN BUILDERS LIMITED
2344 Avenue Road
Toronto | Ontario | M5M 4A5

APPLICANT:
Site Plan Application File No.
Town of Oakville - SP-1630.031/01

- Reissued for Site Plan Approval 06 Feb 23
Issued for COA 02 Nov 22
Issued for Site Plan Approval 26 July 22

Speers Road Redevelopment
2538, 2530, 2526 Speers Road
Oakville, Ontario

OVERALL SITE PLAN

Project Number: 21067

Drawn By: AK
Checked By: AK
Date: MAY 2022
Scale: 1:500
Sheet Number:

A1.0