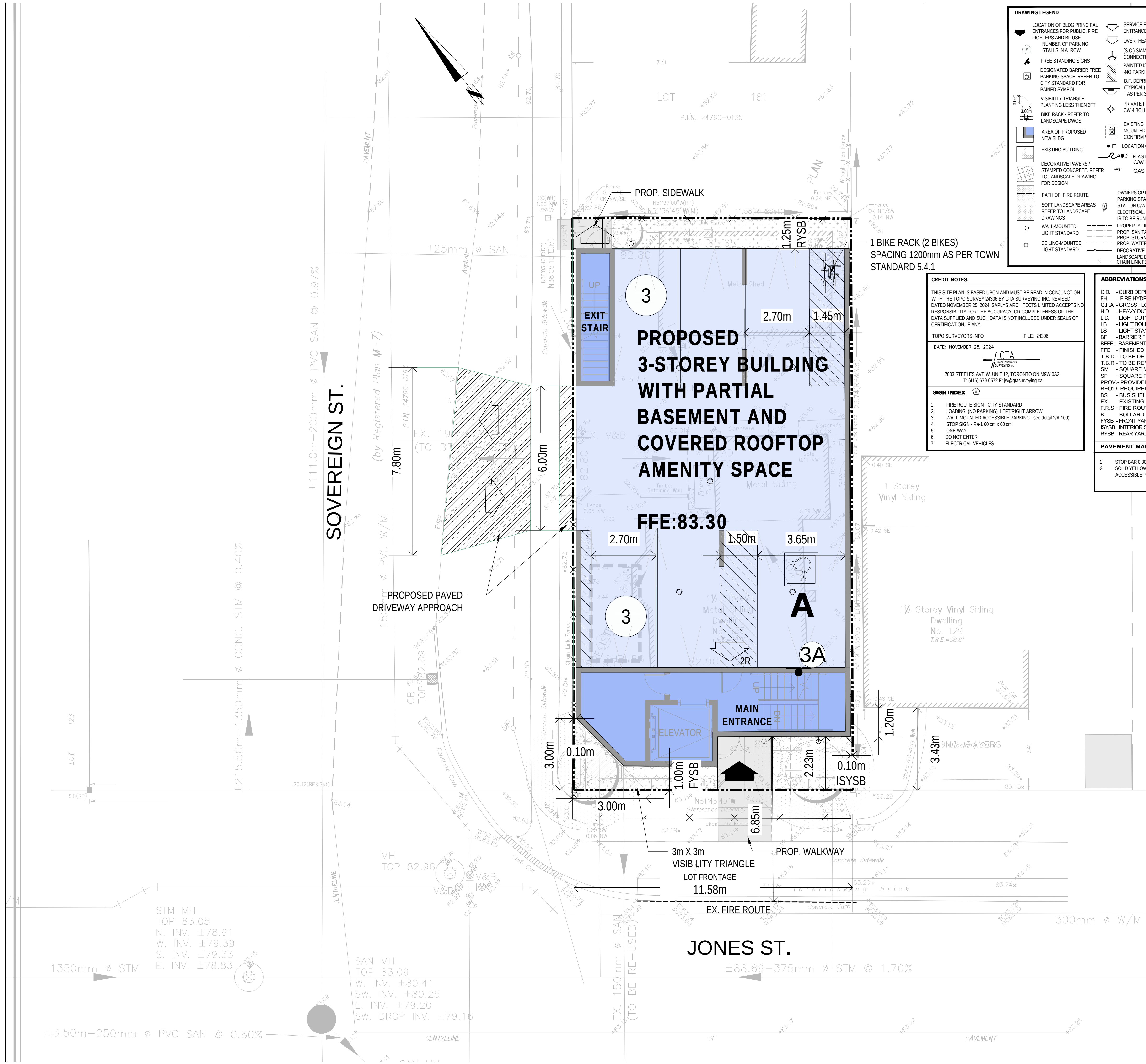




DRAWING LEGEND

- LOCATION OF BLDG PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BF USE
- NUMBER OF PARKING STALLS IN A ROW
- FREE STANDING SIGNS
- DESIGNATED BARRIER FREE PARKING SPACE REFER TO CITY STANDARD FOR PAINTED SYMBOL
- VISIBILITY TRIANGLE PLANTING LESS THEN 2FT
- BIKE RACK - REFER TO LANDSCAPE DWGS
- AREA OF PROPOSED NEW BLDG
- EXISTING BUILDING
- DECORATIVE PAVERS/ STAMPED CONCRETE REFER TO LANDSCAPE DRAWING FOR DESIGN
- PATH OF FIRE ROUTE
- SOFT LANDSCAPE AREAS REFER TO LANDSCAPE DRAWINGS
- WALL-MOUNTED LIGHT STANDARD
- CEILING-MOUNTED LIGHT STANDARD
- SERVICE EXITS/ ENTRANCE POINTS
- OVER-HEAD DOORS
- (S.C.) SIAMESE CONNECTION
- PAINTED ISLAND -NO PARKING
- B.F. DEPRESSED CURB/ RAMP (TYPICAL) C/W TWIS
- AS PER 3.8.3.2(3) IN THE OBC
- PRIVATE FIRE HYDRANT C/W 4 BOLLARDS
- EXISTING LOCATION OF PAD MOUNTED TRANSFORMER (TO BE CONFIRM WITH LOCAL UTILITIES)
- C/W UPLIGHT
- FLAG POLE (SEE ELEC. SITE)
- GAS METER
- OWNERS OPTION FOR HYBRID PARKING STALLS - EV CHARGING STATION C/W SIGN AND SEE ELECTRICAL AT A MINIMUM A CONDUIT IS TO BE RUN FOR FUTURE WORK
- PROPERTY LINE
- PROP. SANITARY SERVICE
- PROP. STORM SERVICE
- PROP. WATER SERVICE
- LANDSCAPE DWG CHAIN LINK FENCE

CREDIT NOTES:

THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE TOPO SURVEY 24306 BY GTA SURVEYING INC. REVISED DATED NOVEMBER 25, 2024. SAPLYS ARCHITECTS LIMITED ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.

TOPO SURVEYORS INFO FILE: 24306

DATE: NOVEMBER 25, 2024

GTA
GTA SURVEYING INC.

7003 STEELES AVE W. UNIT 12, TORONTO ON M9W 0A2
T: (416) 679-0572 E: jw@gtaurveying.ca

SIGN INDEX

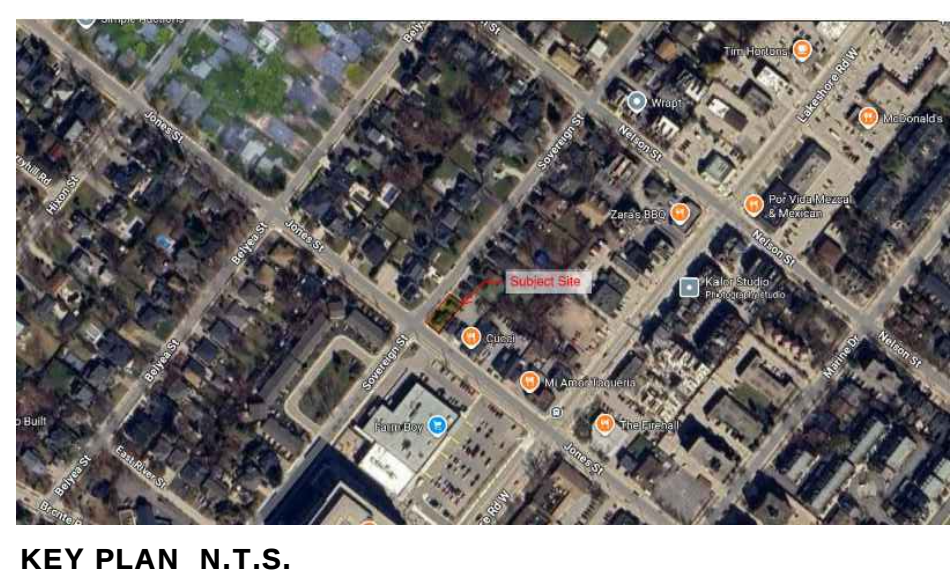
- FIRE ROUTE SIGN - CITY STANDARD
- LOADING (NO PARKING) LEFT/RIGHT ARROW
- WALL-MOUNTED ACCESSIBLE PARKING - see detail 2/A-100
- STOP SIGN - Rb-1 60 cm x 60 cm
- ONE WAY
- DO NOT ENTER
- ELECTRICAL VEHICLES

ABBREVIATIONS

C.D. - CURB DEPRESSION
FH - FIRE HYDRANT
G.F.A. - GROSS FLOOR AREA
H.D. - HEAVY DUTY PAVING
L.D. - LIGHT DUTY PAVING
LB - LIGHT BOLLARD
LS - LIGHT STANDARD
BF - BARRIER FREE
BFFE - BASEMENT FFE
FFE - FINISHED FLOOR ELEVATION
T.B.R. - TO BE DETERMINED
T.B.R. - TO BE REMOVED
SM - SQUARE METERS
SF - SQUARE FEET
PROV. - PROVIDED
REQ'D - REQUIRED
BS - BUS SHELTER
EX - EXISTING
F.R.S. - FIRE ROUTE SIGN
B - BOLLARD
FYSB - FRONT YARD SETBACK
ISYSB - INTERIOR SIDE YARD SETBACK
RYSB - REAR YARD BUILDING SETBACK

PAVEMENT MARKING INDEX:

- STOP BAR 0.30 m
- SOLID YELLOW 0.10 m ACCESSIBLE PARKING MARKING



SITE STATISTICS (OAKVILLE TRIPLE)				
SITE AREA	SM	SF	ACRES	%
ASPHALT	275.1	2,981	0.063	100%
LANDSCAPING - SOFT	184.7	1,998	0.046	87.1%
LANDSCAPING - HARD (DECORATIVE PAVING)	28.7	309	0.007	10.4%
MISC (CURBING & WALKWAYS)	6.8	71	0.002	2.4%
LOT COVERAGE	47.0	506	0.012	17.1%
GROSS FLOOR AREA	456.6	4,915	0.113	1,660
BASEMENT	37.8	407		
GROUND FLOOR PLAN	47.0	506		17.1%
SECOND FLOOR	235.4	2,533		
THIRD FLOOR	174.3	1,876		
GFA WITH LOWER LEVEL	494.5	5,323		

BYLAW - PARKING CALCULATION				
Zoning By-Law 2014-014				
Zone Description: HI-MH - Main Street 1				
SERVICE COMMERCIAL ESTABLISHMENT - 1.6 per 40.0 m ² net floor area				
Net Floor Area - means the total area of all floors of a building measured from the interior faces of the exterior walls or demising walls, but does not include the area of stair wells, elevators, ventilating shafts, attics, concourses, washrooms, attached enclosed and covered loading docks and related enclosed corridors, used for loading purposes, above and below grade parking structures, storage rooms, rooms for garbage containment, and mechanical rooms.				
PART	SM	Per	Ratio	TOTAL
Aesthetics & Med Spa (Service Commercial Establishment)	240.0	40	1	6.00
TOTAL PARKING REQUIRED				6
TOTAL PARKING PROVIDED ON GRADE				6
BARRIER-FREE PARKING				
Section 5.3.1	REQUIRED	PROVIDED	COMPLY	
3 to 25 (2015-018)	1.0	1.0	YES	
LOADING				
Section 5.8	REQUIRED	PROVIDED	COMPLY	
NO MINIMUM NUMBER OF LOADING SPACES REQUIRED	N/A	0.0	-	
BICYCLE PARKING SPACES				
Section 5.4.1	GFA	REQUIRED	PROVIDED	COMPLY
THE GREATER OF 2 OR 1 PER 1000.0 SQUARE METRES OF NET FLOOR AREA	240.0	2.0	2.0	YES

ZONING INFORMATION				
Zone Description: HI-MH - Main Street 1				
Permitted Uses Table 8.2			COMPLY	
SERVICE COMMERCIAL ESTABLISHMENT			YES	
	Table	REQ'D (S/M ²)	BLDG (PROV S/M ²)	COMPLY
	LOT AREA	-	275.17	YES
	MIN. LOT FRONTAGE	-	11.58	YES
A	MIN. FRONT YARD	0.0	1.0	YES
	MAX FRONT YARD	3m		YES
	MIN. FLANKAGE YARD	0.0	0.10	YES
	MAX FLANKAGE YARD	3m		YES
	MIN. INTERIOR SIDE YARD - EAST	0.0	0.10	YES
C	MIN. INTERIOR SIDE YARD ABUTTING A RESIDENTIAL ZONE, INSTITUTIONAL ZONE OR COMMUNITY USE	3m	N/A	-
	MIN. REAR YARD	0.0	1.25	YES
D	MIN. REAR YARD ABUTTING A RESIDENTIAL ZONE, INSTITUTIONAL ZONE OR COMMUNITY USE	3m	1.25	NO
	MIN. NUMBER OF STOREYS	2.0	3.00	YES
H	MAX NUMBER OF STOREYS	4.0		YES
	MIN FIRST STOREY HEIGHT	4.6m	3.24	YES
	MIN HEIGHT	7.6m		YES
H	MAX HEIGHT - Est. GR and Highest point of structure	15.0m	10.62	YES
	PARKING STANDARDS			BY-LAW COMPLIANT
	PARKING STALL	2.70 m x 5.7 m		YES
	BARRIER-FREE - TYPE A	3.65 x 5.7 m + 1.5 Aisle		YES
	BARRIER-FREE - TYPE B	2.7 x 5.7 m + 1.5 Aisle		YES
	LOADING STALL	3.5 X 12.0 X 4.2(H)		YES
	DRIVE-ABLE - TWO WAY	6.0 m		YES
AREAS OF PLAN NOT ZONING COMPLIANT				

GENERAL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
1. USE TOURED DIMENSIONS IN PRECEDENCE TO SCALING.
2. VERIFY AND CHECK ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION.
3. DETERMINE LOCATIONS OF ALL EXISTING SERVICES.
4. PLANS ARE IN CONFORMANCE WITH THE OAKVILLE BUILDING CODE.
ANY CHANGES, DISCREPANCIES, OR SUBSTITUTIONS SHALL BE REPORTED TO AND REVIEWED BY THE ARCHITECT BEFORE PROCEEDING.

STATUS: PROPOSAL
REVISION: 1
DATE: 26-06-24
1. FREE SITE PLAN SUBMISSION

PROPOSED AESTHETICS & WELLNESS CLINIC
OAKVILLE, ONTARIO

SITE PLAN

PROJECT NAME: PROPOSED AESTHETICS & WELLNESS CLINIC
DRAWING NAME: SITE PLAN

DRAWN BY: RZ
DATE: 26-06-24
PROJECT NO.: 25-013

CHECKED BY: F.F.
SCALE: 1/75
SET NO.: 1

DRAWING NO.: A-100
REVISION: 0

1464 CORNWALL DRIVE, OAKVILLE, ON L6L 7W5
P: (905) 337-7249 E: corm@fabianiarchitects.net