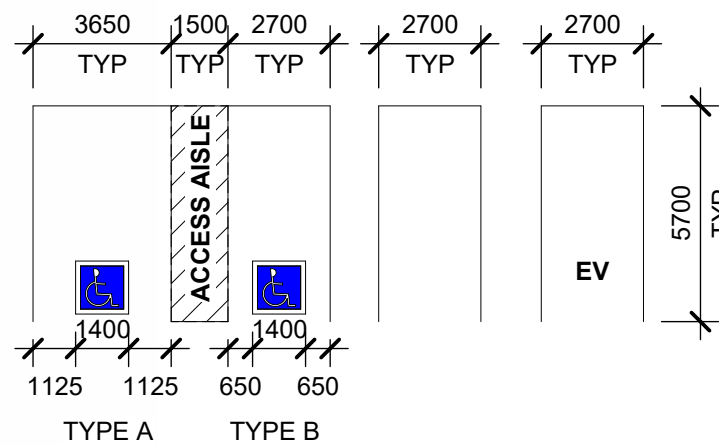


BRISTOL CIRCLE

2700 BRISTOL CIRCLE, OAKVILLE, ON. L6H 6E1

BEEEDIE

	LANDSCAPE
	SIDEWALK PAVING
	FIRE TRUCK ROUTE
	HEAVY DUTY ASPHALT
	EV PARKING (ELECTRIC VEHICLE)
	FIRE HYDRANT
	CHAIN LINK FENCE
	SEDIMENT CONTROL FENCE
	EASEMENT
	MAIN ENTRANCE
	SERVICE ENTRANCE
	GRADE DOOR
	PROPERTY LINE
	BOLLARD
	MAILBOX
	LOADING SPACE 12mX3.5m



BARRIER FREE PARKING	STANDARD PARKING	ELECTRIC VEHICLE
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[illegible]

PROJECT NO: 255010
DRAWN BY: MZ
CHECKED BY: JF

OVERALL SITE PLAN

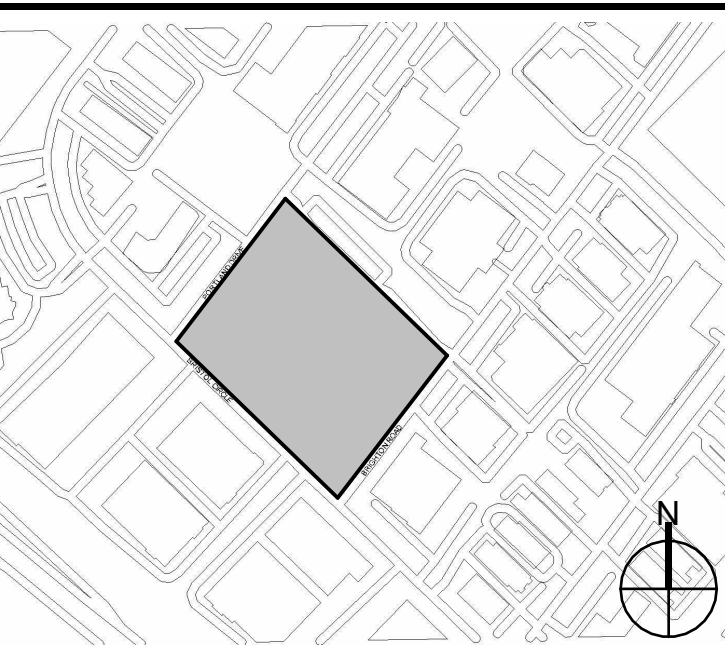
The seal of the Ontario Association of Architects is a circular emblem. It features the words "ONTARIO ASSOCIATION" in an arc at the top and "ARCHITECTS" in the center. Below "ARCHITECTS" is a stylized signature, "A. Alfaro". At the bottom of the seal, the text "AMANDA ALFARO SANABRIA" and "LICENCE 7712" are inscribed. The seal is surrounded by a decorative border of small dots.

AS101

2025-08-22

KEY MAP

- A. REFER TO CIVIL DRAWINGS FOR SITE SERVICING AND SITE GRADING
- B. REFER TO LANDSCAPE DRAWINGS FOR EXTENT OF WORK
- C. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL LIGHTINGS
- D. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED
- E. PROVIDE FIRE ROUTE STRIPPING PER LOCAL JURISDICTION
- F. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT STANDARDS.
- G. FIRE DEPARTMENT ACCESS SITE CONCRETE PAVING TO BE CAPABLE OF WITHSTANDING 90,000 LBS UNDER ALL WEATHER CONDITIONS.
- H. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION.
- J. ACCESSIBLE PARKING SPOTS AREA TO BE EQUIPPED TO MEET THE APPLICABLE ACCESSIBILITY CODE WITH SIGNAGE AND CORRECT STRIPING
- K. FIRE ROUTE TO HAVE
 - * CLEAR WIDTH NOT LESS THAN 6 M
 - * CLEAR LINE RADIUS NOT LESS THAN 12 M
 - * AN OVERHEAD CLEARANCE NOT LESS THAN 5 M
 - * A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M



APPLICATION BY-LAWS	Zoning (2014-014 BY-LAW) TOWN OF OAKVILLE
PROJECT DESCRIPTION	CONDOMINIUM INDUSTRIAL BUILDING
MUNICIPAL ADDRESS	2700 Bristol Circle, Oakville
ZONING INFORMATIONS	E2-SP 333

	REQUIREMENT	PROVIDED
MAX. BUILDING HEIGHT	-	22.86 M
FRONT YARD SETBACK	3.0 M	☒
EXTERIOR SIDE YARD SETBACK	3.0 M	☒
INTERIOR SIDE YARD SETBACK	3.0 M	☒

PARKING REQUIREMENTS *AS PER TOWN OF OAKVILL Zoning (2014-014 BY-LAW

MOTOR VEHICLE	REQUIREMENT		PROVIDED
	1 PER 100 SM (UP TO 7,500 SM) & 1 PER 200 SM (OVER 7,500 SM)		
	BUILDING A		PROPOSED PARKING
	9931.84-7500 = 2431.84 7500/100 = 75 2431.84/200 = 12		PARKING SPACE ADA TYPE A = 2 PARKING SPACE ADA TYPE B = 2 EV PARKING SPACES = 20 STANDARD PARKING SPACES = 65
	TOTAL	87	
	ACCESSIBLE SPACES : 4% of TOTAL NO. OF PARKINGS 87 x 4% = 4		
	BUILDING B		PROPOSED PARKING
	9599.84-7500 = 2099.84 7500/100 = 75 2431.84/200 = 10		PARKING SPACE ADA TYPE A = 2 PARKING SPACE ADA TYPE B = 2 EV PARKING SPACES = 20 STANDARD PARKING SPACES = 82
	TOTAL	85	
	ACCESSIBLE SPACES : 4% of TOTAL NO. OF PARKINGS 85 x 4% = 3		
BICYCLE PARKING	REQUIREMENT		PROVIDED
	2, PLUS 0.25 PER 1,000 SM OF NET FLOOR AREA		
	BUILDING A		PROPOSED PARKING
	(9931.84 / 1000) x 0.25 = 3 2 + 3 = 5		BICYCLE PARKING SPACES = 8
	TOTAL	5	
	BUILDING B		
	(9599.84 / 1000) x 0.25 = 3 2 + 3 = 5		BICYCLE PARKING SPACES = 8
	TOTAL	5	

PROJECT AREA SCHEDULE

GROSS LOT AREA	%	SQUARE FEET	SQUARE METER	ACRE
	100	405,910.51	37,710.32	9.32
SITE COVERAGE	ALLOWED		PROPOSED	
	-		52%	
LANDSCAPE AREA	REQUIREMENT		PROVIDED	
OVERALL LOT AREA (405,910.51 SF, 37,710.32 SQ.M)	3,771.03 SQ.M (10%)		3,918.28 SQ.M (10.39%)	
FRONTAGE - WEST (34,593.91 SF, 3,213.88 SQ.M)	803.47 SQ.M (25%)		803.24 SQ.M (25%)	
FLANKAGE - NORTH (16,029.30 SF, 1,489.17 SQ.M)	37.29 SQ.M (25%)		1,075.11 SQ.M (72%)	
FLANKAGE - SOUTH (14,359.16 SF, 1,334.01 SQ.M)	333.50 SQ.M (25%)		1,291.35 SQ.M (97%)	

BLDG A	LEVEL	GROSS CONSTRUCTION FLOOR AREA (GCFa)		PERMITTED DEDUCTIONS Zoning (2014-014 BY-LAW)		GROSS FLOOR AREA (GFA) Zoning (2014-014 BY-LAW)	
		SQ.M	SQ.FT	SQ.M	SQ.FT	SQ.M	SQ.FT
	LEVEL 1	9,931.84	106,905.33	413.56	4,451.52	9,518.28	102,453.81
	MEZZ LEVEL	1677.61	18,057.60	-	-	1,677.61	18,057.60
	TOTAL	11,609.45	124,962.93	413.56	4,451.52	11,195.89	120,511.41

BLDG B	LEVEL	GROSS CONSTRUCTION FLOOR AREA (GSCFA)		PERMITTED DEDUCTIONS Zoning (2014-014 BY-LAW)		GROSS FLOOR AREA (GFA) Zoning (2014-014 BY-LAW)	
		SQ.M	SQ.FT	SQ.M	SQ.FT	SQ.M	SQ.FT
	LEVEL 1	9,599.84	103,331.72	410.49	4,418.47	9,189.35	98,913.24
	MEZZ LEVEL	1,621.69	17,455.70	-	-	1,621.69	17,455.70
TOTAL		11,221.53	120,787.42	410.49	4,418.47	10,811.04	116,368.95

UNIT SCHEDULE

BUILDING A	NUMBER OF UNITS	10 UNITS
BUILDING B	NUMBER OF UNITS	10 UNITS

OVERALL SITE PLAN

SCALE: 1 : 500