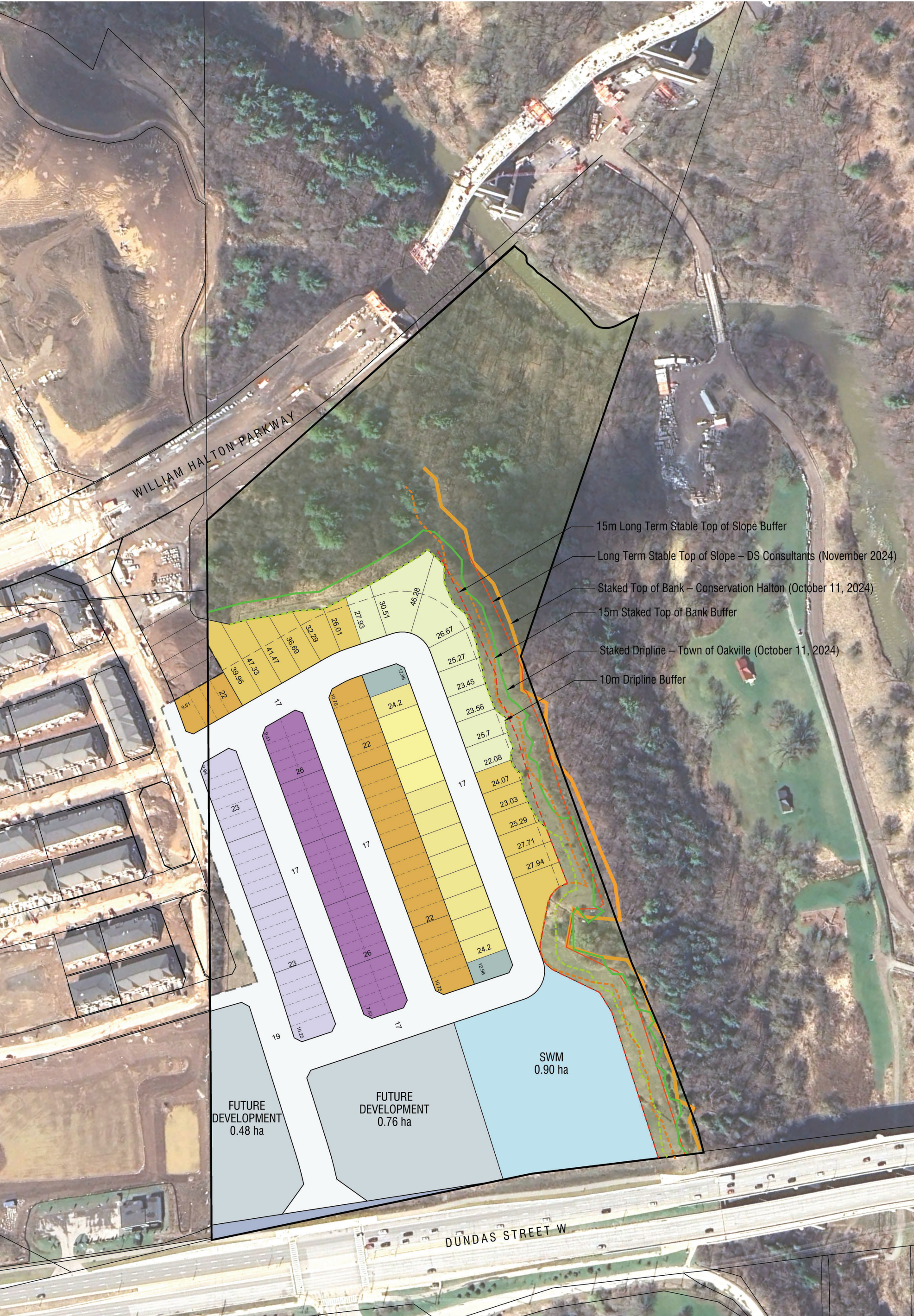




— Long Term Stable Top of Slope – DS Consultants (November 2024)

— 15m Long Term Stable Top of Slope Buffer

— Staked Dripline – Town of Oakville (October 11, 2024)

— 10m Dripline Buffer

— Staked Top of Bank – Conservation Halton (October 11, 2024)

— 15m Staked Top of Bank Buffer

- All Units In Metric Unless Otherwise Noted.
- Base Information Obtained From Various Sources And Is Approximate.
- Schedule / Plan Information Is Conceptual And Requires Verification by Appropriate Agency.
- Aerial Photo: Google Earth, April 2024

GERRARD
DESIGN

LAND USE SUMMARY

Site Area	10.60 ha.	26.19 ac.
Land Exchange	0.00 ha.	0.00 ac.
TOTAL SITE AREA	10.60 ha.	26.19 ac.
NON-DEVELOPABLE		
Road Widening	0.07 ha.	0.17 ac.
NHS	3.79 ha.	9.37 ac.
NET SITE AREA	6.74 ha.	16.65 ac. 100%
DEVELOPABLE		
Residential (see 'UNIT SUMMARY' Below)	2.72 ha.	6.72 ac. 40.4%
Future Development	1.24 ha.	3.06 ac. 18.4%
SWM Pond	0.90 ha.	2.22 ac. 13.4%
Right of Way	1.88 ha.	4.65 ac. 27.9%
TOTAL (Developable)	6.74 ha.	16.65 ac. 100%

UNIT SUMMARY

UNIT SUMMARY			Width (m)	Dpth. (m)	Unit Count	Lot Mix	Frntg. (lin.m)	Area		% Net Res.
FREEHOLD										
	Dual Frontage Townhouses	(20')	6.00	x 23.00	25	18%	150.0	0.39 ha.	0.96 ac.	14.3%
	Back to back Townhouses	(18')	5.60	x 13.00	56	39%	313.6	0.46 ha.	1.14 ac.	16.9%
	Std Townhouses	(24')	7.30	x 22.00	27	19%	197.1	0.48 ha.	1.19 ac.	17.6%
	Single Detached	(42')	12.80	x 23.20	12	8%	153.6	0.52 ha.	1.28 ac.	19.1%
	Single Detached	(50')	15.24	x 23.20	8	6%	121.9	0.42 ha.	1.04 ac.	15.4%
	Single Detached (Corner)	(40')	12.22	x 24.20	2	1%	24.4	0.06 ha.	0.15 ac.	2.2%
	Single Detached	(42')	12.80	x 24.20	9	6%	115.2	0.28 ha.	0.69 ac.	10.3%
	Single Detached	(50')	15.24	x 24.20	3	2%	45.7	0.11 ha.	0.27 ac.	4.0%
TOTAL RESIDENTIAL					142	100%	1121.6	2.72 ha.	6.72 ac.	100.0%

ROW SCHEDULE

	(m) width	(lin.m)	(lin.m) half width
Collector	19.0	134.1	165.5
Local Street	17.0	833.2	19.3
ROW TOTAL		967.3	184.8