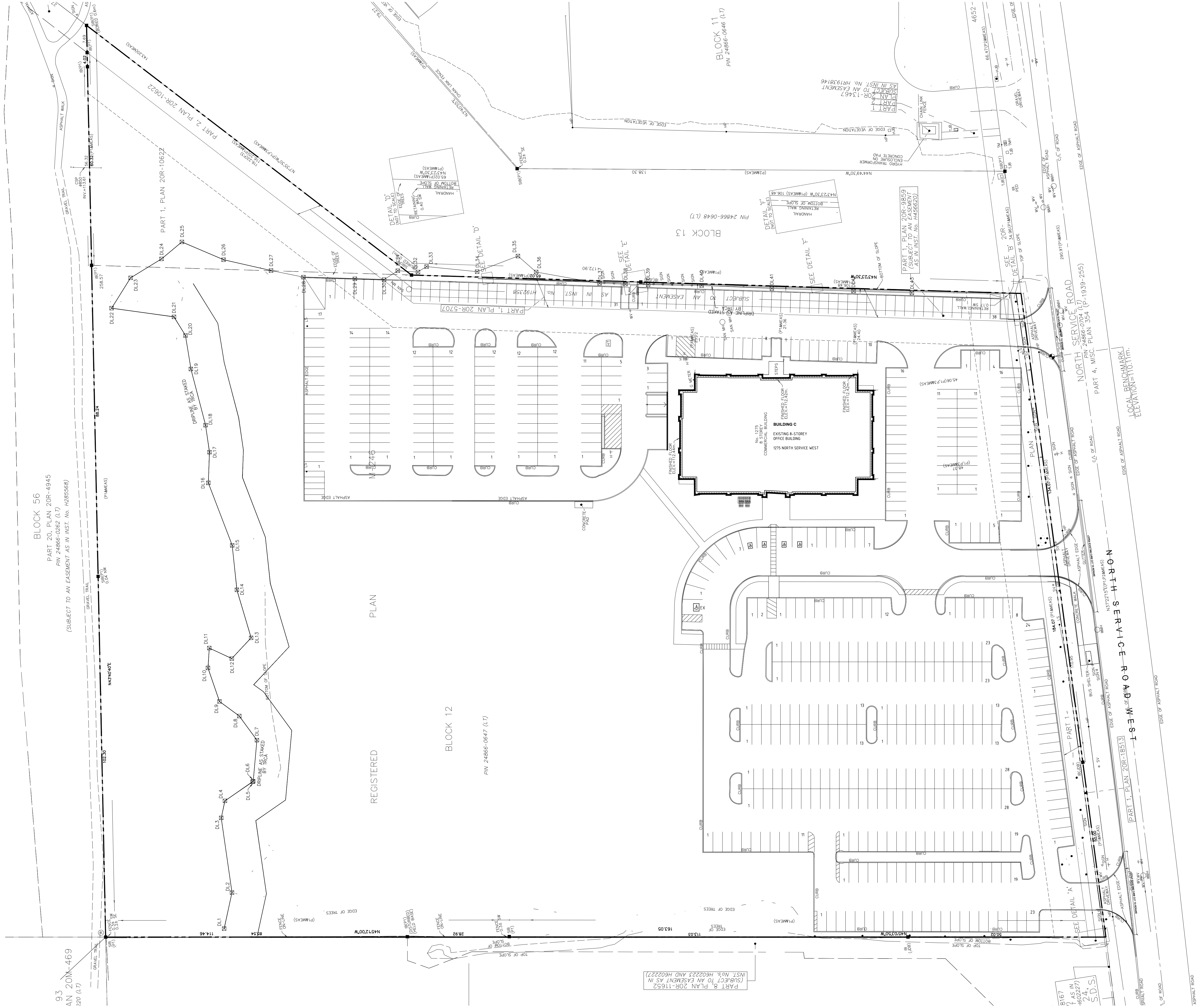




LEGEND

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- ACCESSIBLE PARKING SIGN IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL CODE RB-93
- BOLLARD
- FIRE HYDRANT
- CONCRETE SLAB PAVING (REGULAR DUTY UO.I)
- CONCRETE SLAB PAVING (HEAVY DUTY)
- CONCRETE PAVERS
- VEHICULAR ACCESS DOOR
- OVERHEAD DOOR
- MAN DOOR
- FIRE DEPT. SIAMESE CONNECTION
- LIGHT STANDARD
- RETAINING WALL
- CATCH BASIN
- MANHOLE
- CATCH BASIN MANHOLE
- ELECTRIC VEHICLE CHARGER
- ROUGH-IN FOR FUTURE ELECTRIC VEHICLE CHARGER

SITE STATISTICS	
Zoning	
Site Area	
Total Site Area	54,029 sq.m. (13.5 Ac.)
Lot Frontage	
PROPOSED	184.07 m
Gross Floor Area	
OFFICE BUILDING "B":	
Ground Floor	1,806.2 m ² (19,442.4 sq.ft.)
FLOORS 2-8	12,642.5 m ² (136,087.2 sq.ft.)
Total	16,448.7 m ² (175,529.6 sq.ft.)
Net Floor Area	
OFFICE BUILDING "B":	
Ground Floor	1,454.6 m ² (15,657.7 sq.ft.)
FLOORS 2-8	10,794.3 m ² (116,792.7 sq.ft.)
Total	12,248.9 m ² (131,850.4 sq.ft.)
Parking Requirements	
REQUIRED SPACES	
OFFICE BUILDING "B" (1 / 35m ² NET) =	350 sp.
EXISTING SPACES	
Existing above grade	561 sp.
Existing below grade (See dwg A11)	37 sp.
Total Existing Parking Spaces on Site	= 598 sp.
Existing Accessible Parking Spaces on Site	= 5 sp.

KEY MAP

2 REVISIONS PER SPA COMMENTS JULY 02-25

Rev	Issue	Date
1	ISSUED FOR SPA	DEC 20-24

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ONTARIO ASSOCIATION OF ARCHITECTS

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Project

OAKVILLE GENESIS

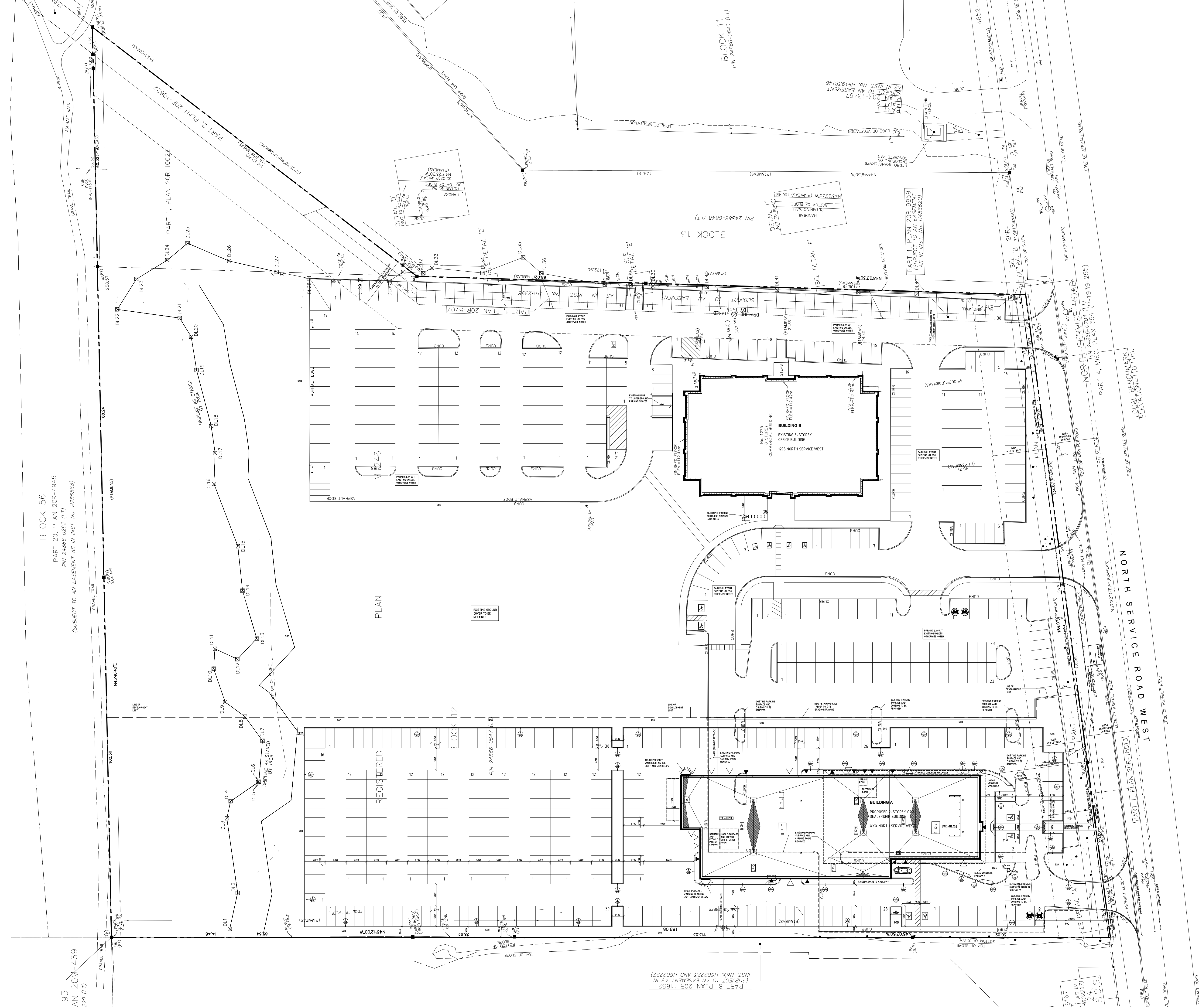
1275 SOUTH SERVICE RD. W.
OAKVILLE, Ontario

Dwg Title

EXISTING SITE PLAN

Project No	2302	Date	AUG 2023	Dwg No	
Scale	1:500				

A1.1



LEGEND	
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	ACCESSIBLE PARKING SIGN IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL CODE RB-93
	BOLLARD
	FIRE HYDRANT
	CONCRETE SLAB PAVING (REGULAR DUTY UNOD)
	CONCRETE SLAB PAVING (HEAVY DUTY)
	CONCRETE PAVERS
	VEHICULAR ACCESS DOOR
	OVERHEAD DOOR
	MAN DOOR
	FIRE DEPT. SIAMASE CONNECTION
	LIGHT STANDARD
	RETAINING WALL
	CATCH BASIN
	MANHOLE
	CATCH BASIN MANHOLE
	ELECTRIC VEHICLE CHARGER
	ROUGH-IN FOR FUTURE ELECTRIC VEHICLE CHARGER

SITE STATISTICS	
Zoning	
Site Area	
Total Site Area	54,029 sq.m. (13.5 Ac)
Lot Frontage	
PROPOSED	184.07 m
Site Coverage	
Building Area	4,067 sq.m. 8 %
Paved Area	13,735 sq.m. 25 %
Landscaped Area	36,277 sq.m. 67 %
Total Site Area	54,029 sq.m. 100.0 %
Building Height	
PROPOSED	9.2 m
Gross Floor Area	
OFFICE BUILDING "B":	
Ground Floor:	1,806.2 m ² (19,442.4 sq.ft.)
FLOORS 2-8:	12,642.5 m ² (136,087.2 sq.ft.)
Total:	14,448.7 m ² (155,529.6 sq.ft.)
CAR DEALERSHIP "A":	
Ground Floor:	2,260.8 m ² (24,335.8 sq.ft.)
Second Floor:	616.6 m ² (6,637.2 sq.ft.)
Total:	2,877.4 m ² (30,973.0 sq.ft.)
Net Floor Area	
OFFICE BUILDING "B":	
Ground Floor:	1,454.6 m ² (15,657.7 sq.ft.)
FLOORS 2-8:	10,794.3 m ² (116,192.7 sq.ft.)
Total:	12,248.9 m ² (131,850.4 sq.ft.)
CAR DEALERSHIP "A":	
Ground Floor:	2,280.1 m ² (24,543.6 sq.ft.)
Second Floor:	431.9 m ² (4,649.0 sq.ft.)
Total:	2,712.0 m ² (29,192.6 sq.ft.)
Parking Requirements	
REQUIRED	
OFFICE BUILDING "B" (1 / 35m2 NET) =	350 sp.
CAR DEALERSHIP "A" (1 / 100m2 NET) =	28 sp.
Total Parking Spaces Required (On Site)	= 378 sp.
EXISTING OFFICE BUILDING "B":	
Existing Spaces (37 below grade included, see A11) =	598 sp.
Existing Spaces Removed =	196 sp.
Existing Spaces to Remain (37 below grade included) =	402 sp.
Accessible =	6 sp.
CAR DEALERSHIP "A":	
Provided (Conforming to By-Law)	= 28 sp.
Accessible	= 4 sp.
Vehicle Inventory / Storage	= 254 sp.
Total Parking Spaces Provided (On Site)	= 694 sp.
BICYCLE PARKING - (2x0.25x1.00m2 NFA)	
DEALERSHIP BUILDING "A" (2x0.25x2.7)	3 SPACES
OFFICE BUILDING "B" (2x0.25x2.7)	6 SPACES
WALL PROPORTION CALCULATION	
BUILDING A 14.47 %	
AREA OF DEVELOPMENT LIMIT	
	17,510 m ²

KEY MAP

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Project

OAKVILLE GENESIS

1275 SOUTH SERVICE RD. W.
OAKVILLE, Ontario

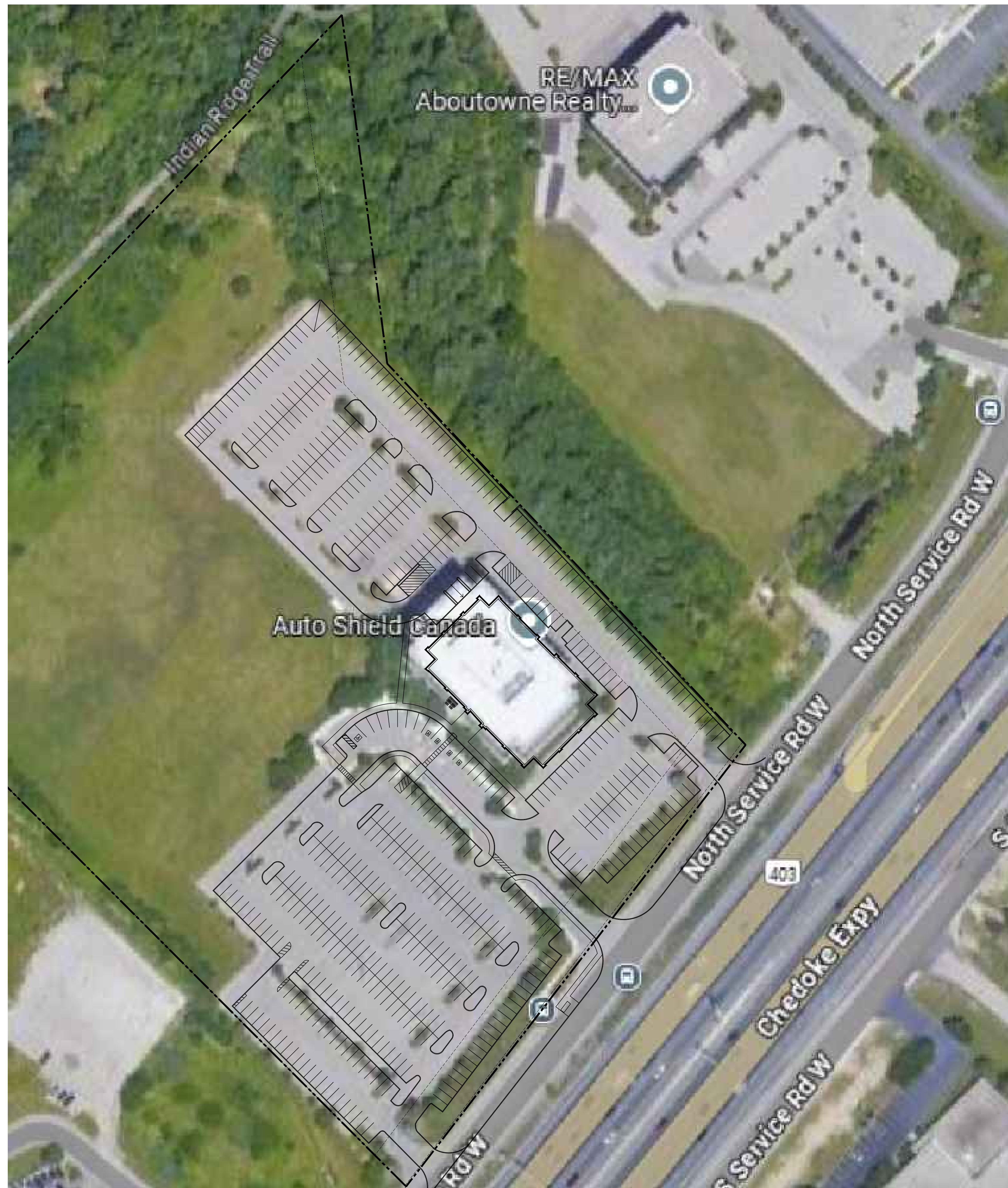
Dwg Title

SITE PLAN

Project No. 2302 Date AUG 2023 Dwg No.

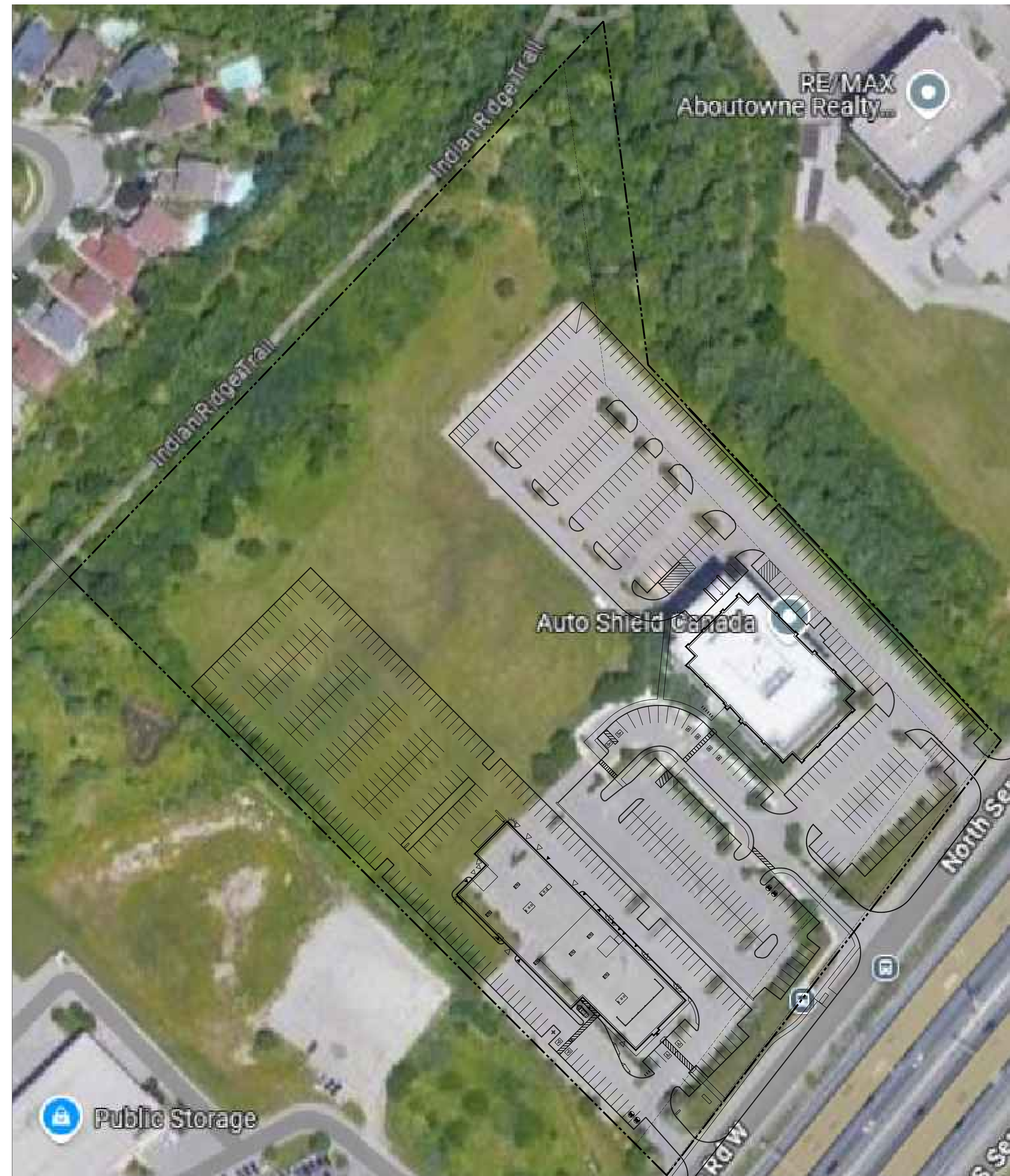
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A1.2

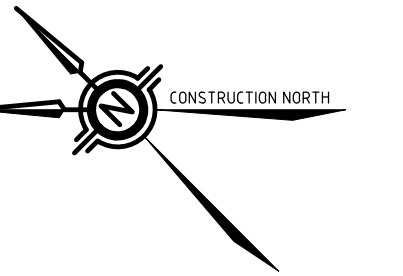
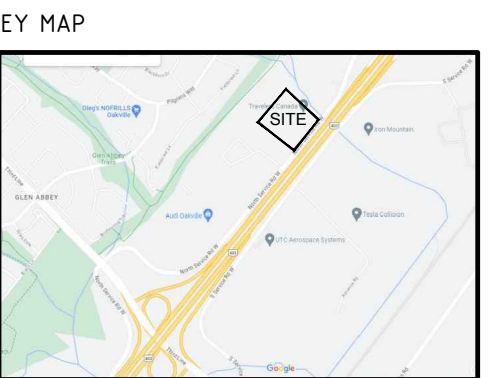


1
A1.4

AERIAL MAP EXISTING
SCALE N.T.S.



2 AERIAL MAP PROPOSED
A1.4 SCALE N.T.S.



2	REVISIONS PER SPA COMMENTS	JULY 02-25
1	ISSUED FOR SPA	DEC 20-24
Rev	Issue	Date



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**OAKVILLE
GENESIS**

1275 SOUTH SERVICE RD. W.
OAKVILLE, Ontario

Dwg. Title
AERIAL PHOTOGRAPHS
SITE PLAN

A1.5