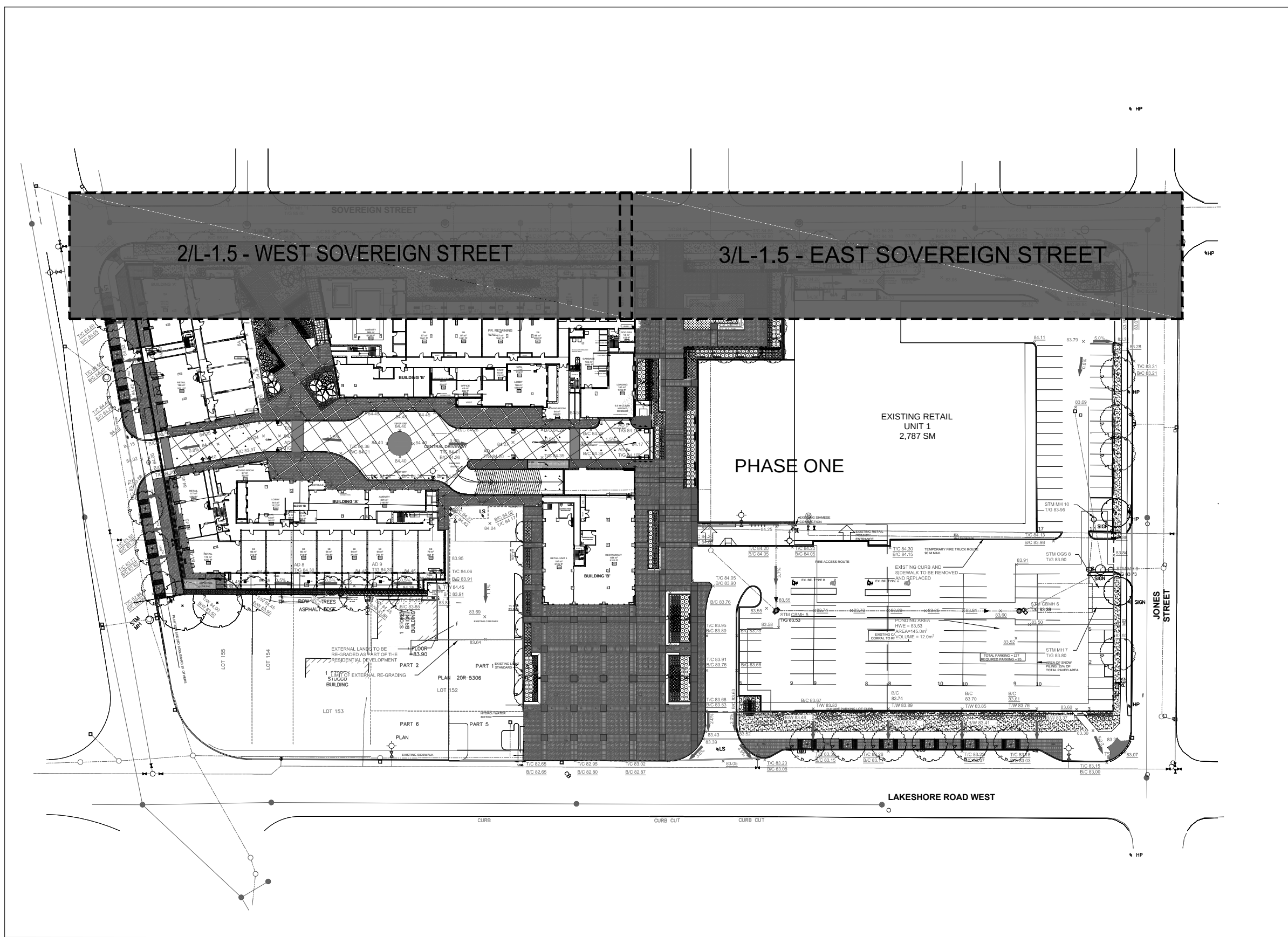
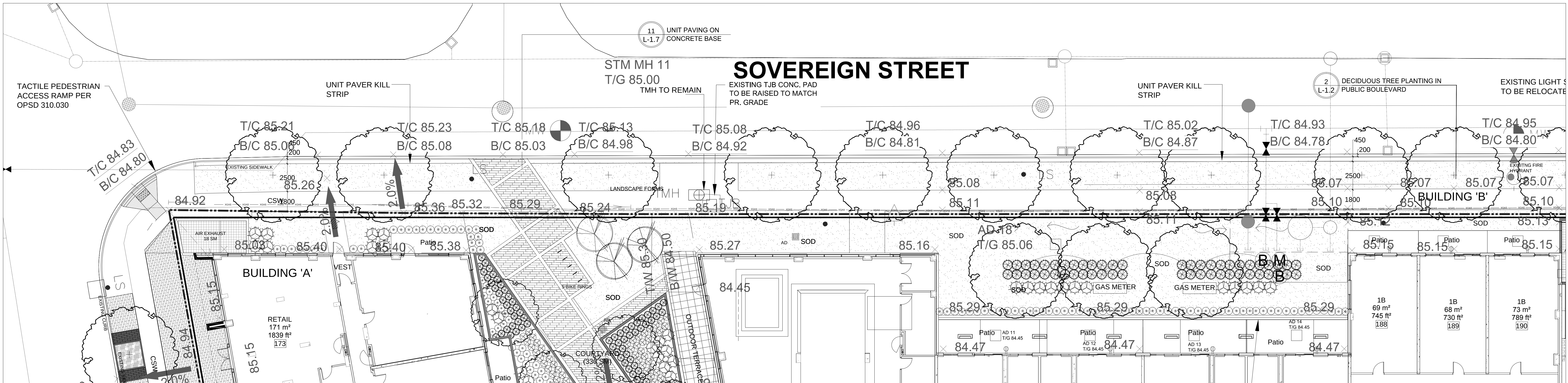
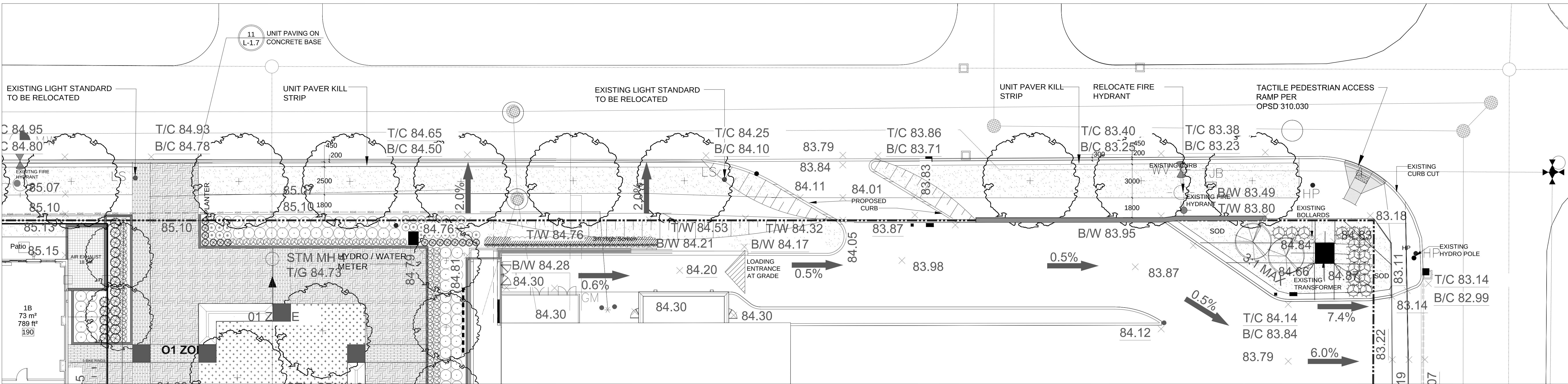




1 Key Map Plan
L-1.5 Scale 1:1000



2 WEST SOVEREIGN STREET STREETSCAPE PLAN
L-1.5 Scale 1:150



3 EAST SOVEREIGN STREET STREETSCAPE PLAN
L-1.5 Scale 1:150

LEGEND	
	EXISTING TREES
	PROPOSED DECIDUOUS TREE
	PROPOSED CONTINUOUS SHRUB PERENNIAL BED
	SOD
	SODDED AREA
	PLANT KEY
	DETAIL KEY

General Notes

- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the site plan and architectural drawings prepared by the Architect, and engineering drawings prepared by the Civil, Mechanical, and Electrical Engineers.
- The tree inventory includes assessment of all on site trees. The trees have been assessed based on species, size and condition.
- The contractor is to have required Municipality Tree Removal Permits in hand prior to the removal of any trees.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any removals.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only.
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of tree removals at no extra cost.
- This drawing is Copyright MHBC, 2018.

ALL TREES IN BOULEVARD MAINTAIN A MINIMUM SOIL VOLUME OF 30 CUBIC METERS PER TREE.

NOTE : FINAL TREE SPECIES AND SIZE CHOICE WILL BE MADE BY DE STAFF

NOTE : FOR ANY FUTURE STREET TREE PLANTING THE FULL EXCAVATION OF THE EXISTING SOILS WITH APPROVED SOIL WILL BE REQUIRED. PARTICULAR ATTENTION WILL NEED TO BE MADE TOWARDS ACCOMMODATING PROPER DRAINAGE FROM THE EXCAVATED TRENCHES. REFER TO ENGINEERING PLANS FOR DRAINAGE MEASURES.

NOTES :

SOILS MUST BE TESTED FOR COMPACTION AND SALT LEVELS, AND MUST BE REMEDIATED PRIOR TO THE PLANTING OF NEW TREES.

TREES TO BE PLANTED DURING THE IMPLEMENTATION OF THE ON-SITE WORKS ASSOCIATED WITH THE EAST PLAN.

INTERIM JONES STREETSCAPE SHALL BE REBUILT AS PER THE DRAWINGS DURING THE EAST PLAN REDEVELOPMENT. AT THE TIME OF THE WEST PLAN STREETSCAPE INSTALLATION, THE SODDED AREA BETWEEN THE SIDEWALK AND THE CURB SHALL BE REPLACED WITH UNIT PAVERS ON A CONCRETE BASE. TOWN STAFF SHALL INSPECT THE CONDITION OF THE EXISTING CONCRETE SIDEWALK AND PLANTINGS ALL WORKS ALONG JONES AND MAY REQUIRE REPLACEMENTS AND/OR UPGRADES AS NEEDED.

ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY, AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 FC) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES

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1	AUGUST 04, 2017	ISSUED FOR SPA	LK

Revision No.	Date	Issued / Revision	By
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**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

230-755 WESTON ROAD WOODBRIDGE ON L4L 6P7 | P: 905.741.5557 | F: 905.741.5557 | WWW.MHBCPLAN.COM

Stamp	Date	JULY 2017
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Drawn By	LK
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Plan Scale	as noted
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File No.	1770A
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Checked By	NM
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Other	
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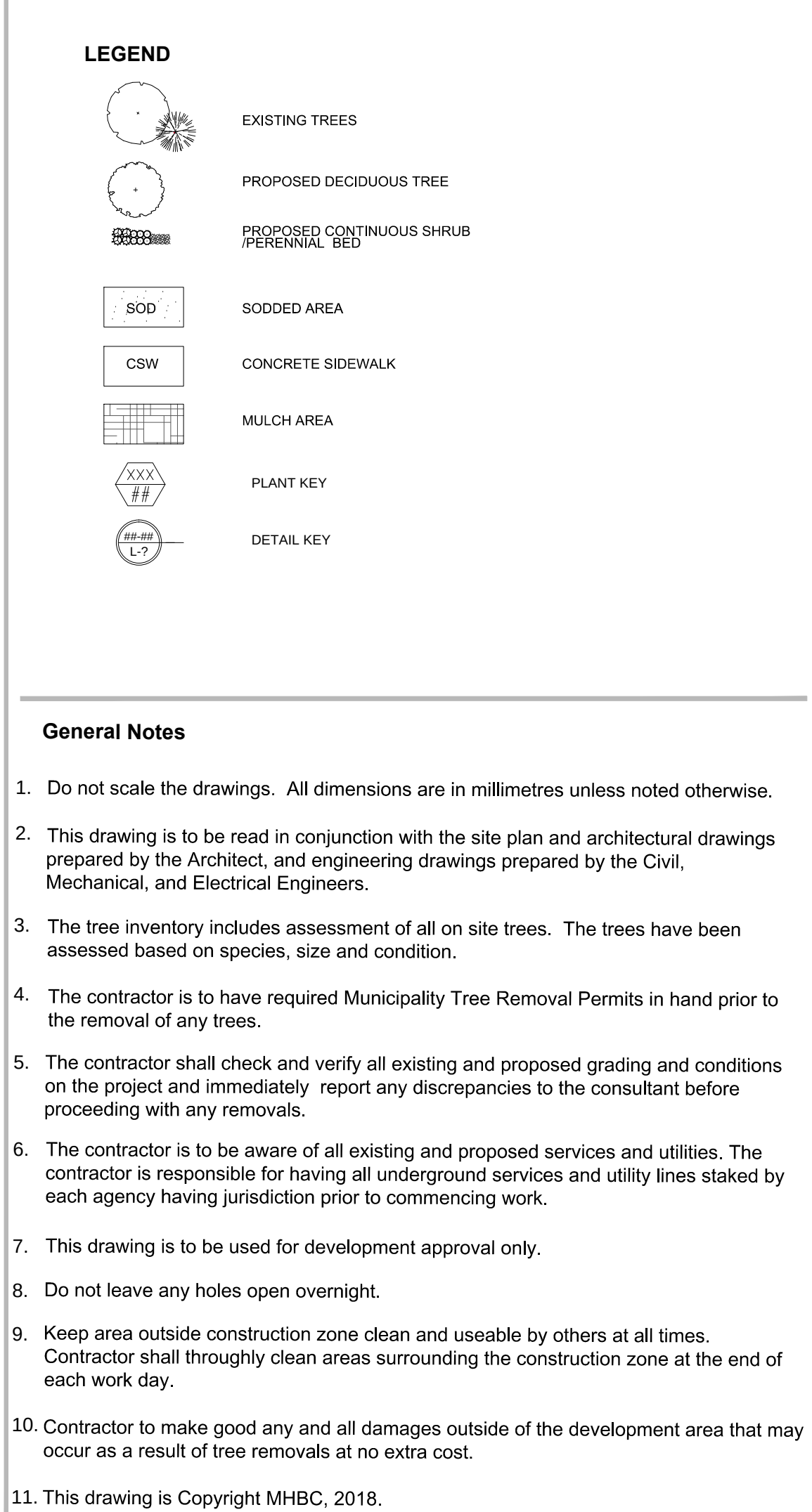
All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing and set to be used for construction purposes unless the drawings are marked "Issued for Construction" and the professional seal is signed and dated by the landscape architect.

Project

BRONTE DEVELOPMENT
2441 LAKESHORE ROAD WEST
OAKVILLE, ONTARIO

File Name	Dwg No.
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STREETSCAPE PLAN	L-1.5
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LAKESHORE ROAD WEST PLANT LIST

Key	Qty	Botanical Name	Common Name	Cal.	Ht./Sp.	Cond.
DECIDUOUS SHRUBS						
18	98	Ligustrum amurens	Amur Privet		80cm oc 1 gal pot	
ORNAMENTAL GRASSES						
pah	24	Pennisetum alopecuroides 'Hameln'	Desert Fountain Grass		60cm oc 1 gal pot	

PHASE ONE

EXISTING RETAIL BUILDING
UNIT 2
2,797 SM

EXISTING SIDEWALK
500

EXISTING HYDRO POLE TO BE RELOCATED
PLANTED / SCISSOR BOULEVARD BY OTHERS

PROPOSED RETAINING WALL
T/M 84.00
B/M 83.50

200mm WIDE FLUSH CURB

NEW CONCRETE TO MATCH ADJACENT EXISTING SIDEWALK

TREES IN CONTINUOUS SOIL TRENCH
MATCH INTO EXISTING CONCRETE SIDEWALK (REMOVE AND REPLACE EXISTING SIDEWALK TO THE NORTH)

EXISTING LIGHT STANDARD TO BE RELOCATED
EXISTING LIGHT STANDARD TO REMAIN

MINIMUM SOIL ACHIEVED PER TREE WITHIN CONTINUOUS TRENCH = 30 CUBIC METERS. REFER TO DETAIL.

RELOCATE EXISTING TJB (LOCATION TO BE DETERMINED)

EXISTING LIGHT STANDARD TO BE RELOCATED

DEPRESSED CURB WITH TACTILE STRIP
EXISTING LIGHT STANDARD TO REMAIN

6-10 PAVING LAYOUT AND CONTINUOUS L-1.7 SOIL TRENCH DETAILS

LINE OF UNDERGROUND PARKING

PROPERTY LINE
N2 89° 10' W
55.21M

NEW L.S.

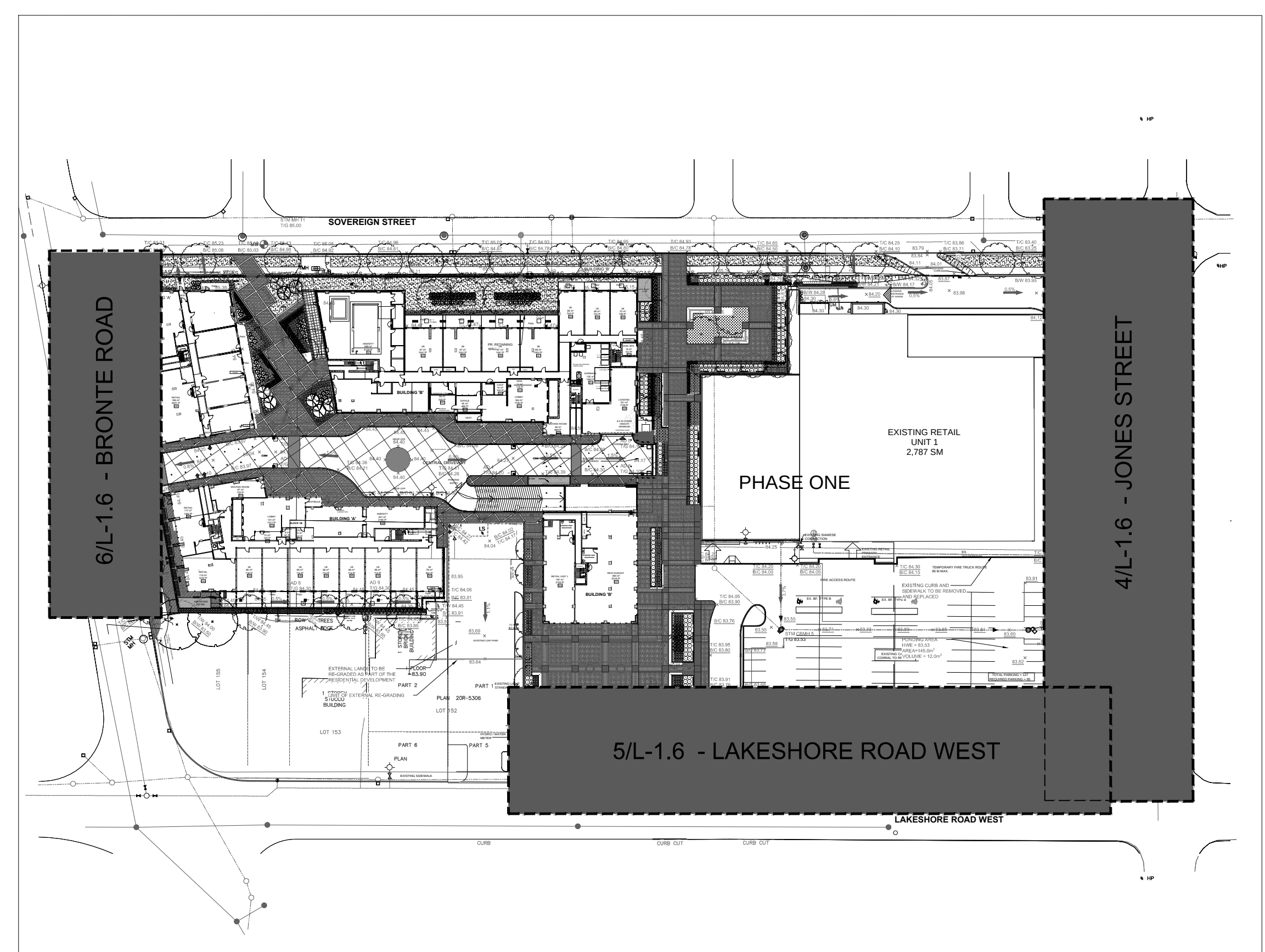
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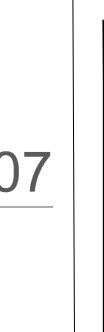
EXISTING SIDEWALK

EXISTING CURB

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Revision No.	Date	Issued / Revision	By

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ARCHITECTURE

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	Drawn By LK
	Plan Scale as noted
	File No. 1770A
	Checked By NM
	Other
Project BRONTE DEVELOPMENT 2441 LAKESHORE ROAD WEST OAKVILLE, ONTARIO	
File Name STREETSCAPE PLAN	Dwg No. L-1.6

