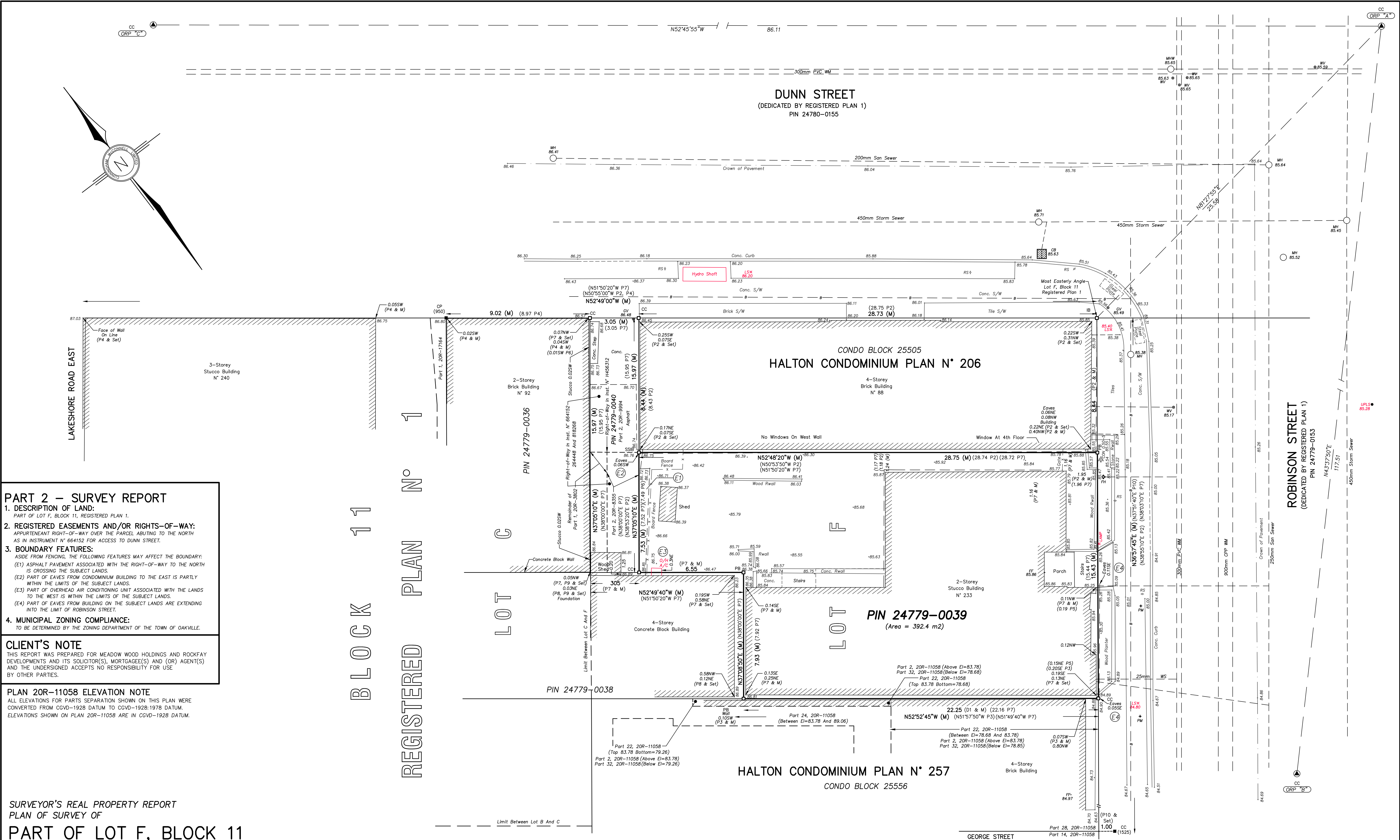




PART 2 – SURVEY REPORT

1. DESCRIPTION OF LAND:
PART OF LOT F, BLOCK 11, REGISTERED PLAN 1.
2. REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
APPURTENANT RIGHT-OF-WAY OVER THE PARCEL ABUTTING TO THE NORTH AS IN INSTRUMENT N° 664152 FOR ACCESS TO DUNN STREET.
3. BOUNDARY FEATURES:
ASIDE FROM FENCING, THE FOLLOWING FEATURES MAY AFFECT THE BOUNDARY:
(E1) ASPHALT PAVEMENT ASSOCIATED WITH THE RIGHT-OF-WAY TO THE NORTH IS CROSSING THE SUBJECT LANDS.
(E2) PART OF EAVES FROM CONDOMINIUM BUILDING TO THE EAST IS PARTLY WITHIN THE LIMITS OF THE SUBJECT LANDS.
(E3) PART OF OVERHEAD AIR CONDITIONING UNIT ASSOCIATED WITH THE LANDS TO THE WEST IS WITHIN THE LIMITS OF THE SUBJECT LANDS.
(E4) PART OF EAVES FROM BUILDING ON THE SUBJECT LANDS ARE EXTENDING INTO THE LIMIT OF ROBINSON STREET.
4. MUNICIPAL ZONING COMPLIANCE:
TO BE DETERMINED BY THE ZONING DEPARTMENT OF THE TOWN OF OAKVILLE.

CLIENT'S NOTE

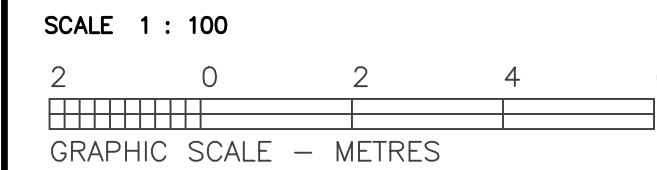
THIS REPORT WAS PREPARED FOR MEADOW WOOD HOLDINGS AND ROCKFAY DEVELOPMENTS AND ITS SOLLICITOR(S), MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

PLAN 20R-11058 ELEVATION NOTE

ALL ELEVATIONS FOR PARTS SEPARATION SHOWN ON THIS PLAN WERE CONVERTED FROM CGVD-1928 DATUM TO CGVD-1928:1978 DATUM. ELEVATIONS SHOWN ON PLAN 20R-11058 ARE IN CGVD-1928 DATUM.

SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY OF

PART OF LOT F, BLOCK 11
REGISTERED PLAN 1
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-29523

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

INTEGRATION DATA		
BEARINGS ARE UTM GRID, DERIVED FROM THE OBSERVED REFERENCE POINTS "A", "B" AND "C" BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS-2010.0)		
OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD-83 (CSRS-2010.0). CO-ORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10.		
POINT N°	NORTHING	EASTING
"A"	4,811,217.45	607,911.74
"B"	4,811,132.42	607,830.67
"C"	4,811,269.55	607,843.19
CO-ORDINATES CAN NOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		
ALL BEARINGS IN COMPARISONS ARE ASTRONOMIC/MAGNETIC.		

DISTANCE NOTE	
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED INTO GRID DISTANCES BY MULTIPLYING BY A SCALE FACTOR OF 0.9997355055.	
METRIC NOTE	
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.	
DIMENSION NOTE	
ALL BEARINGS AND DISTANCES SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.	
ELEVATION NOTE	
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK O-251 HAVING AN ELEVATION OF 118.729m (CGVD-1928:1978).	

LEGEND	
■	DENOTES SURVEY MONUMENT FOUND
■	DENOTES SURVEY MONUMENT SET
■	DENOTES STANDARD IRON BAR
■	DENOTES PLASTIC STANDARD IRON PIPE
■	DENOTES CONCRETE PIN
■	DENOTES CUT CROSS
■	DENOTES PROPERTY IDENTIFICATION NUMBER
■	DENOTES ENCROACHMENT REFERENCE
■	DENOTES NO IDENTIFICATION
■	DENOTES McCONNELL MAUGHAN LTD., O.L.S.
■	DENOTES CUNNINGHAM McCONNELL LIMITED
■	DENOTES R.A.V.S. O.L.S.
■	DENOTES MEASURED
■	DENOTES WITNESS
■	DENOTES INSTRUMENT N° 664152

P-1	DENOTES REGISTERED PLAN 1
P-2	DENOTES HCP-206
P-3	DENOTES HCP-257
P-4	DENOTES PLAN 20R-17164
P-5	DENOTES PLAN 20R-9994
P-6	DENOTES PLAN 20R-8335
P-7	DENOTES PLAN BY F.G. CUNNINGHAM
P-8	DENOTES PLAN BY SEWELL & SEWELL
P-9	DENOTES PLAN BY SEWELL & SEWELL
P-10	DENOTES PLAN 20R-11058

TOPOGRAPHIC LEGEND	
■	DENOTES ANCHOR WIRE(S)
■	DENOTES BELL BOX
■	DENOTES U/G BELL CABLE
■	DENOTES CONIFEROUS TREE 0.20 DIA
■	DENOTES DECIDUOUS TREE 0.20 DIA
■	DENOTES FIRE HYDRANT
■	DENOTES GAS VALVE
■	DENOTES U/G GAS MAIN
■	DENOTES U/G HYDRO CABLE
■	DENOTES LIGHT STANDARD (LAMP)
■	DENOTES MANHOLE
■	DENOTES OVER HEAD WIRE(S)
■	DENOTES SANITARY SEWER
■	DENOTES STORM SEWER
■	DENOTES UTILITY POLE
■	DENOTES UTILITY POLE/LIGHT STANDARD
■	DENOTES WATER VALVE (KEY)
■	DENOTES U/G WATER MAIN

UNDERGROUND SERVICES NOTE	
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.	
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.	
SURVEYOR'S CERTIFICATE	
I CERTIFY THAT:	
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.	
2. THE SURVEY WAS COMPLETED ON AUGUST 29, 2022.	
DATE: AUGUST 31, 2022	
JARD LEGAT M.Sc. ONTARIO LAND SURVEYOR	

CUNNINGHAM McCONNELL LIMITED
ONTARIO LAND SURVEYORS

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