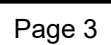


Lands subject to amendments to the Livable Oakville Plan



APPENDIX “B” to By-law 2025-###

**Official Plan Amendment Number ##
to the Town of Oakville’s Livable Oakville Plan**

Constitutional Statement

The details of the Amendment, as contained in Part 2 of this text, constitute Amendment Number ## to the Livable Oakville Plan.

Part 1 – Preamble

1. Purpose and Effect

The purpose of the proposed official plan amendment is to modify the text and schedules of the Livable Oakville Plan as part of the Parkway Belt West Designation Project to address the anticipated revocation of the Parkway Belt West Plan.

The effect of the proposed amendment includes changes to:

- Identify the Parkway Belt West Plan lands with a green dashed line to enable a secondary designation to be visible;
- Introduce the Region’s Natural Heritage System land use designation with associated policies to select areas within designated Parkway Belt West Plan lands;
- Introduce secondary designations to select areas within designated Parkway Belt West lands; and
- Introduce new policies to address the anticipated revocation of the Parkway Belt West Plan, secondary land use designations and areas for further study.

The proposed amendment will result in changes to the following parts of the Livable Oakville Plan:

- Section 1 (The Livable Oakville Plan);
- Section 16 (Natural Area);

- Section 19 (Parkway Belt West);
- Section 28 (Special Policy Areas);
- Schedule F – South West Land Use;
- Schedule G – South East Land Use;
- Schedule H – West Land Use;
- Schedule I – Central Land Use;
- Schedule J – East Land Use;
- Schedule K – 407 North Land Use;
- Schedule S1 – Bronte GO MTSA Land Use;
- Schedule S2 – Bronte GO MTSA Building Heights; and,
- Schedule S3 – Bronte GO MTSA Density.

2. Background and Basis

- Council adopted the Livable Oakville Plan on June 22, 2009. It was approved with modifications by Halton Region November 30, 2009, and was subsequently appealed. Following resolution of the majority of appeals, the Plan was approved at the Ontario Municipal Board with further modifications on May 10, 2011. It was deemed to conform to the 2006 Growth Plan and be consistent with the 2005 Provincial Policy Statement.
- On October 22, 2022, the Ministry of Municipal Affairs and Housing published a notice to the Environmental Registry of Ontario (ERO) seeking feedback on a proposal to revoke the Parkway Belt West Plan, 1978, under the *Ontario Planning and Development Act, 1994*. The notice was updated on September 27, 2024 to advise the public that there has been no change to the status of this proposal and it is still being considered.
- On November 28, 2022, Bill 23, the *More Homes Built Faster Act*, received Royal Assent. It made extensive changes to several acts and regulations. The *Planning Act* was amended to, among other changes, remove most planning functions from certain upper-tier municipalities, including Halton Region, with an implementation date to follow.

- On June 6, 2024, Bill 185, the *Cutting Red Tape to Build More Homes Act*, received Royal Assent. This omnibus bill identified July 1, 2024 as the effective date of upper-tier planning changes for Halton Region. The Halton Region Official Plan remains in effect as an official plan in each local municipality until it is revoked or amended by the respective municipality.
- The Livable Oakville Official Plan designates Parkway Belt West lands as “Parkway Belt West” with minimal secondary land use designations. The Livable Oakville Plan Section 19- Parkway Belt West policies defer to the provincial Parkway Belt West Plan policies. If the Parkway Belt West Plan is revoked by the Province, areas of the Town would be left without clear land use or policy direction.
- The Parkway Belt West Plan Designation Project addresses this gap through the review of lands within the provincial Parkway Belt West Plan area, currently designated as Parkway Belt West in the Livable Oakville Plan, and provides recommendations for secondary local designations and new associated policies.

Part 2 – The Amendment

A. Text Changes

The amendment includes the changes to the text of the Livable Oakville Plan listed in the following table. Text that is **bolded and underlined** is new text to be inserted into the Livable Oakville Plan. Text that is crossed out (“~~strikethrough~~”) is to be deleted from the Plan.

Item No.	Section	Description of Change								
1	1.2.7 THE LIVABLE OAKVILLE PLAN Plan Organization	Revise the policy as follows: Part D, Land Use Designations and Policies, establishes the land use designations used in the Plan, as described below. Table 1: Land Use Designations <table><tr><th>Category</th><th>Designation</th></tr><tr><td rowspan="3">Residential</td><td>Low Density Residential</td></tr><tr><td>Medium Density Residential</td></tr><tr><td>High Density Residential</td></tr><tr><td>Mixed Use</td><td>Main Street 1</td></tr></table>	Category	Designation	Residential	Low Density Residential	Medium Density Residential	High Density Residential	Mixed Use	Main Street 1
Category	Designation									
Residential	Low Density Residential									
	Medium Density Residential									
	High Density Residential									
Mixed Use	Main Street 1									

Item No.	Section	Description of Change	
			Main Street 2
			Urban Centre
			Urban Core
		Commercial	Central Business District
			Core Commercial
			Community Commercial
			Neighbourhood Commercial
		Employment	Office Employment
			Business Employment
			Industrial
			Business Commercial
		Institutional	Institutional
		Natural Area	Natural Area
			<u>Regional Natural Heritage System</u>
		Open Space	Parks and Open Space
			Waterfront Open Space
Private Open Space			
Utility	Utility		
Parkway Belt West	Parkway Belt West		
2	*NEW* – 16.2 NATURAL AREA Regional Natural Heritage System	Introduce a new policy as follows: <u>16.2 Regional Natural Heritage System</u> <u>The Natural Heritage System policies of the Halton Region Official Plan apply to the lands designated Regional Natural Heritage System on the accompanying schedules.</u>	
3	*NEW* – 19.1.4 PARKWAY BELT WEST General	Introduce a new policy as follows: <u>19.1.4 Where lands are subject to a secondary designation on the accompanying schedules, the policies within the Parkway Belt West Plan, 1978, shall prevail.</u>	
4	*NEW* – 19.1.5 PARKWAY BELT WEST General	Introduce a new policy as follows: <u>19.1.5 In the event that the Province revokes the Parkway Belt West Plan and where lands are</u>	

Item No.	Section	Description of Change
		<u>subject to a secondary designation on the accompanying schedules, the policies of this plan associated with the secondary designation shall apply.</u>
5	*NEW* – 19.1.6 PARKWAY BELT WEST General	Introduce a new policy as follows: <u>19.1.6 In the event that the Province revokes the Parkway Belt West Plan, any change to lands designated Parkway Belt West in the Livable Oakville Plan shall require an Official Plan Amendment and Zoning By-law Amendment. Such proposals must demonstrate the following to the satisfaction of the Town:</u> a) <u>Protection and enhancement of natural heritage features and hydrological functions;</u> b) <u>Preservation of lands that support ecological and physical connectivity between the Town's natural areas, parks and open spaces, waterfront open space, and the Region's Natural Heritage System;</u> c) <u>Evidence of demonstrated need and market demand for the proposed land uses;</u> d) <u>Consideration of surrounding land uses and existing development context; and</u> e) <u>Compatibility with adjacent uses and minimization of potential land use conflicts.</u> <u>If no amendment is brought forward by a proponent, the Town will determine the appropriate land use designation and applicable zoning through an Official Plan Amendment and/or Zoning By-law Amendment.</u>
6	28.8.1 SPECIAL POLICY AREAS Other Areas for Further Study	Add new policy as follows: <u>d) lands north of Highway 407, outside of the Regional Natural Heritage System and Greenbelt area.</u>
7	Miscellaneous	Adjust the policy numbering and policy references throughout the Livable Oakville Plan in accordance with the modifications above.
8	Miscellaneous	Italicize all defined terms within any new text added to the Livable Oakville Plan through the modifications above.

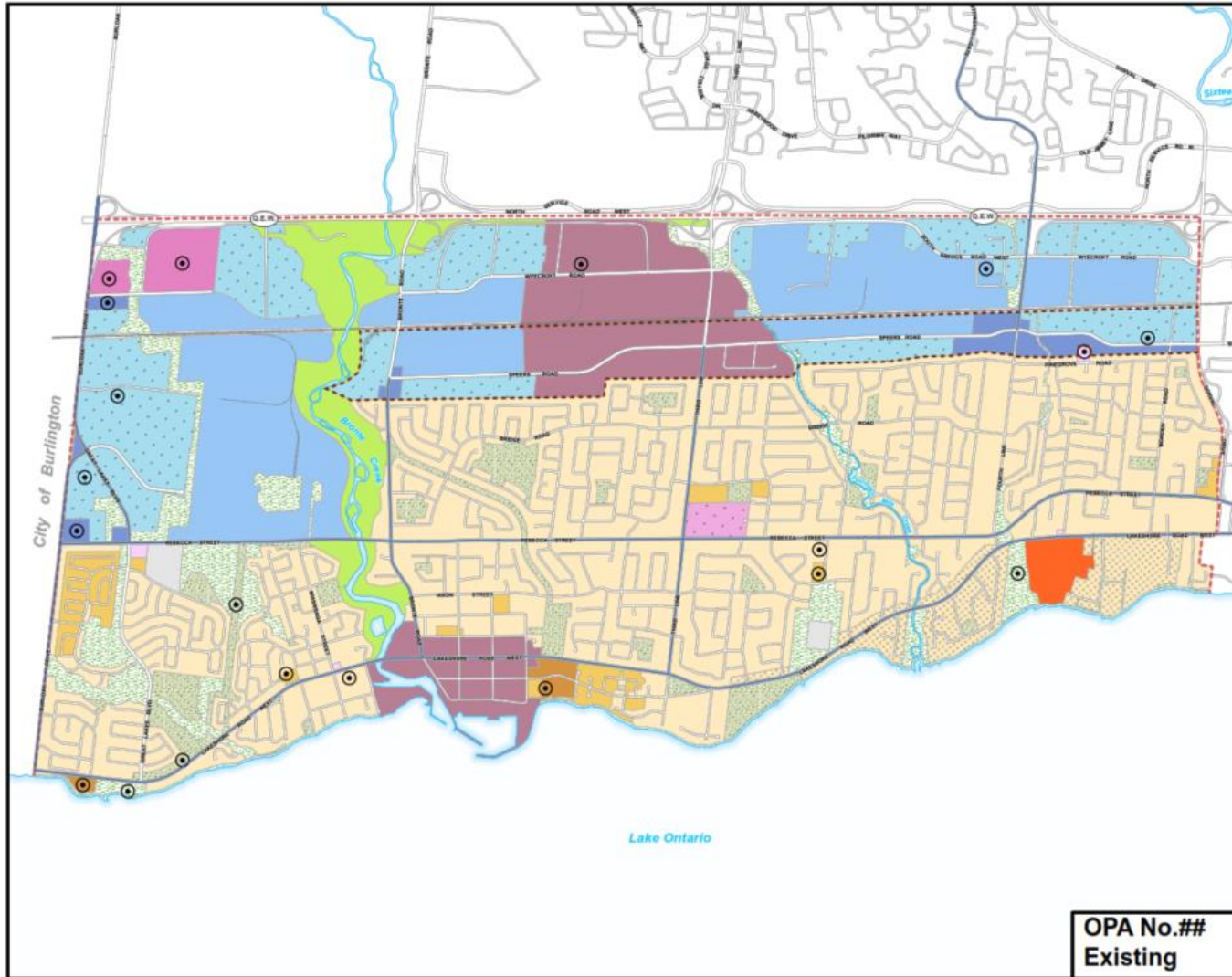
Schedule Changes

The amendment includes the changes and additions to the schedules to the Livable Oakville Plan listed in the following table, and shown in Attachment 1.

Item No.	Schedule	Description of Change
1.	Schedule F South West Land Use	Amend Schedule F to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designations to select areas, as shown in Attachment 1.
2.	Schedule G South East Land Use	Amend Schedule G to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designations to select areas, as shown in Attachment 1.
3.	Schedule H West Land Use	Amend Schedule H to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designations to select areas, as shown in Attachment 1.
4.	Schedule I Central Land Use	Amend Schedule I to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designations to select areas, as shown in Attachment 1.
5.	Schedule J East Land Use	Amend Schedule J to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designations to select areas, as shown in Attachment 1.
6.	Schedule K 407 North Land Use	Amend Schedule K to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designations to select areas, as shown in Attachment 1.
7.	Schedule S1 Bronte GO MTSA Land Use	Amend Schedule S1 to revise the representation of Parkway Belt to a green dashed line and introduce new secondary land use designation to the Parkway Belt area as shown in Attachment 1.
8.	Schedule S2 Bronte GO MTSA Building Heights	Amend Schedule S2 to revise the representation of Parkway Belt to a green dashed line and to introduce the building heights for the Parkway Belt area as shown in Attachment 1.
9.	Schedule S3 Bronte GO MTSA Density	Amend Schedule S3 to revise the representation of Parkway Belt to a green dashed line and to introduce the Density area in the Parkway Belt West Area lands as shown in Attachment 1.

ATTACHMENT 1 to OPA ##

**Schedule Changes
to the Livable Oakville Plan**



OPA No.##
Existing

SCHEDULE F SOUTH WEST LAND USE



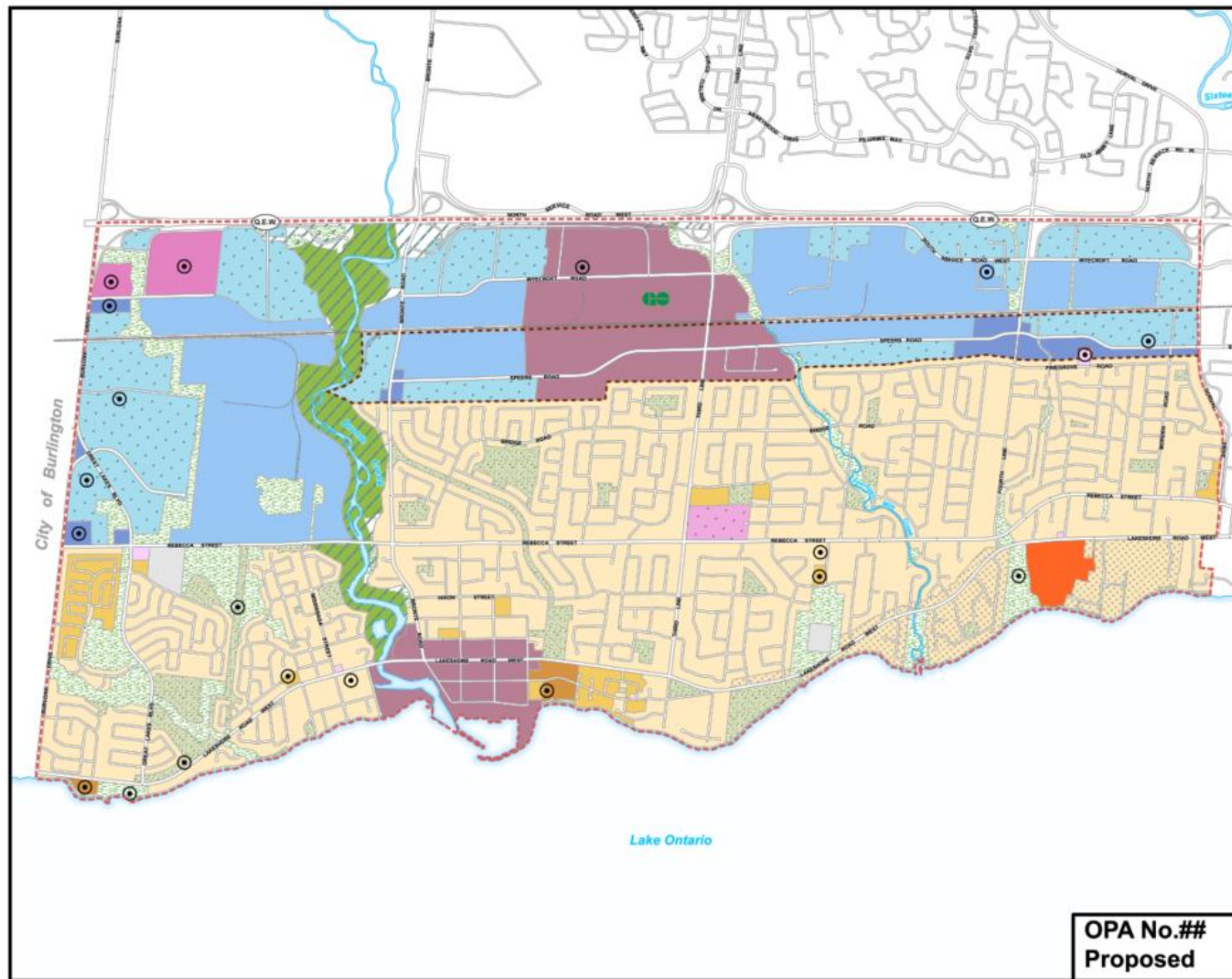
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- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- COMMUNITY COMMERCIAL
- CORE COMMERCIAL
- BUSINESS EMPLOYMENT
- INDUSTRIAL
- BUSINESS COMMERCIAL
- INSTITUTIONAL
- NATURAL AREA
- PARKWAY BELT
- PARKS AND OPEN SPACE
- WATERFRONT OPEN SPACE
- UTILITY
- GROWTH AREA*
- SPECIAL POLICY AREA
- SPECIAL POLICY AREA - SPEERS ROAD CORRIDOR
- RAILWAY
- + MAJOR TRANSIT STATION

* Refer to Part E, Growth Area Policies
 ⊙ Refer to Part E, Exceptions



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January 15, 2025

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OPA No.##
Proposed

SCHEDULE F SOUTH WEST LAND USE



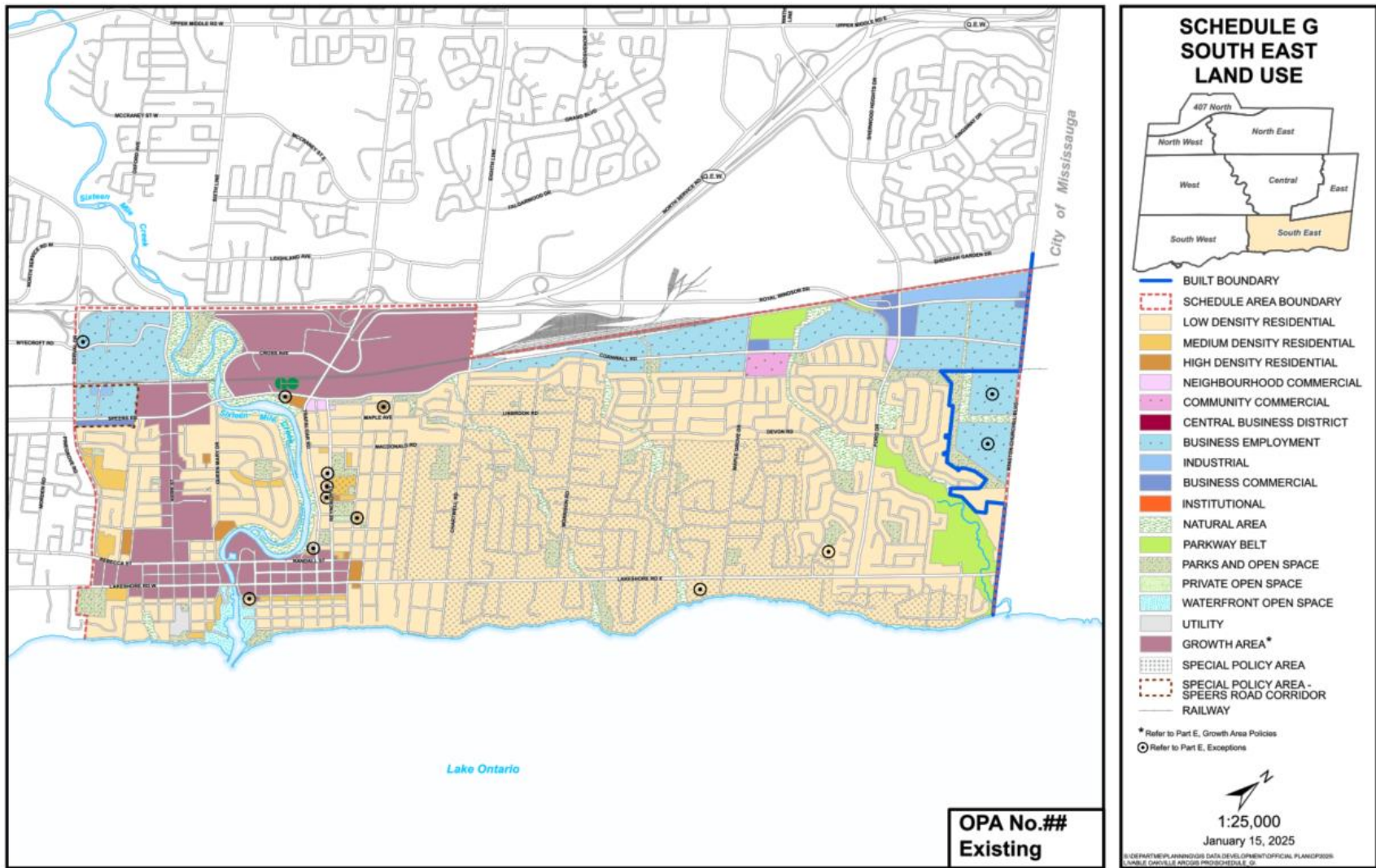
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- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- COMMUNITY COMMERCIAL
- CORE COMMERCIAL
- BUSINESS EMPLOYMENT
- INDUSTRIAL
- BUSINESS COMMERCIAL
- INSTITUTIONAL
- NATURAL AREA
- PARKWAY BELT WEST
- PARKS AND OPEN SPACE
- REGIONAL NATURAL HERITAGE SYSTEM
- WATERFRONT OPEN SPACE
- UTILITY
- GROWTH AREA*
- SPECIAL POLICY AREA
- SPECIAL POLICY AREA - SPEERS ROAD CORRIDOR
- RAILWAY
- M MAJOR TRANSIT STATION

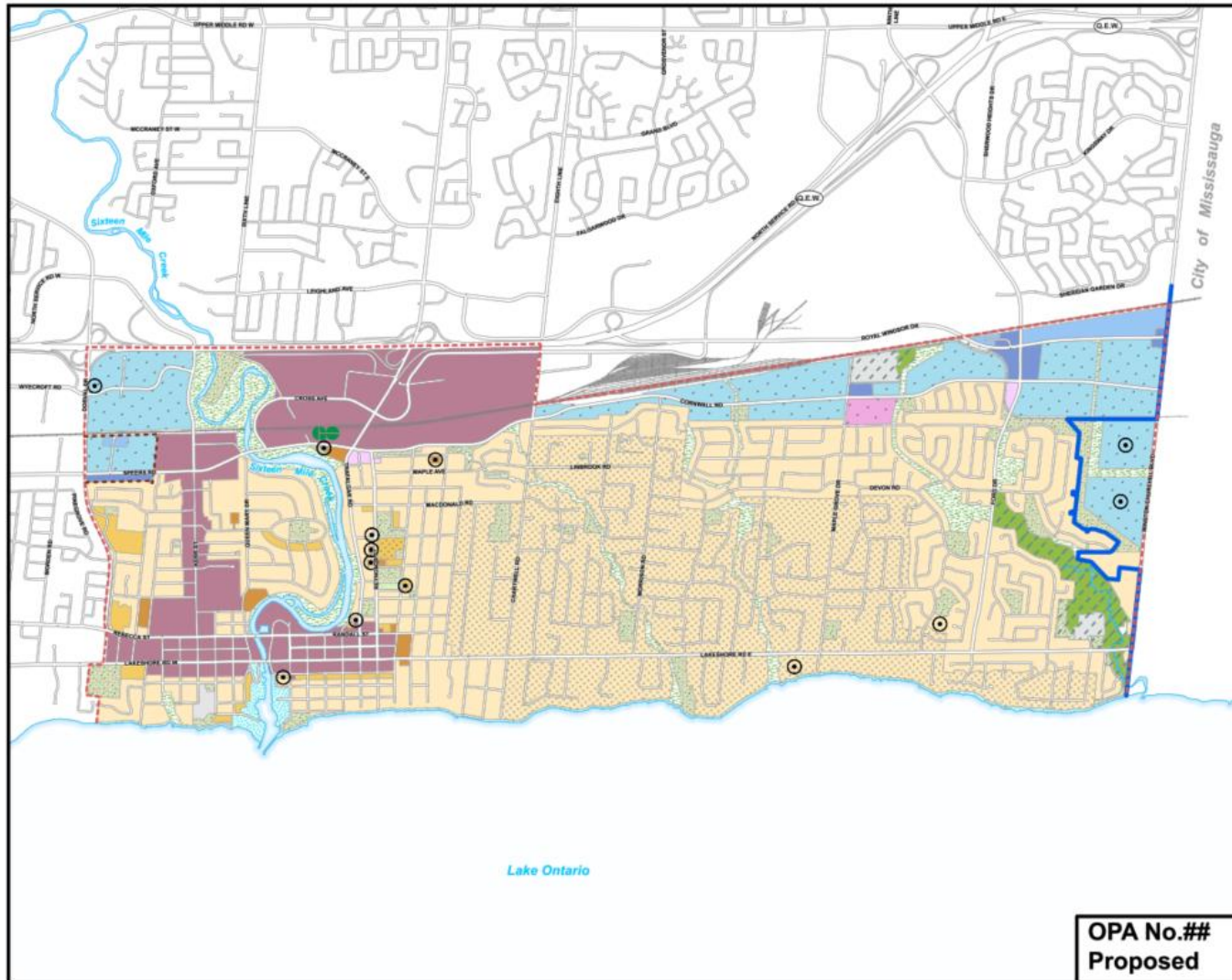
* Refer to Part E, Growth Area Policies
 O Refer to Part E, Exceptions



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January 15, 2025

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SCHEDULE G SOUTH EAST LAND USE



- BUILT BOUNDARY
- - - SCHEDULE AREA BOUNDARY
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- COMMUNITY COMMERCIAL
- CENTRAL BUSINESS DISTRICT
- BUSINESS EMPLOYMENT
- INDUSTRIAL
- BUSINESS COMMERCIAL
- INSTITUTIONAL
- NATURAL AREA
- PARKWAY BELT WEST
- PARKS AND OPEN SPACE
- PRIVATE OPEN SPACE
- REGIONAL NATURAL HERITAGE SYSTEM
- WATERFRONT OPEN SPACE
- UTILITY
- GROWTH AREA*
- SPECIAL POLICY AREA
- - - SPECIAL POLICY AREA - SPEERS ROAD CORRIDOR
- RAILWAY

* Refer to Part E, Growth Area Policies

○ Refer to Part E, Exceptions

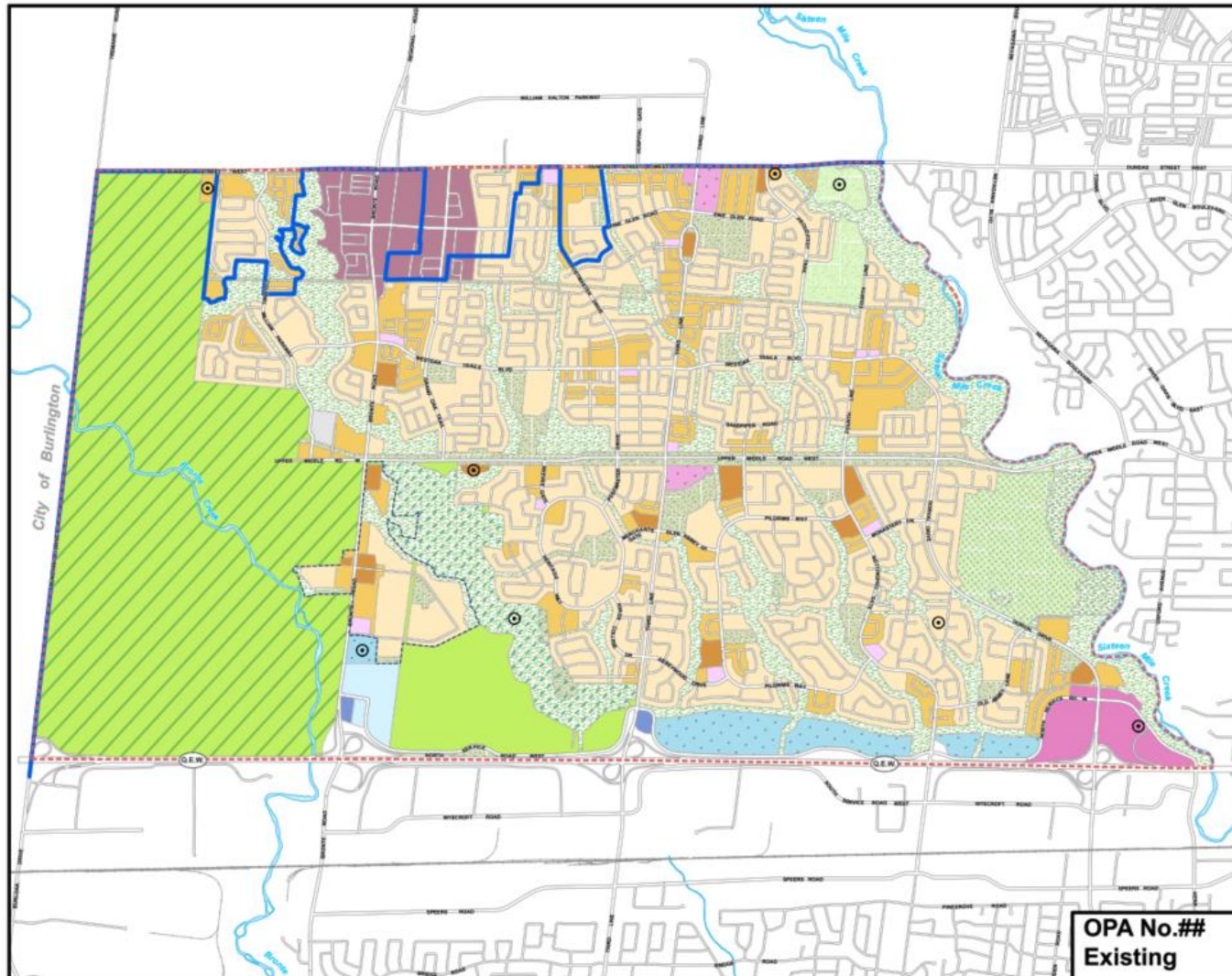


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January 15, 2025

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Proposed**

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SCHEDULE H WEST LAND USE



- BUILT BOUNDARY
- - - SCHEDULE AREA BOUNDARY
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- COMMUNITY COMMERCIAL
- CORE COMMERCIAL
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- BUSINESS COMMERCIAL
- NATURAL AREA
- PARKWAY BELT
- PARKWAY BELT - OVERLAY
- PARKS AND OPEN SPACE
- PRIVATE OPEN SPACE
- UTILITY
- GROWTH AREA*
- GREENBELT**
- SPECIAL POLICY AREA
- RAILWAY

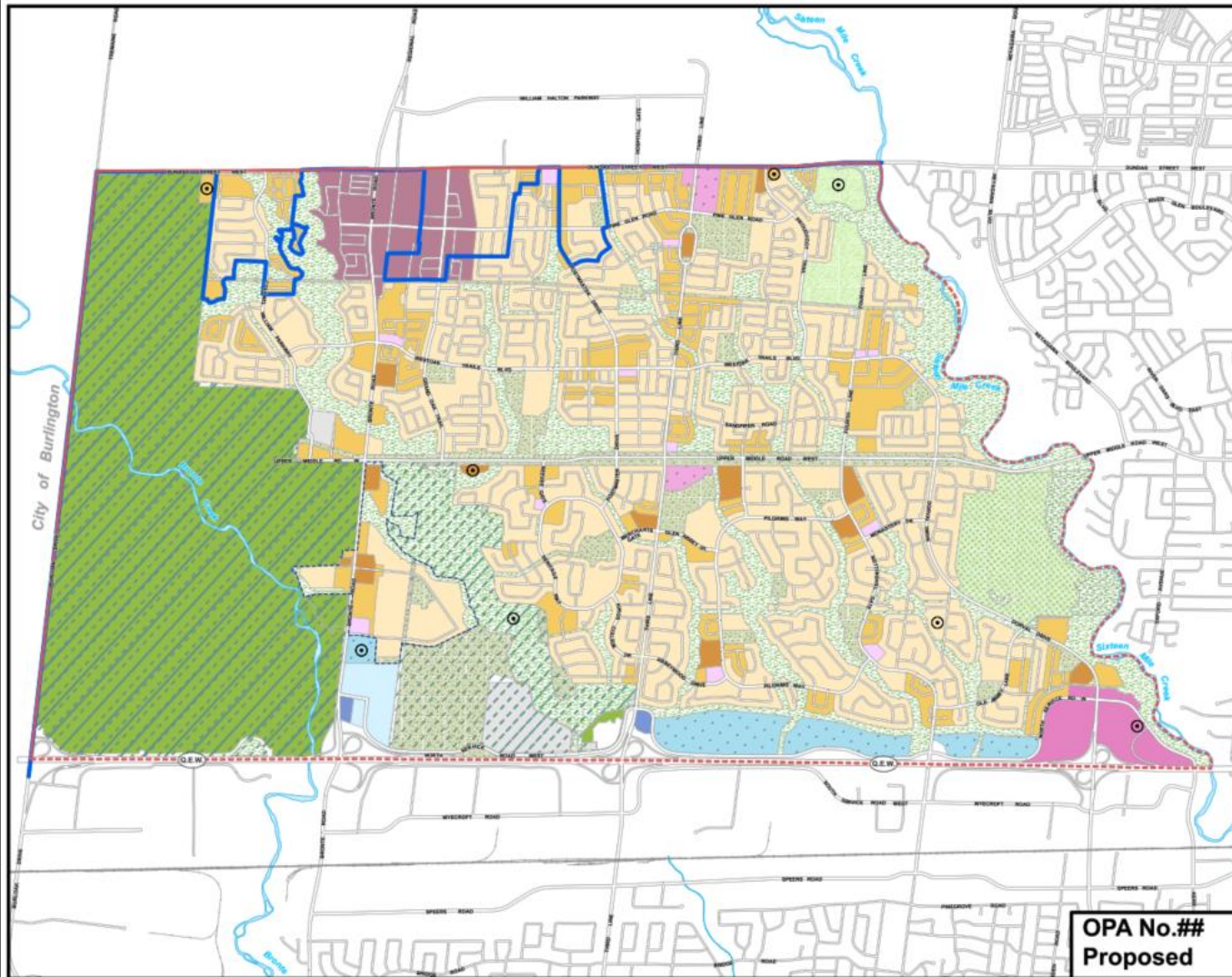
* Refer to Part E, Growth Area Policies
 ** Refer to Part E, Special Policy Areas

⊙ Refer to Part E, Exceptions



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SCHEDULE H WEST LAND USE



- BUILT BOUNDARY
- - - SCHEDULE AREA BOUNDARY
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- COMMUNITY COMMERCIAL
- CORE COMMERCIAL
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- BUSINESS COMMERCIAL
- NATURAL AREA
- PARKWAY BELT WEST
- REGIONAL NATURAL HERITAGE SYSTEM
- PARKS AND OPEN SPACE
- PRIVATE OPEN SPACE
- UTILITY
- GROWTH AREA*
- GREENBELT**
- SPECIAL POLICY AREA
- RAILWAY

* Refer to Part E, Growth Area Policies

** Refer to Part E, Special Policy Areas

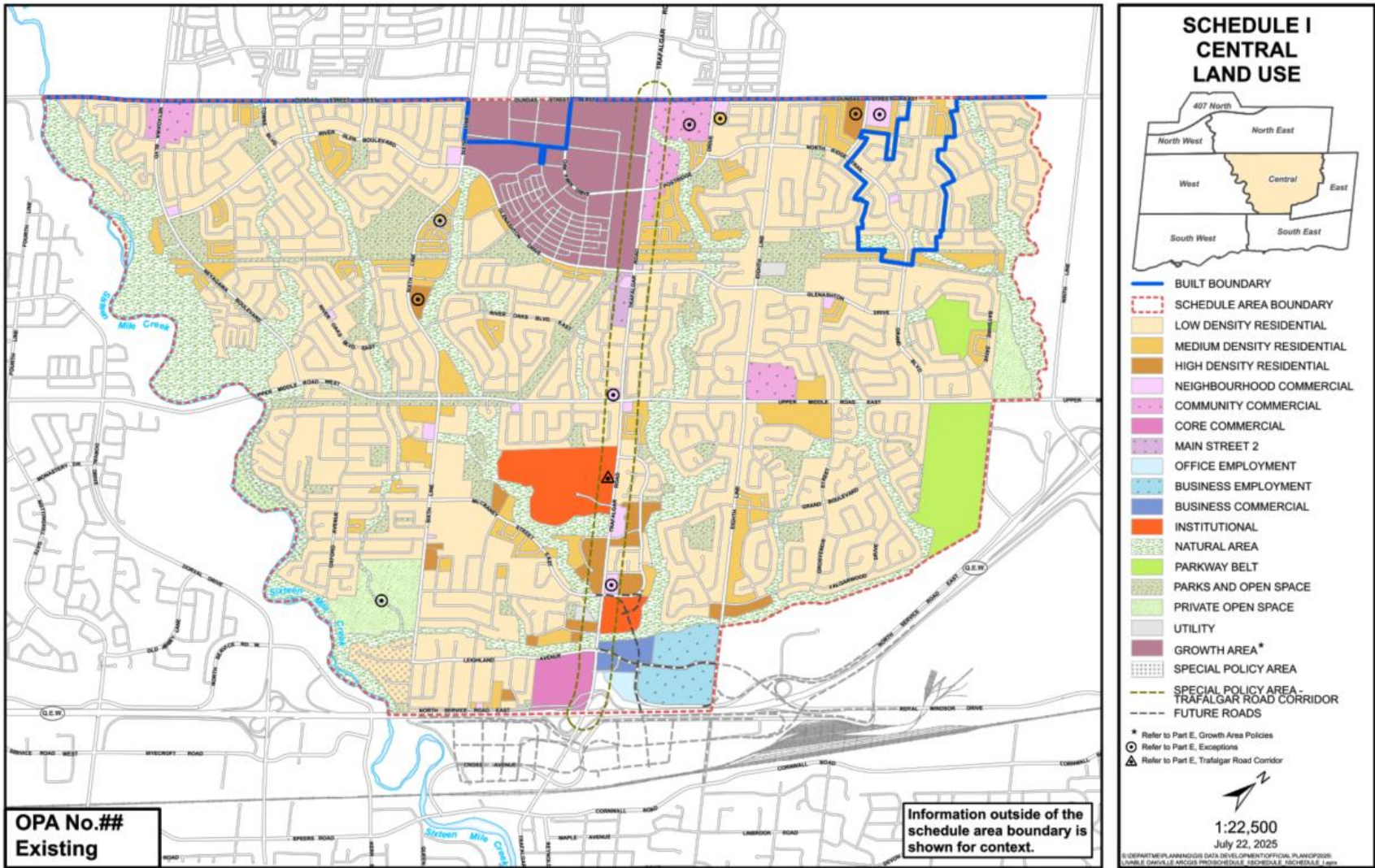
○ Refer to Part E, Exceptions

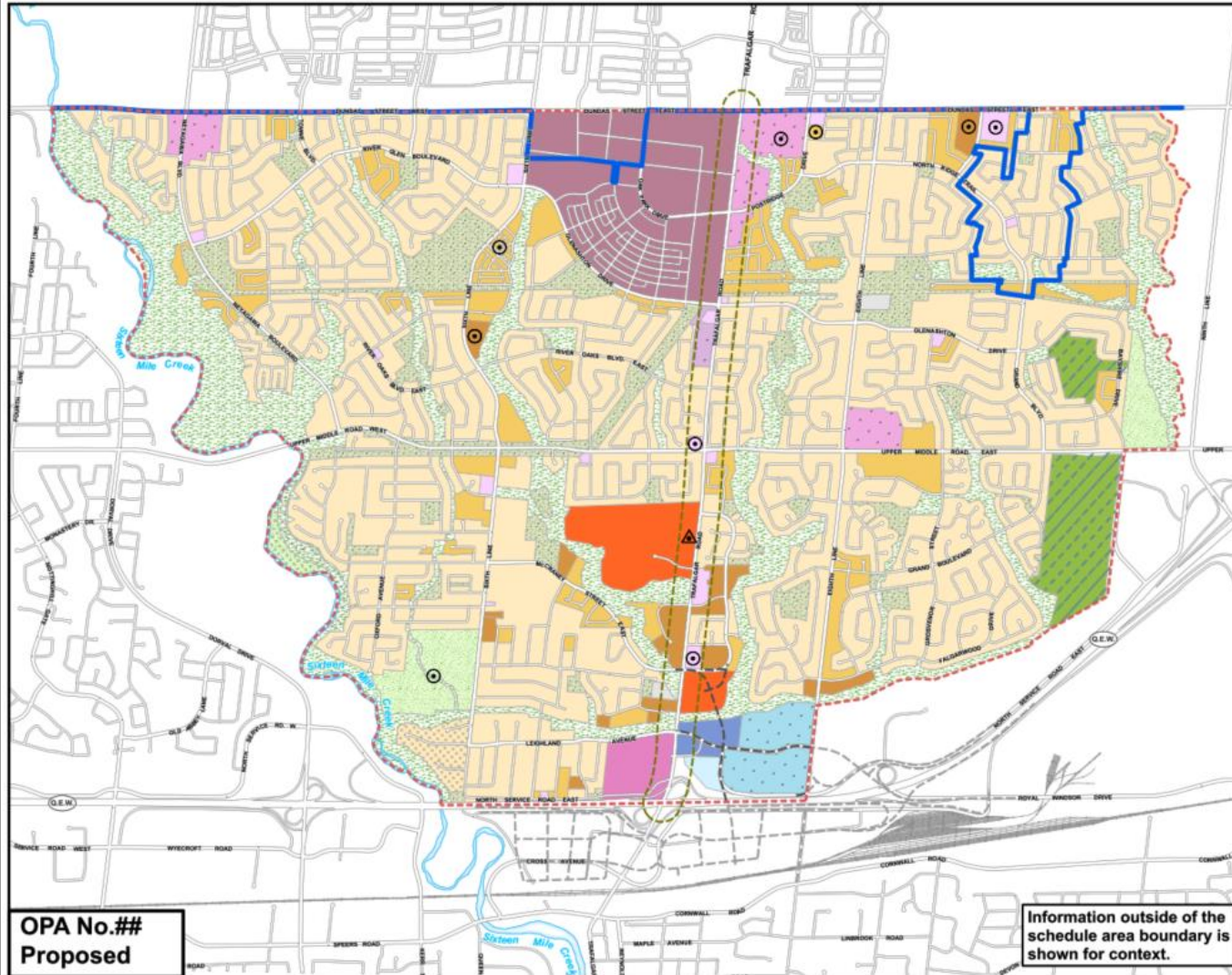


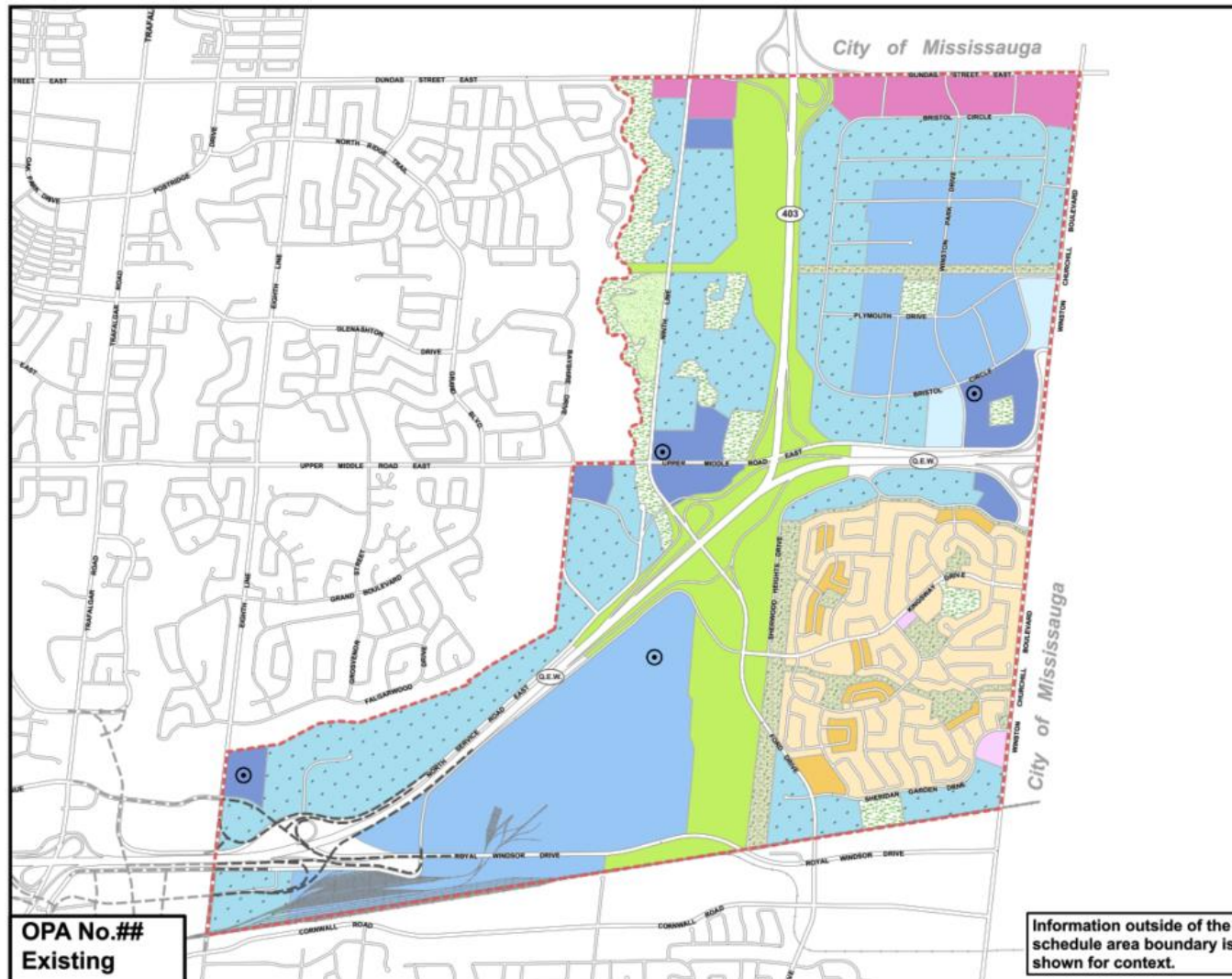
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OPA No.##
Existing

Information outside of the
schedule area boundary is
shown for context.

SCHEDULE J EAST LAND USE



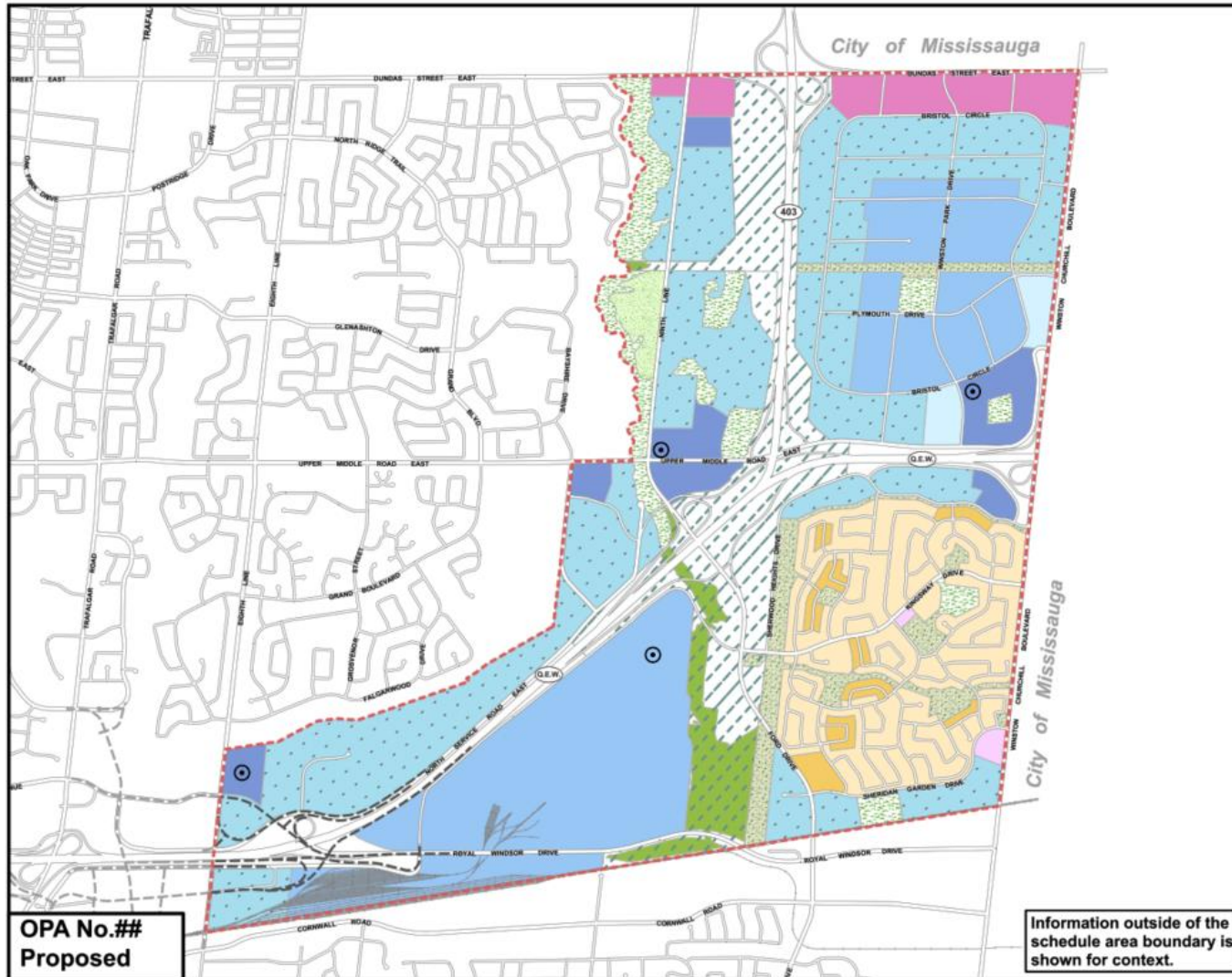
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- MEDIUM DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- CORE COMMERCIAL
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- INDUSTRIAL
- BUSINESS COMMERCIAL
- NATURAL AREA
- PARKWAY BELT
- PARKS AND OPEN SPACE
- PRIVATE OPEN SPACE
- FUTURE ROADS
- RAILWAY

● Refer to Part E, Exceptions



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August 31, 2021

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SCHEDULE J EAST LAND USE



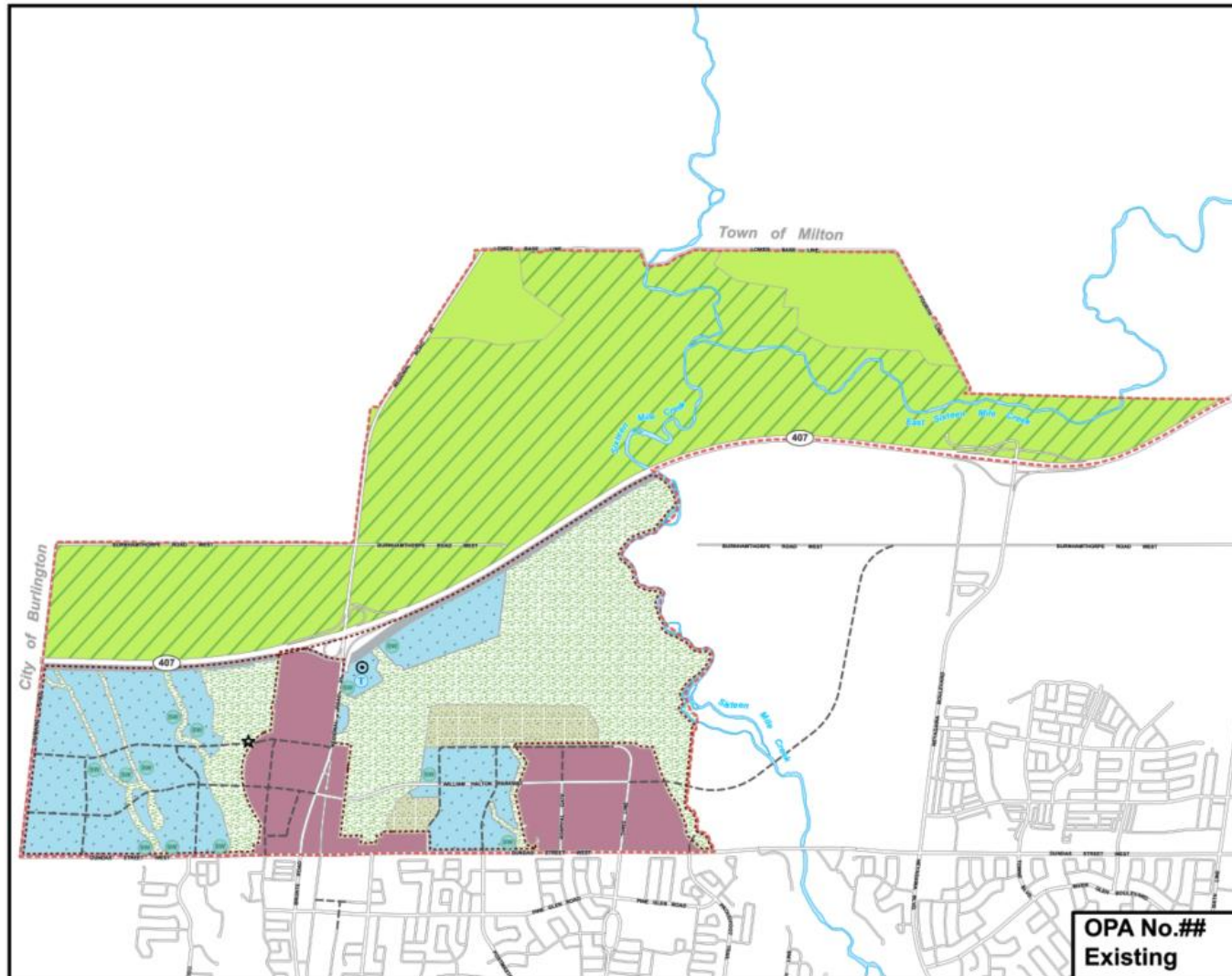
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- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- NEIGHBOURHOOD COMMERCIAL
- CORE COMMERCIAL
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- INDUSTRIAL
- BUSINESS COMMERCIAL
- NATURAL AREA
- PARKWAY BELT WEST
- PARKS AND OPEN SPACE
- PRIVATE OPEN SPACE
- REGIONAL NATURAL HERITAGE SYSTEM
- FUTURE ROADS
- RAILWAY

⊙ Refer to Part E, Exceptions



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SCHEDULE K 407 NORTH LAND USE



- SCHEDULE AREA BOUNDARY
- BUSINESS EMPLOYMENT
- NATURAL HERITAGE SYSTEM
- PARKWAY BELT
- PARKS AND OPEN SPACE
- TRANSITWAY
- GREENBELT*
- GROWTH AREA**
- STORMWATER MANAGEMENT FACILITY
- TRANSIT TERMINAL
- PRIVATE ACCESS ROAD
- PROPOSED ROADS

* Refer to Part E, Special Policy Areas, Greenbelt Plan Areas

** Refer to Part E, Growth Area Policies

 Refer to Part E, Special Policy Areas, North West Area

 Refer to Part E, Exceptions

★ Refer to Policy 22.4.1(g)

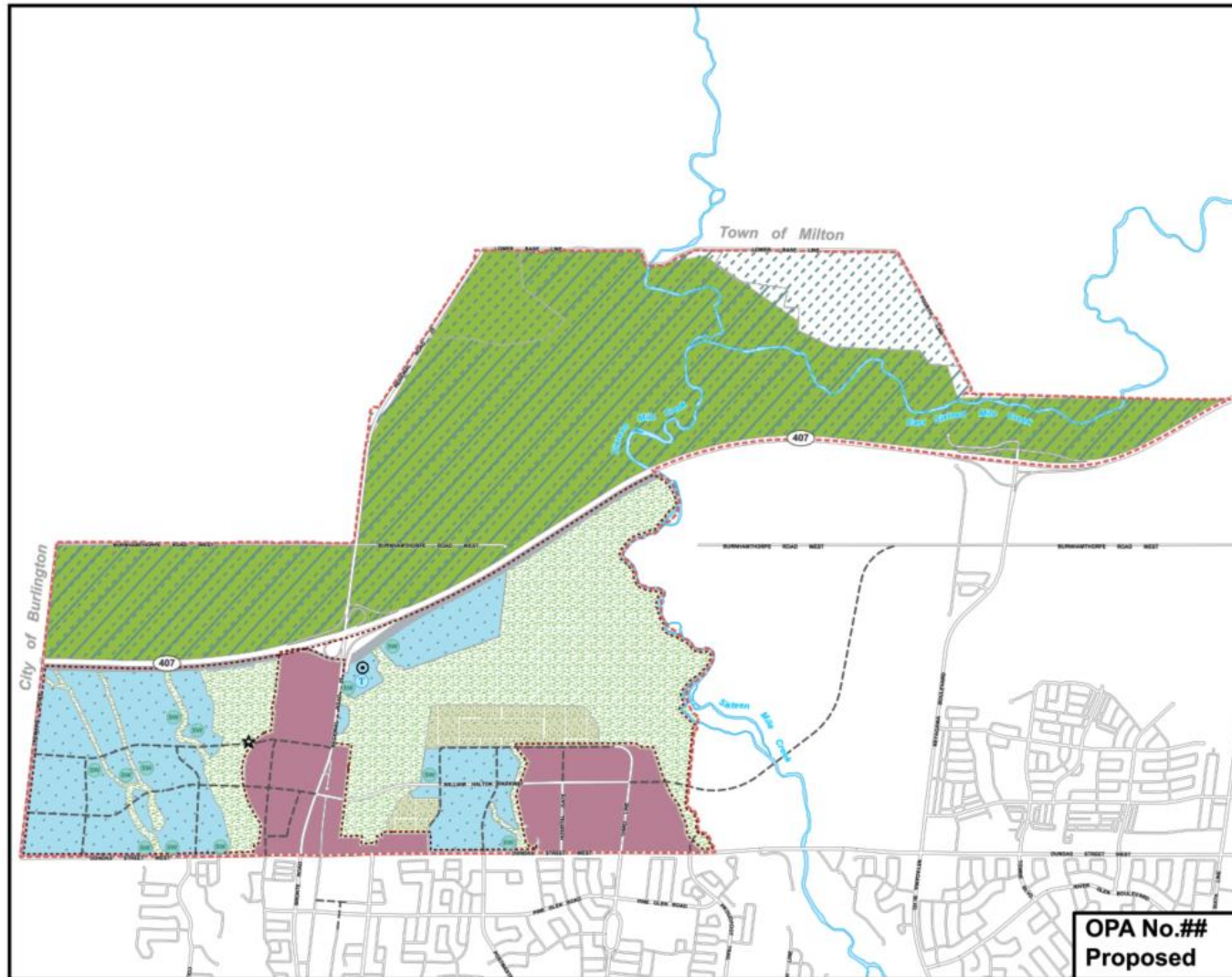


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July 16, 2025

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OPA No.##
Existing



OPA No.##
Proposed

SCHEDULE K 407 NORTH LAND USE



- SCHEDULE AREA BOUNDARY
- BUSINESS EMPLOYMENT
- NATURAL AREA
- PARKWAY BELT WEST
- PARKS AND OPEN SPACE
- TRANSITWAY
- GREENBELT*
- GROWTH AREA**
- REGIONAL NATURAL HERITAGE SYSTEM
- STORMWATER MANAGEMENT FACILITY
- TRANSIT TERMINAL
- PRIVATE ACCESS ROAD
- PROPOSED ROADS

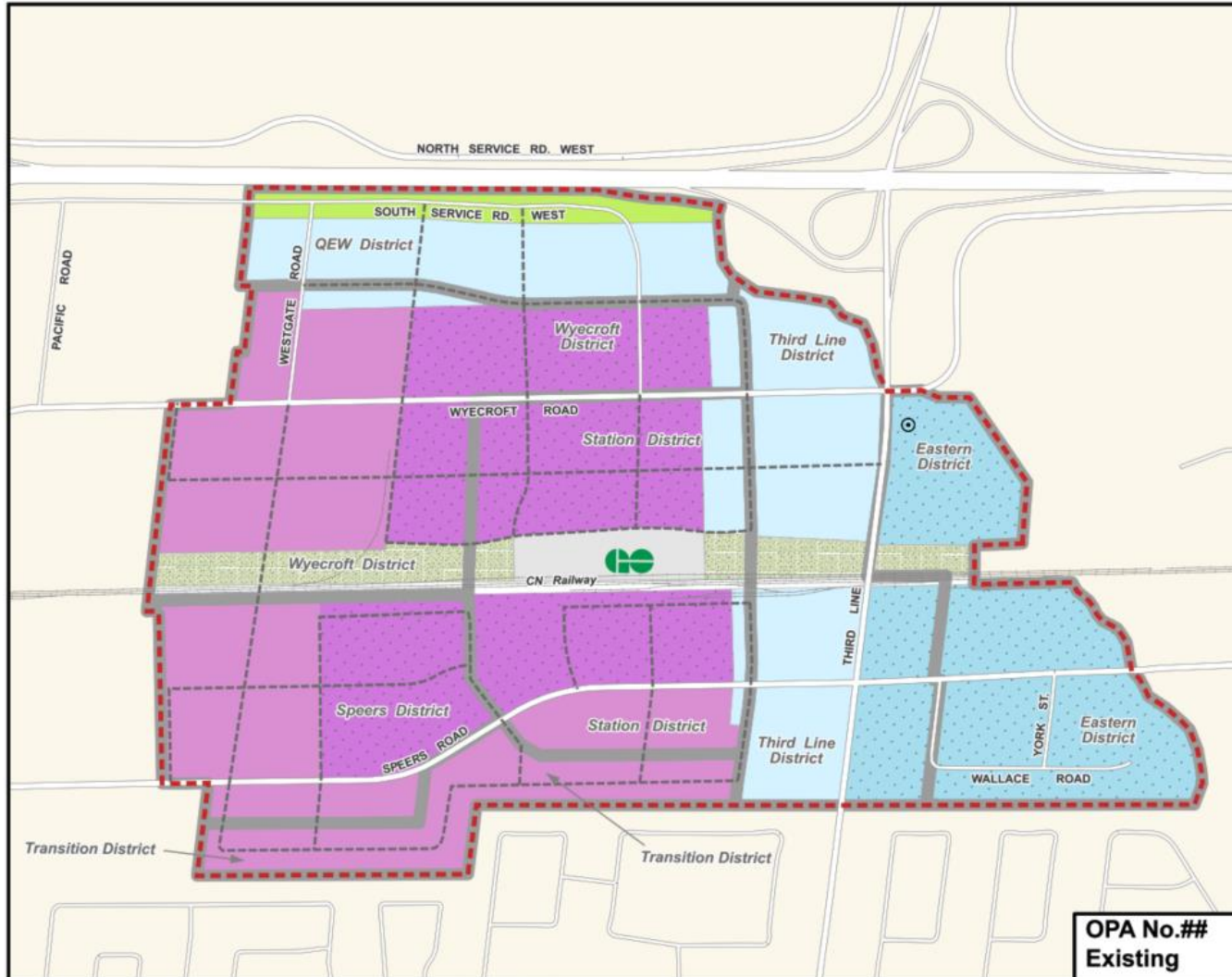
- * Refer to Part E, Special Policy Areas, Greenbelt Plan Areas
- ** Refer to Part E, Growth Area Policies
- Refer to Part E, Special Policy Areas, North West Area
- Refer to Part E, Exceptions
- ★ Refer to Policy 22.4.1(g)



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July 16, 2025

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OPA No.##
Existing

SCHEDULE S1 BRONTE GO MTSA LAND USE



- GROWTH AREA BOUNDARY
- URBAN CENTRE
- URBAN CORE
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- PARKWAY BELT
- PARKS AND OPEN SPACE
- UTILITY
- DISTRICT BOUNDARIES
- FUTURE ROADS
(Refer to Schedule S4 for more detail)
- RAILWAY
- + MAJOR TRANSIT STATION

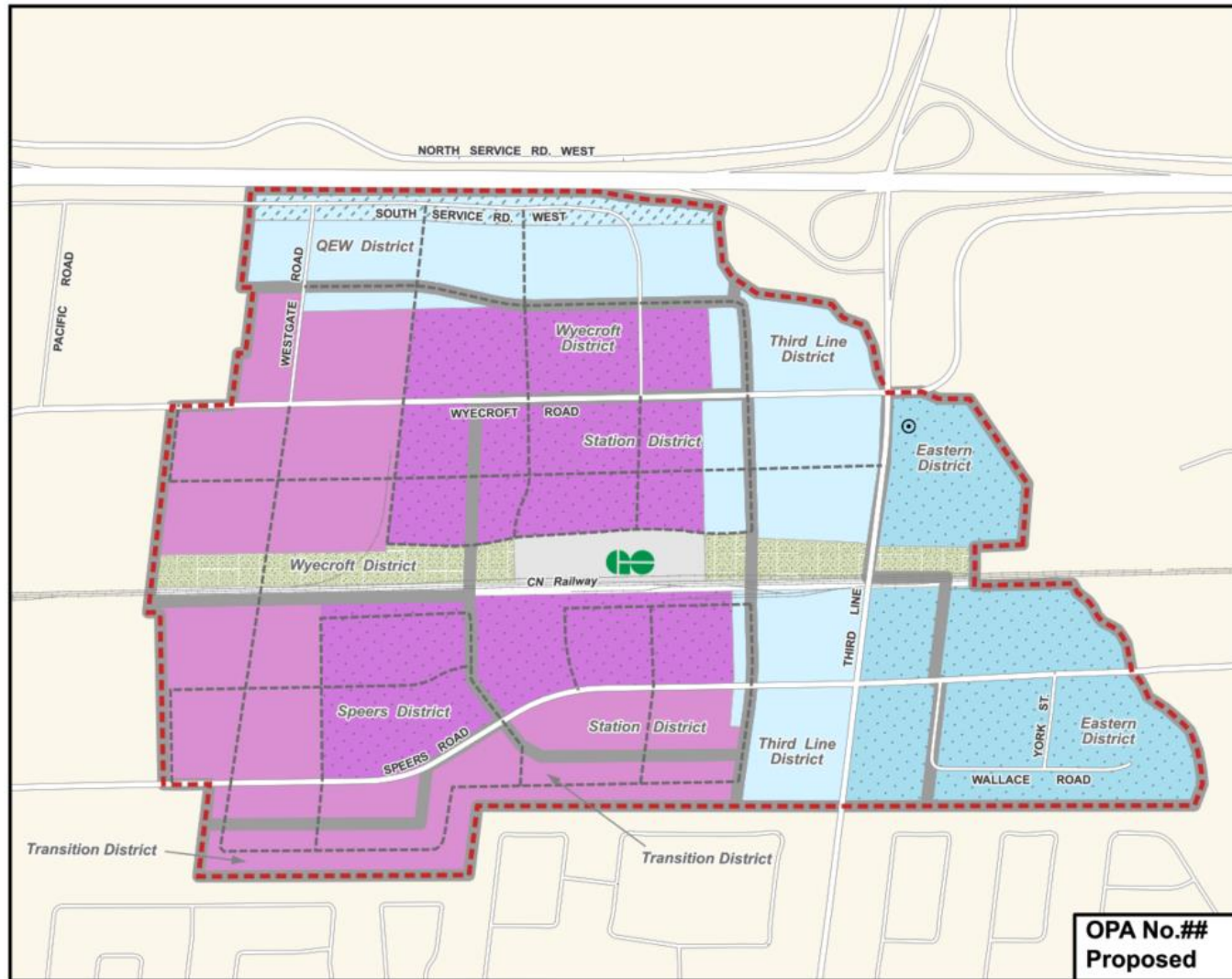
Refer to Part E, Bronte GO MTSA, for Growth Area Policies
 Refer to Part E, Exceptions



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January 23, 2025

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 OFFICIAL PLANNING AND DATA DEVELOPMENT PROCESS SCHEDULE S1



OPA No.##
Proposed

SCHEDULE S1 BRONTE GO MTSA LAND USE



- GROWTH AREA BOUNDARY
- URBAN CENTRE
- URBAN CORE
- OFFICE EMPLOYMENT
- BUSINESS EMPLOYMENT
- PARKS AND OPEN SPACE
- UTILITY
- PARKWAY BELT WEST
- DISTRICT BOUNDARIES
- FUTURE ROADS
(Refer to Schedule S4 for more detail)
- RAILWAY
- MAJOR TRANSIT STATION

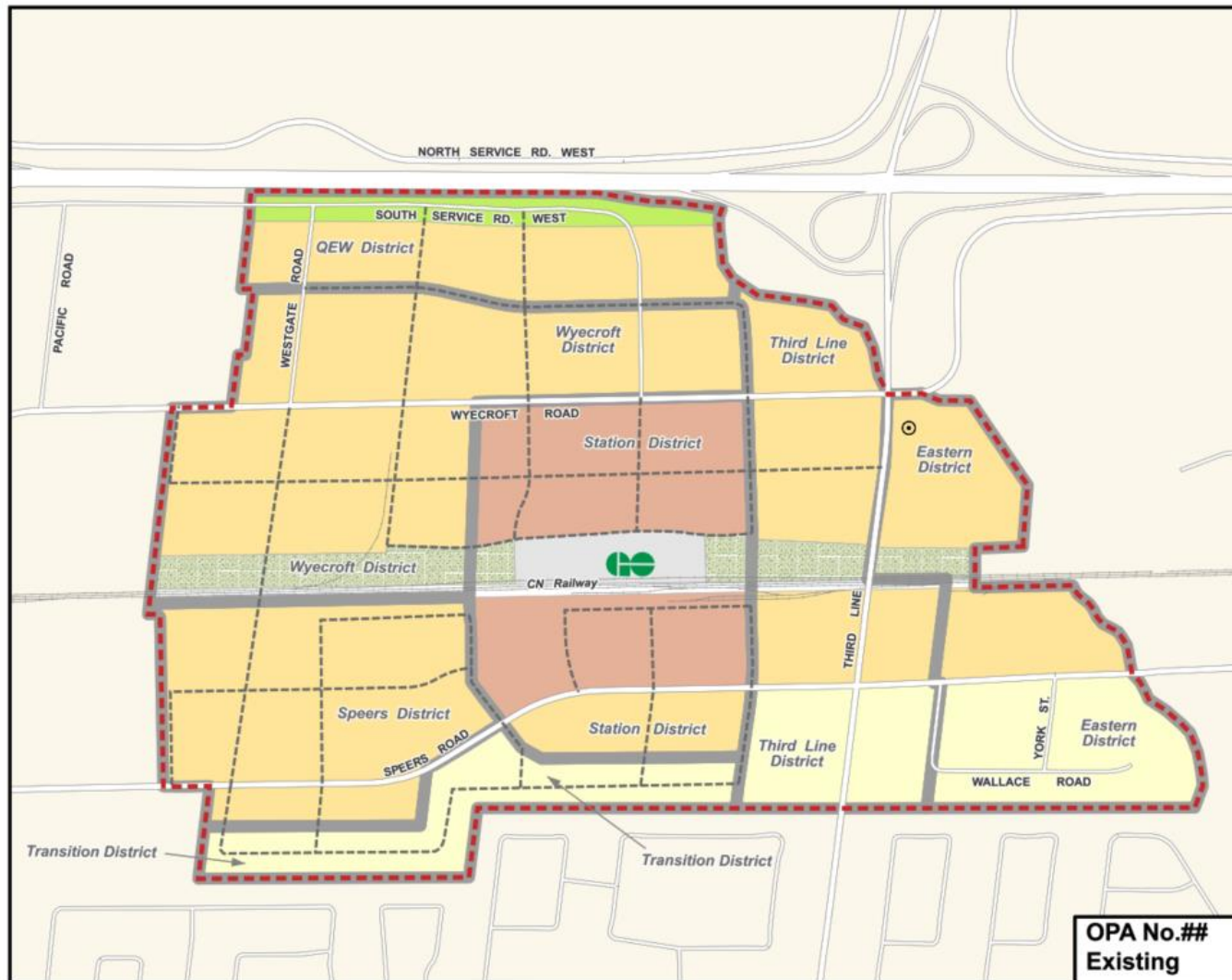
Refer to Part E, Bronte GO MTSA, for Growth Area Policies
 Refer to Part E, Exceptions



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January 23, 2025

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 SCHEDULE S1_OPA_###.mxd



OPA No.##
Existing

SCHEDULE S2 BRONTE GO MTSA BUILDING HEIGHTS



- GROWTH AREA BOUNDARY
- 2 - 4 STOREYS
- 3 - 8 STOREYS
- 5 - 20 STOREYS
- PARKWAY BELT
- PARKS AND OPEN SPACE
- UTILITY
- DISTRICT BOUNDARIES
- FUTURE ROADS
(Refer to Schedule S4 for more detail)
- RAILWAY
- + MAJOR TRANSIT STATION

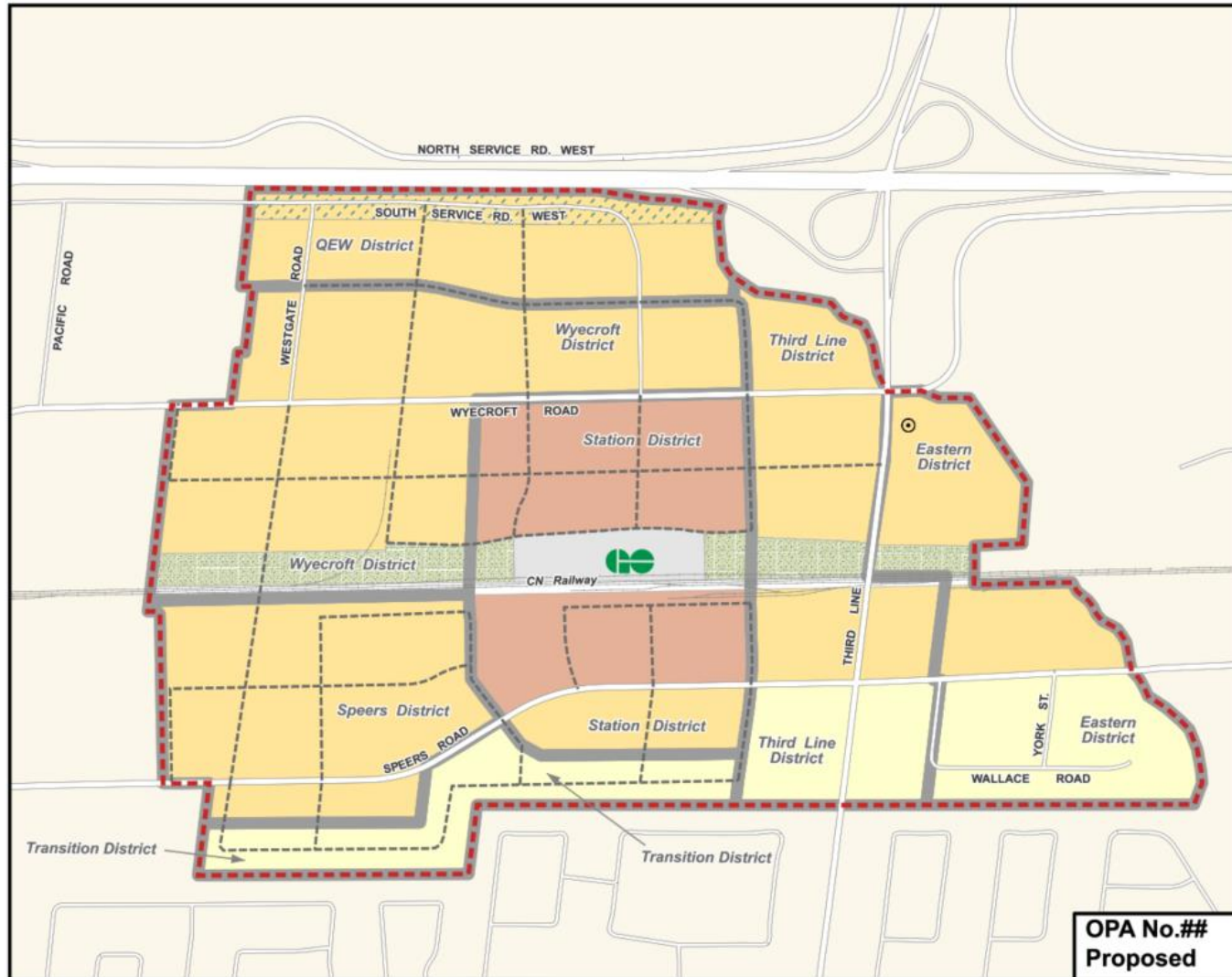
Refer to Part E, Bronte GO MTSA, for Growth Area Policies
 ⊙ Refer to Part E, Exceptions



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January 23, 2025

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SCHEDULE S2 BRONTE GO MTSA BUILDING HEIGHTS



- GROWTH AREA BOUNDARY
- 2 - 4 STOREYS
- 3 - 8 STOREYS
- 5 - 20 STOREYS
- PARKS AND OPEN SPACE
- UTILITY
- DISTRICT BOUNDARIES
- PARKWAY BELT WEST
- FUTURE ROADS
(Refer to Schedule S4 for more detail)
- RAILWAY
- MAJOR TRANSIT STATION

Refer to Part E, Bronte GO MTSA, for Growth Area Policies

Refer to Part E, Exceptions

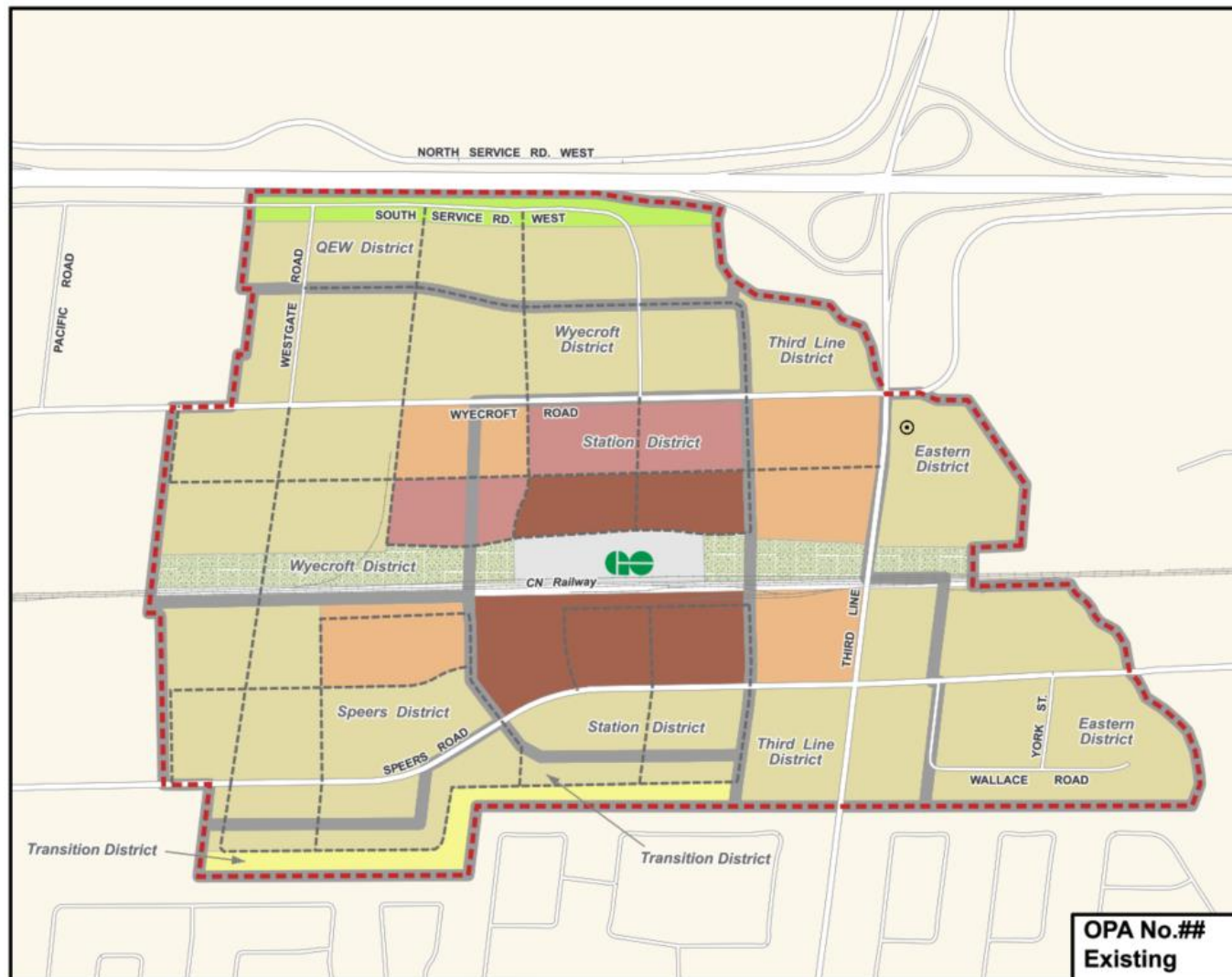


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January 23, 2025

**OPA No.##
Proposed**

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SCHEDULE S2 OPA_001.dwg



OPA No.##
Existing

SCHEDULE S3 BRONTE GO MTS DENSITY



- GROWTH AREA BOUNDARY
- 1.0 MINIMUM FSI
- 1.5 MINIMUM FSI
- 2.0 MINIMUM FSI
- 2.5 MINIMUM FSI
- 3.0 MINIMUM FSI
- PARKWAY BELT
- PARKS AND OPEN SPACE
- UTILITY
- DISTRICT BOUNDARIES
- FUTURE ROADS
(Refer to Schedule S4 for more detail)
- RAILWAY
- G MAJOR TRANSIT STATION

Refer to Part E, Bronte GO MTS, for Growth Area Policies
 Refer to Part E, Exceptions



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January 23, 2025

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