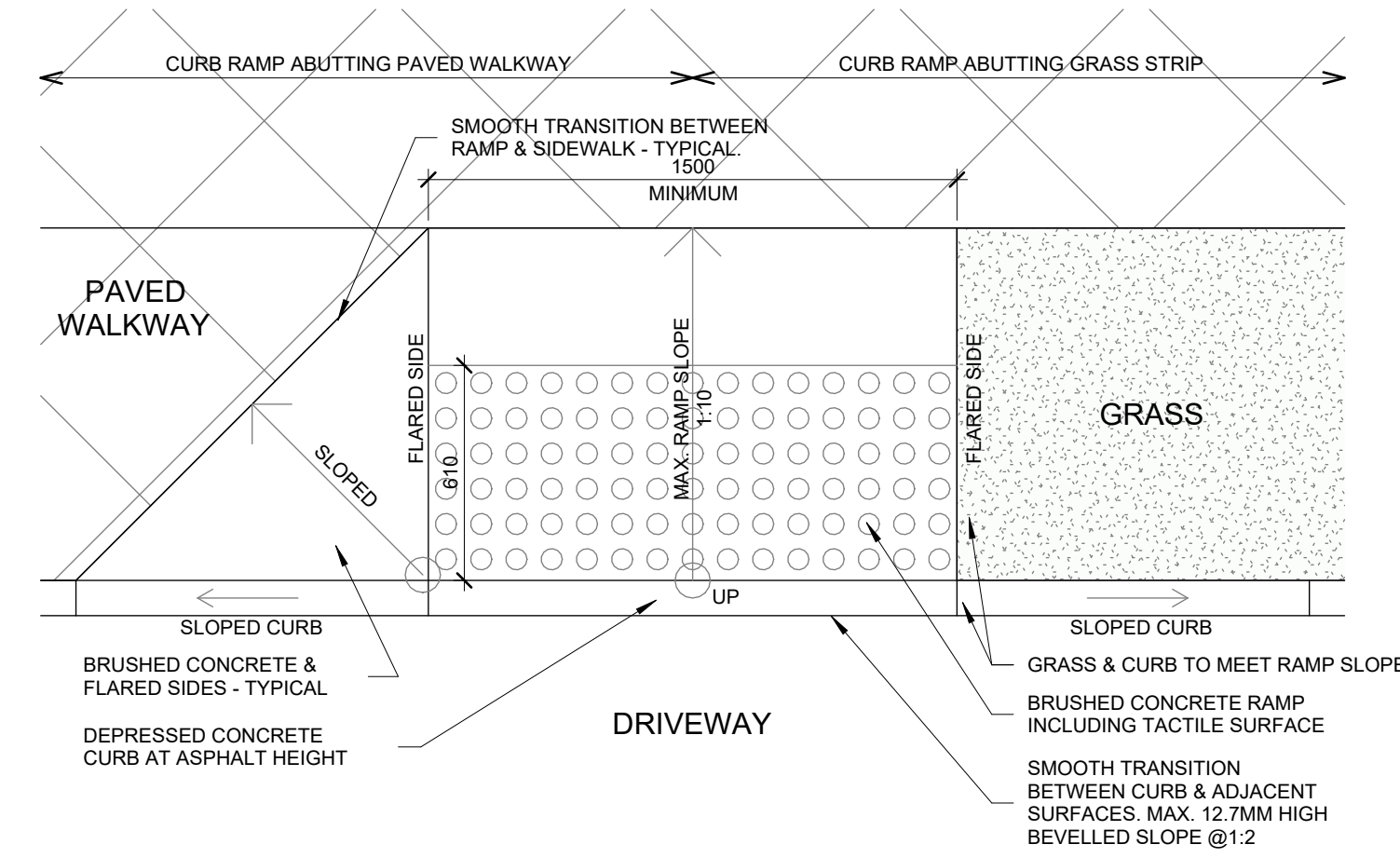
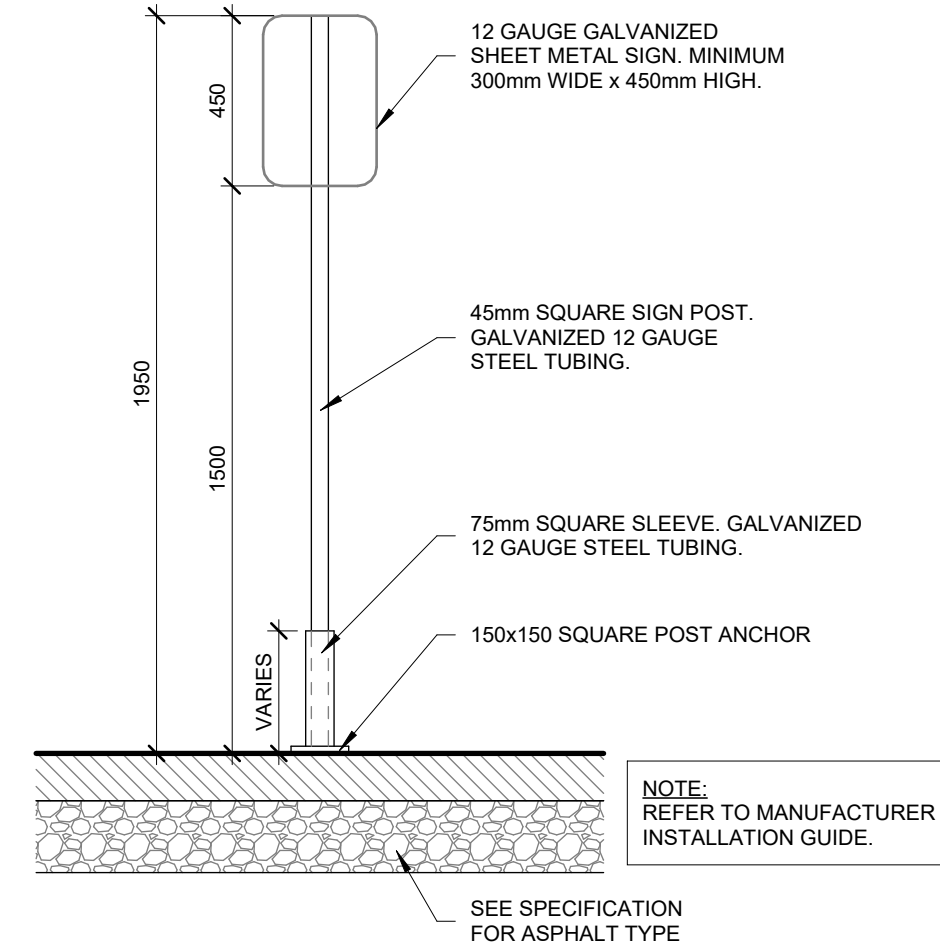


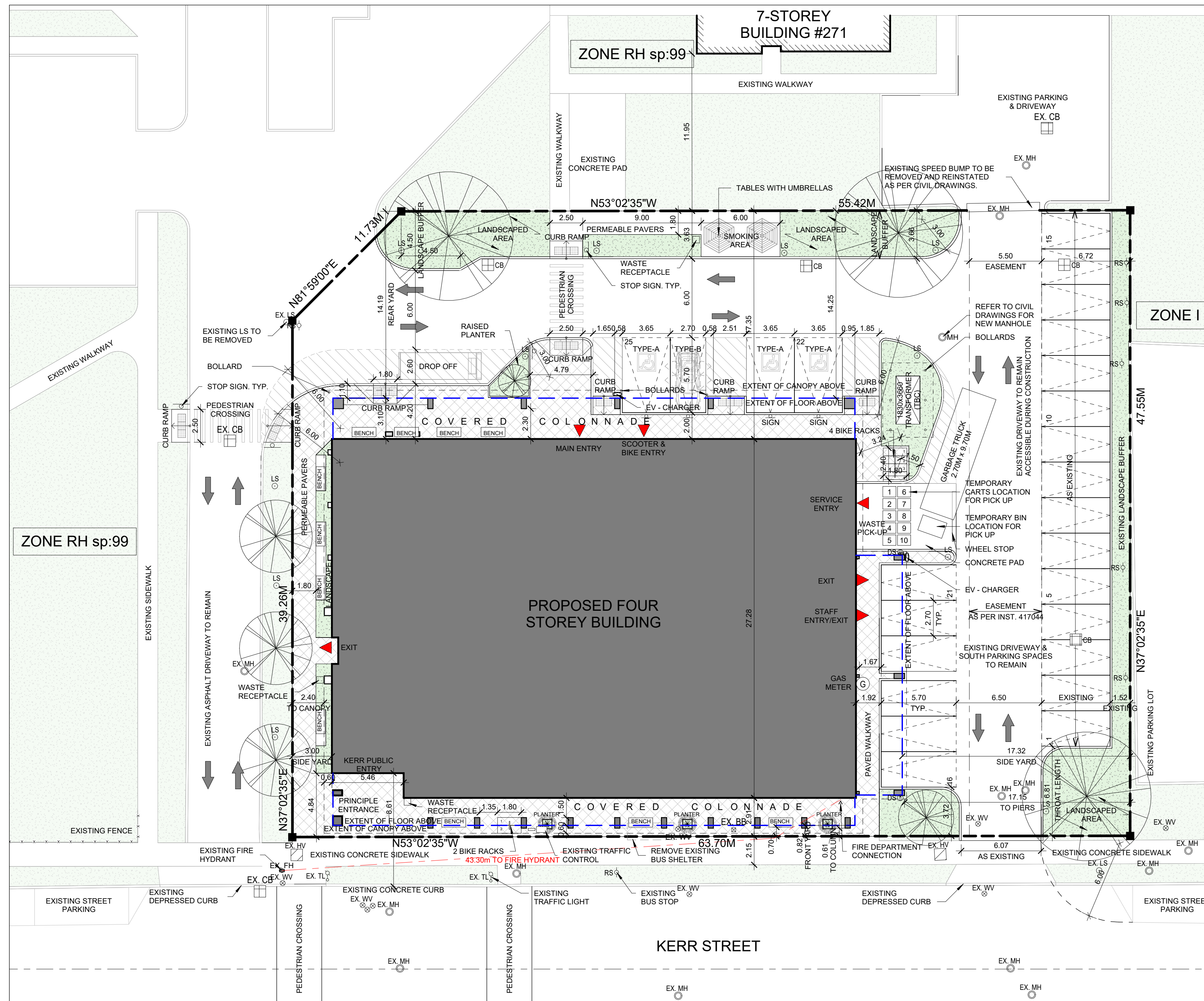
2 AERIAL VIEW
N.T.S.



3 TYPICAL CURB RAMP DETAIL
1 : 20



4 ACCESSIBLE SIGN W/ BOLLARD - SECTION
1 : 20



LEGEND

- ☐ BELL BOX
- ☐ CATCH BASIN
- ☐ HYDRO VAULT
- LIGHT STANDARD
- MANHOLE
- ⚡ TRAFFIC LIGHT
- ⊕ WATER VALVE
- ⊕ ROAD SIGN
- 🌳 NEW TREES

1 PROPOSED SITE PLAN
1 : 200

October 02, 2023

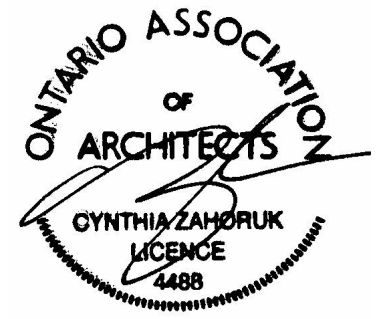
DEVELOPMENT STATISTICS			
Project	Kerr Street Residences and Community Hub		
Municipal Address	265 Kerr Street, Oakville, Ontario		
Legal Description	Part of Lot 16, Concession 3, South of Dundas Street and Part of Road Allowance between Lots 15 and 16, Concession 3 South of Dundas Street, Town of Oakville		
Proposed Use	Mixed Use Building - Retirement Home and Amenity space		
Zone	H1-MU1 Mixed Use Zone (Holding Zone)		
Site Data	H1-MU1 Mixed Use Zone	Proposed	Comply Yes / No
Lot Area	N/A	2,993.44 m ²	Existing
Lot Frontage	N/A	63.70 m	Existing
Building Area above Grade	N/A	1287.56 m ²	N/A
South Covered Terrace Area	N/A	65.5 m ²	N/A
Lot Coverage	N/A	45.2% = (1353.06m ² / 2993.44 m ²)	N/A
Building Height (m)	Min. 7.50 m - Max. 15.0 m	15.0 m	Yes
No. of Storeys	Min. 2 storeys - Max. 4 storeys	4 Storeys	Yes
Min. First storey height	4.50 m	4.50 m	Yes
Yards and Setbacks			
Front Yard (Kerr Street - West)	0.0 m Min. 3.0 m Max.	2.92 m to Main wall of Ground Floor 0.82 m to Main wall of Second Floor 2.97 m to Main wall of Third Floor 2.97 m to Main wall of Third Floor	Yes
Interior Side Yard abutting a lot in any Residential zone, Institutional zone, or Community zone (North & South)	3.0 m Min.	3.00 m (North) 17.32 m (South)	Yes
Rear Yard abutting a lot in any Residential zone, Institutional zone, or Community zone (East)	3.0 m Min.	14.20 m	Yes
Main Wall Proportions	75% min. of length of main wall to be located within min. and max. front yard	86% of main wall on ground floor is within min. and max. front yard 100% of main wall on second to fourth floors is within min. and max. front yard	Yes
Yard Encroachments into a Minimum Yard			
Balconies	1.50 m Max. Projection beyond main wall	n/a	n/a
Canopies and Pilasters	0.60 m Max. Encroachment into Minimum Yard	0.60 m Into Side Yard (North)	Yes
Landscape Buffer			
Width of Landscaping	3.0 m Min. if abutting any Residential zone, Institutional zone, or community use zone	North 3.00 m South 1.52 m (As Existing) East 3.60 m	Yes
	4.50 m Min. Landscaping separating any surface parking area from any lot with a residential use	East 4.50 m and 3.60 m	Yes
Location of Garbage Containers			
Location of Garbage Containers	Located within a building or fully enclosed structure in Mixed Use Zone	Located within the Building	Yes
Location of Functional Servicing			
Location of Transformer	Not located in Front yard	Within internal Landscape area	Yes
PARKING STATISTICS			
Number of Parking Spaces - Retirement Home	0.33 per dwelling unit (0.33 x 52 units = 17.1)	17 Spaces	
Community Hub at Ground floor	1.0 per 40.0 m ² net floor area for NR uses (=323.240 = 8)	8 Spaces	Yes
Visitor Parking Spaces	N/A	-	
Total Parking	25 Spaces	25 Spaces	
Parking Space Size	2.70 x 5.70 m	2.70 x 5.70 m	Yes
Number of BF Parking Spaces	4% of total number of parking spaces for 26-100 spaces (4% of 25 spaces = 1 Space)	Type-A - 3 Spaces Type-B - 1 Space	Yes
BF Parking Space Size	Type A: 3.65 m x 5.70 m Type B: 2.70 m x 5.70 m	Type A: 3.65 m x 5.70 m Type B: 2.70 m x 5.70 m	Yes
BF Parking Aisle width	1.50 m	1.50 m	Yes
Driveway Width	6.0 m min.	6.0 m	Yes
Setback from Parking spaces to Building	1.80 m Min.	1.92 m	Yes
Number of Bicycle Parking Spaces	1 per 1000 m ² net floor area = 1 Space for 667 m ² net floor area at Ground floor	6 Spaces	Yes

6 SITE DATA

Building Data		Proposed
Net Floor Area for Non-Residential Use		
Ground Floor	Non-residential Use at the first 9.0 m depth towards the front lot line	323.2 m ²
Gross Floor Area		
Ground Floor	Non-residential Use	350.03 m ²
	Services (Mech., Elect. Waste, Storage, Stairs, Elevators, Janitor)	248.77 m ²
	Residential Use	476.59 m ²
	Total Ground Floor Area	1075.39 m²
Second Floor - Residential incl. Services		1287.56 m ²
	Third Floor - Residential incl. Services	1201.49 m ²
	Fourth Floor - Residential incl. Services	1201.49 m ²
	TOTAL GROSS FLOOR AREA	4765.93 m²
Exterior Terrace Amenity Area - Second Floor		
Exterior Terrace Amenity Area - Third Floor		
Exterior Terrace Amenity Area - Fourth Floor		
TOTAL Exterior TERRACE AMENITY AREA		
TOTAL GROSS FLOOR AREA WITH TERRACES		
4962.43 m²		
Residential Unit Count		Proposed
Ground Floor		0
Second Floor Accessible Units		5
Second Floor Typical Units		17
Third Floor Accessible Units		7
Third Floor Typical Units		8
Fourth Floor Accessible Units		6
Fourth Floor Typical Units		9
TOTAL		52 Units

5 BUILDING DATA

SCHILTHUIS
CONSTRUCTION INC.



NOTE: THE CONTRACTOR WILL CHECK AND VERIFY DIMENSIONS AND SITE CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE ARCHITECT. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE COPIED, REPRODUCED OR ALTERED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DO NOT SCALE THE DRAWING.

YY/MM/DD	REVISION
2023-06-30	ISSUED FOR SPA
V2_2023-08-24	REISSUED FOR SPA
2023-08-28	ISSUED FOR BP
2023-09-20	RE-ISSUED FOR BP
2023-09-26	ISSUED FOR SCI REVIEW
2023-09-28	RE-ISSUED FOR BP

DRAWN BY: KANS
SCALE: As indicated
PRINT DATE: 2023-10-11 4:16:45 PM



265 KERR STREET - RESIDENCES & COMMUNITY HUB
265 KERR STREET
OAKVILLE, ON

PROPOSED SITE PLAN, AERIAL VIEW MAP, SITE & BUILDING DATA

A0.1