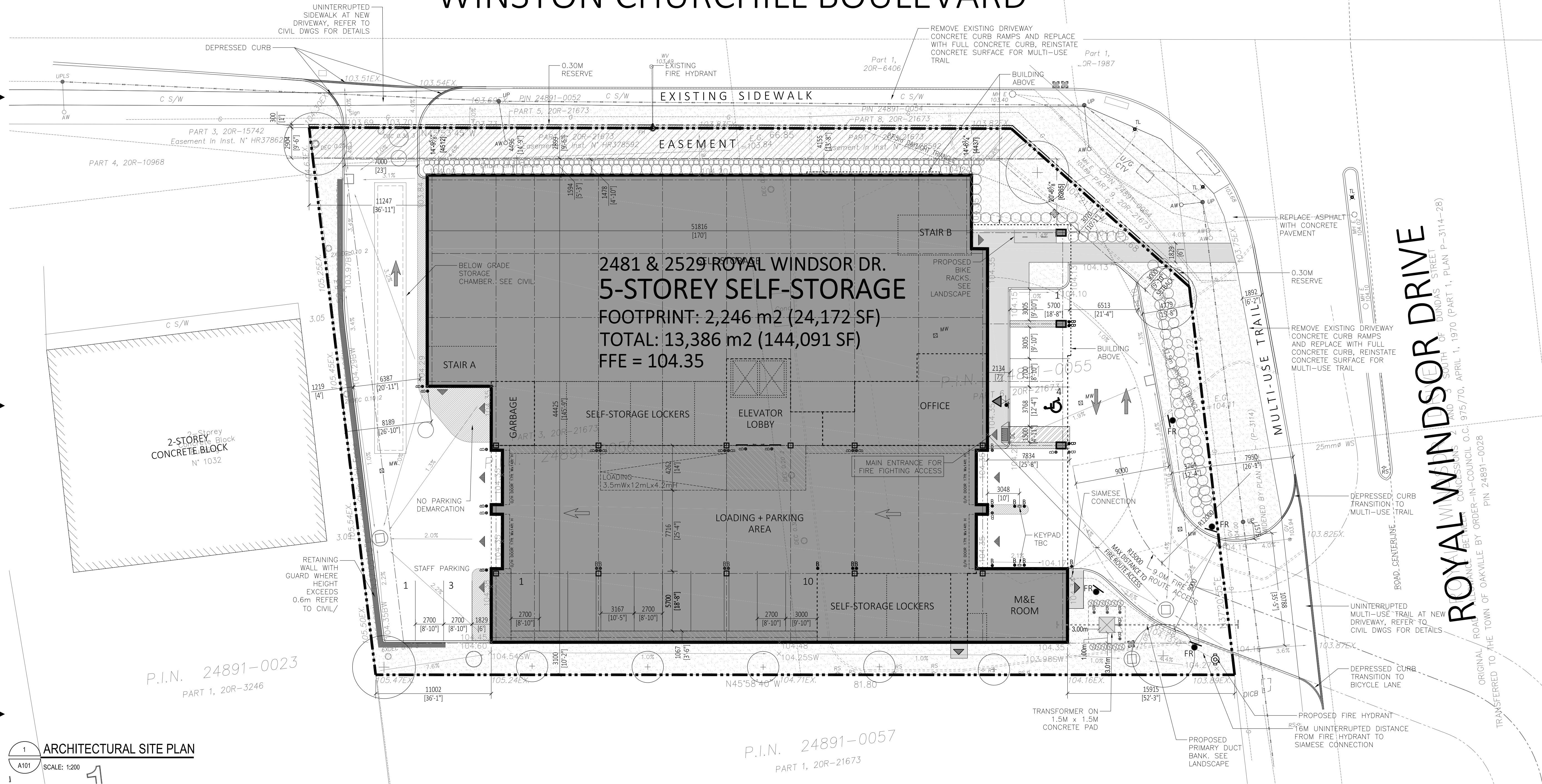


HURCHILL BOULEVARD
BETWEEN TOWNSHIPS OF TORONTO AND TRAFALGAR
P.I.N. 24891-0027

WINSTON CHURCHILL BOULEVARD



P.I.N. 24891-0023
PART 1, 20R-3246

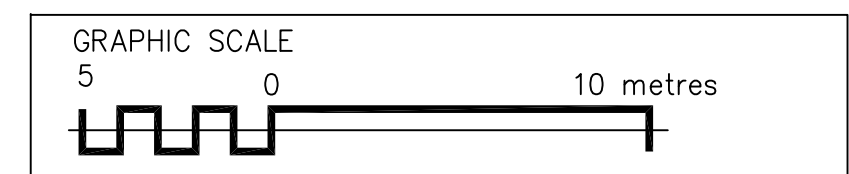
P.I.N. 24891-0057
PART 1, 20R-21673

1 ARCHITECTURAL SITE PLAN
SCALE: 1:200

LEGEND

- PROPOSED BUILDING
- EXISTING BUILDINGS ON SITE
- LANDSCAPED AREA
- CONCRETE/SIDEWALK
- BARRIER FREE PARKING CLEARANCE
- CURB
- BARRIER FREE PARKING
- BARRIER FREE PARKING
- EXISTING CONCRETE/SIDEWALK
- SIAMESE CONNECTION
- ENTRANCE AND / OR EXIT DOOR
- FIRE HYDRANT
- MANHOLE COVER
- FIRE ROUTE ACCESS SIGN MOUNTED ON POLE

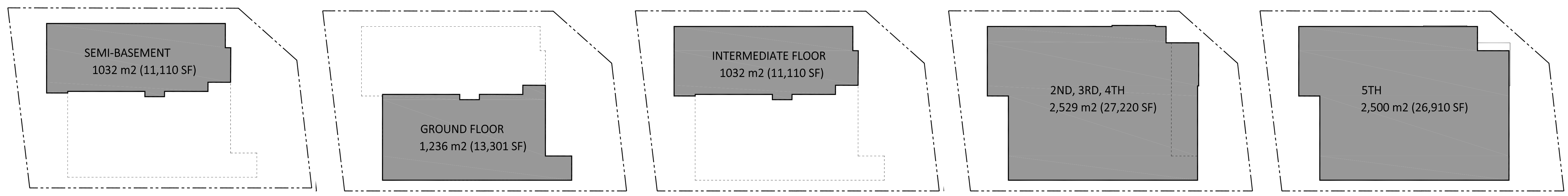
NOTE: BOULEVARD WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE RESTORED TO THE SATISFACTION OF CITY'S TRANSPORTATION AND ENGINEERING



SITE PLAN BASED ON SURVEY BY CUNNINGHAM MCCONNELL LIMITED ONTARIO LAND SURVEYORS - PLAN 3-19-3 DATED 2022 / 11 / 29

2481 & 2529 Royal Windsor Drive, Oakville, ON			
Zoning By-law 2014-014	E3	E4	Proposed
Minimum Lot Area	2 ha	6 ha	0.41 ha
Minimum Lot Frontage	30	30 m	52.46 m
Minimum Front Yard	3.0 m	3.0 m	3.0 m
Minimum Flankage Yard	3.0 m	3.0 m	4.1 m
Minimum Interior Side Yard	3.0 m	3.0 m	3.1 m
Minimum Interior Side Yard abutting a lot in any Residential Zone, Institutional (I) Zone, or Community Use (CU) Zone	15.0 m	15.0 m	n/a
Minimum Interior Side Yard abutting any railway corridor	7.5 m	7.5 m	n/a
Minimum Rear Yard	3.0 m	3.0 m	8.1 m
Minimum Rear Yard abutting a lot in any Residential Zone, Institutional (I) Zone, or Community Use (CU) Zone	15.0 m	15.0 m	n/a
Minimum Rear Yard abutting any railway corridor	7.5 m	7.5 m	n/a
Maximum Height	n/a	18.5 m	20.682 m*
Minimum Landscaping Coverage	10%	10%	19.48%
Minimum Landscaping for Surface Parking / For any employment zone to any road	3.0 m	3.0 m	3.0 m
Surface Parking Area Setbacks from Building	1.8 m	1.8 m	1.8 m
Minimum Parking Spaces	Commercial Self-storage: 1.0 per 100.0 m ² net floor area, to a maximum minimum requirement of 8 parking spaces GFA = 13,386 m ² Minimum Parking Required = 8	Commercial Self-storage: 1.0 per 100.0 m ² net floor area, to a maximum minimum requirement of 8 parking spaces GFA = 13,386 m ² Minimum Parking Required = 8	17
Minimum Drive Aisle Width (Two way)	6 m	6 m	6.3 m
Minimum Drive Aisle Width (One way angle to a parking space is greater than or equal to 60 degrees)	5.5 m	5.5 m	n/a
Minimum Drive Aisle Width (One way angle to a parking space is greater than or equal to 40 degrees)	4 m	4 m	n/a
Minimum Loading Spaces	n/a	n/a	1
Loading Space Minimum Width (m)	3.5 m	3.5 m	3.5 m
Loading Space Minimum Length (m)	12 m	12 m	12 m
Loading Space Minimum Height (m)	4.2 m	4.2 m	4.2 m
NOTES:	* Taken from Established Grade per Zoning By-Law definition to the Top of Roof		

	SF	SM	Acre
LOT AREA	44,676	4,151	1.03
FLOOR AREAS			
SEMI-BASEMENT	11,110	1,032	
GROUND FLOOR	13,301	1,236	
INTERMEDIATE FLOOR	11,110	1,032	
SECOND	27,220	2,529	
THIRD	27,220	2,529	
FOURTH	27,220	2,529	
FIFTH	26,910	2,500	
TOTAL FLOOR AREA	144,091	13,386	
PARKING TOTAL			
LOADING	17 SPACES (7 @ grade)	2 SPACES (interior)	
LOT COVERAGE	54.11 %		
LANDSCAPE COVERAGE	19.48 %		
FAR	3.23		



2 SEMI-BASEMENT
A101 N.T.S.

3 GROUND FLOOR PLATE
A101 N.T.S.

3 INTERMEDIATE FLOOR PLATE
A101 N.T.S.

4 TYPICAL SECOND, THIRD & FOURTH FLOOR PLATE
A101 N.T.S.

5 FIFTH FLOOR PLATE
A101 N.T.S.

ISSUED FOR SPA

GENERAL NOTES TYPICAL:
 • CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 • DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 • DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 • CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BY-LAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 • ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

NO.	DATE	ISSUED FOR SPA
4	2022-11-30	ISSUED FOR SPA
7	2022-11-02	ISSUED FOR DISCUSSION PURPOSES
8	2022-07-15	ISSUED FOR SPA
7	2022-07-04	FOR COORDINATION
6	2022-06-29	FOR PRECONSULTATION
5	2022-06-23	FOR PRECONSULTATION
4	2022-06-19	FOR PRECONSULTATION
3	2022-06-29	FOR COORDINATION
2	2022-06-19	FOR COORDINATION
1	2022-06-09	FOR DISCUSSION PURPOSES
	YYYY-MM-DD	REVISIONS

DESIGNER:
 CIVIL: HUSSON
 200 CACHET WOODS CT SUITE 204
 MARKHAM, ON, L6C 0Z8

ELECTRICAL: MJA
 556 EDWARD AVE
 RICHMOND HILL, ON, L4C 9Y5

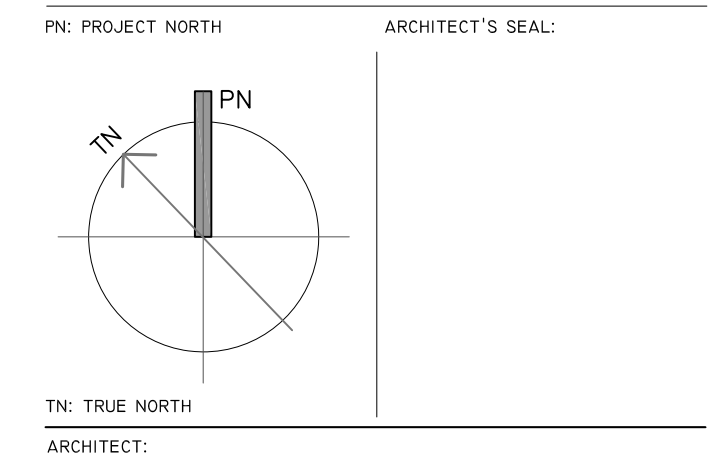
MECHANICAL:

STRUCTURAL:

PLANNER AND LANDSCAPE: DILLON
 235 YORKLAND BLVD, SUITE 800
 TORONTO, ON, M2J 4Y8

CLIENT LOGO: **FIRST GULF**

CLIENT: FIRST GULF
 351 KING ST. E. 13TH FLOOR
 TORONTO, ON, M5A 0L6
 TEL: 416 491 7778



WPT ARCHITECTURE INC.
 wpt@wptarchitecture.ca

WPT PROJECT #: 2022-0106 (I) MUNICIPAL #:
 CLIENT PROJECT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
 2481 & 2529 ROYAL WINDSOR DR.
 ADVANCED SELF-STORAGE
 OAKVILLE, ON

SHEET NAME:
 ARCHITECTURAL SITE PLAN

SCALE: 1:200 SHEET #:
 DRAWN BY: SG A101