

KEYNOTES ON THIS SHEET

ZONING REQUIREMENTS:
ZONING: OFFICE EMPLOYMENT "E1" SP-43
GROSS FLOOR AREA (measured within exterior walls)

GROUND FLOOR EXISTING:	1911	m ²
GROUND FLOOR NEW (LINAC):	102	m ²
GROUND FLOOR NEW (VESTIBULE):	5	m ²
SECOND FLOOR NEW:	287	m ²
TOTAL GROSS FLOOR AREA:	2305	m ²

PROPOSED NET FLOOR AREA:

LEVEL 01:	1837	m ²
LEVEL 02:	253	m ²
TOTAL:	2090	m ²

FRONT YARD: BRISTOL CIRCLE

MINIMUM SET BACK:	3 m
SET BACK PROVIDED:	15 m

REAR YARD: WINSTON CHURCHILL BLVD.

MINIMUM SET BACK:	15 m (SP-43)
SET BACK PROVIDED:	35 m

INTERIOR SIDE YARDS:

MINIMUM SET BACK:	3 m
NORTH SET BACK PROVIDED:	12.3 m
SOUTH SET BACK PROVIDED:	23 m

LANDSCAPE BUFFER: 15M (WINSTON CHURCHILL)
LANDSCAPE COVERAGE: 26%

PARKING REQUIREMENTS:

PARKING REQUIRED:	1 CAR/22M ²
PARKING PROVIDED:	95 (2090 n/a / 22 m ²)
BF PARKING PROVIDED:	95
BF PARKING REQUIREMENTS:	95 x 0.04
BF PARKING REQUIRED:	4
BF PARKING PROVIDED:	4 (2 EXIST.)
BICYCLE PARKING:	2+0.25/1000M ²
BICYCLE PARKING REQUIRED:	3

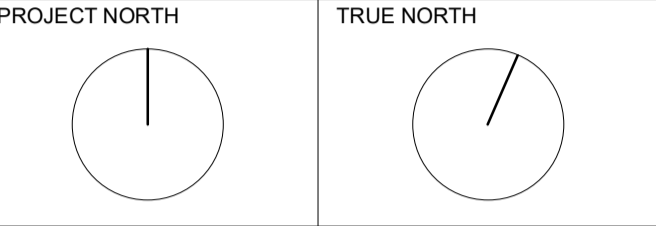
LEGAL DESCRIPTION:

PARTS 11, 12 & 13 OF BLOCK 6
PLAN 20M-492
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

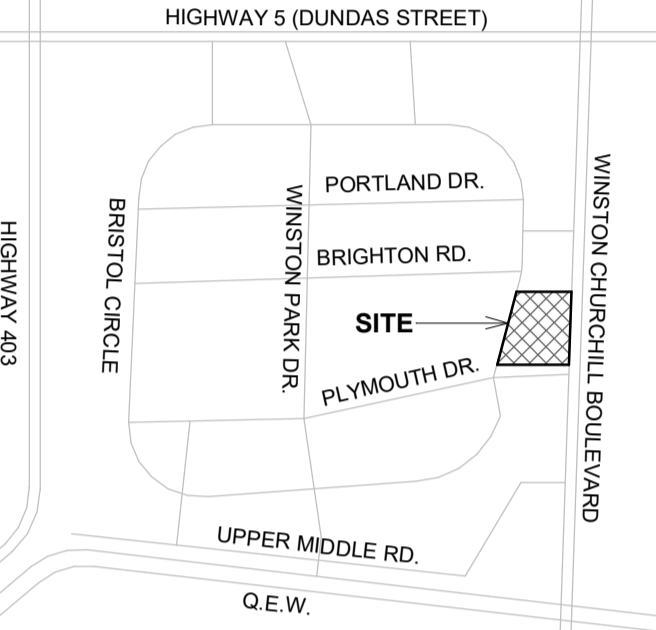
SEAL

NOT FOR CONSTRUCTION

GENERAL NOTES
DO NOT SCALE DRAWINGS.
CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS
AND REPORT ANY DISCREPANCIES.



KEY PLAN



LEGEND

- EXISTING BUILDING (INTERIOR RENOVATIONS)
- NEW ADDITION
- NEW ADDITION ABOVE EXISTING BUILDING
- LANDSCAPING TO REMAIN
- PROPERTY LINE
- FIRE ROUTE CENTRE LINE
- ZONING REQUIRED SETBACKS

B	2022-08-03	ISSUED FOR SITE PLAN APPROVAL
A	2022-05-24	ISSUED FOR COORDINATION - CIVIL
No.	DATE	DESCRIPTION
REVISIONS		
PROJECT		

VCA | MOVEH

RENOVATION AND ADDITION

2285 Bristol Circle, Oakville, ON
CLIENT #
21599

SHEET NAME

SITE PLAN

DATE	2022-08-03	SCALE	AS NOTED.
CHECKED BY	DY	DRAWN BY	TS
SHEET No.			

