



FORMERLY FGMDA

HERITAGE IMPACT ASSESSMENT

Former Hospital Lands

PREPARED FOR: TOWN OF OAKVILLE
PROJECT NO. EVOQ: 9257-18-00

ISSUE DATE: MARCH 14, 2018



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1.0 Introduction to Development Site

1.1 Introduction

EVOQ Architecture Inc. (EVOQ) has been retained by the Town of Oakville to prepare a Heritage Impact Assessment Report for the Former Hospital Site Project. This report will determine the impact of the proposed development on the cultural heritage value of the adjacent heritage resources. The study reviews the adjacent heritage resources, identifies any impact the development may have on them, and considers mitigation options and conservation strategies.

As per the Terms of Reference (refer to Appendix A), although the Oakville Trafalgar High School is within the site, the re-development plans will be considered through a separate study. It is noted:

“While the former Oakville Trafalgar High School is part of the Former Hospital Site Project, for the purpose of this heritage impact assessment, it should be treated as an adjacent heritage resource. Analysis/evaluation of any impacts on the former school should include a review based on the existing site conditions as well as providing guiding principles for the former school’s future development to ensure compatibility both with the historic structure and the overall Former Hospital Site Project.”

EVOQ was provided with a copy of various documents pertaining to the Former Hospital Site, including the masterplan, the draft subdivision plan, the planning justification memo supporting the draft plan of subdivision, and documentation pertaining to the proposed design of the community centre and park areas. In addition, further primary and secondary documentation was sourced to supplement the understanding of the proposed project. Refer to Appendix B - Bibliography for a list of works consulted. A site visit was conducted on March 2, 2018.

1.2 Heritage Framework

Given that the Subject Property is not considered a heritage resource, the HIA addresses the wider urban context of the neighbourhood and focuses on assessing the impact of the proposed development on the surrounding cultural heritage resources.

This HIA has been completed under the following applicable guidelines: The 2014 Provincial Policy Statement (PPS), the 2017 Growth Plan for the Greater Golden Horseshoe and the Livable Oakville Plan.

The following cultural heritage policies from the PPS are applicable:

2.6.3 *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

The following cultural heritage resources policies from the Growth Plan are applicable:

4.2.7 1. *Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*

Livable Oakville also outlines, under Section 5: Cultural Heritage the general objectives and policies governing cultural heritage resources in the Town of Oakville. This HIA has been completed as per 5.3.4, due to the proposed development being adjacent to cultural heritage resources.

1.3. Description of Subject Property

The Former Hospital Site (Subject Property) is bordered by Reynolds Street on its west, MacDonald Road on its north, Allan Street to its east and Wyndham Manor Long Term Care Centre to its south. It is 5.7 hectares in size, inclusive of a 0.3 hectare block located to the east of the Wyndham Manor Long Term Care Centre. For the purposes of this report, MacDonald Street will be considered north.

The Subject Property contains four existing structures (see figure 1). At the northwest corner is 327 Reynolds Street, formerly the Oakville Trafalgar Memorial Hospital. This multi-storey brick building was constructed in the late 1940's, with additions constructed from 1950's to the early 2000's. It currently occupies a large portion of the site. At the northeast corner is 348 Allan Street, known as the Helen Lawson Building. This compact three-storey brick building was constructed in the early 1960's. In the middle of the site southeast of the hospital building is a multi-storey concrete parking structure, servicing the hospital, constructed in the late 1970's. At the southwest corner is the two-storey brick Oakville Trafalgar High School, at 291 Reynolds Street. It was constructed in 1908. Subsequent additions were constructed in the 1950's though demolished in the 1990's; only the original building remains.

Oakville Trafalgar High School has been designated under Part IV of the *Ontario Heritage Act*, as per the Town of Oakville By-Law 1994-11, and will be discussed in further detail under 'Adjacent Heritage Resources'. The remaining structures and site do not have any cultural heritage value.

There is a number of paved surface parking areas within the site. A small asphalt surface parking is found between the hospital building and the Helen Lawson building. Another area of parking is located along Allan Street between the Helen Lawson Building and the parking structure. A third parking area is located to the south of the hospital building and east of the parking structure. A fourth asphalt parking area surrounds the Oakville Trafalgar High School on its west, north and east sides. A number of internal roads and sidewalks connect the parking areas and buildings. Very few areas of the site have been landscaped. They are predominately located along the perimeter of the site, facing the street elevations, and consist of lawns with mature trees. There are two small areas of park space adjacent to the Oakville Trafalgar High School, to its northwest and southeast. The southeast tip of the site currently retains a lawn and a non-accessible gravel driveway to access the Wyndham Manor Long Term Care Centre.

1.4. Subject Property Site Location and Context

The Subject Property is part of a large group of institutional buildings within a residential neighbourhood. It occupies the entire width of the block between Reynolds Street and Allan Street, and the majority of the block between MacDonald Road and Sheddon Avenue. Directly south of the Subject Property is the two-storey brick Wyndham Manor Long Term Care Centre. Southwest at the corner of Reynolds Street and Sheddon Avenue is a compact six-storey residential rental property Rockcliffe Manor. At the southeast corner at Sheddon Ave and Allan Street is a three-storey medical centre. Paved parking spans between the two buildings. South of Sheddon Avenue is Wallace Park, consisting of a baseball diamond, tennis courts and a building housing the Oakville Curling Club.

To the east, north and west of the Subject Property are residential neighbourhoods of predominately low-rise single detached housing, with generous lots, varied setbacks, and streets lined with mature trees. Of particular note is the neighbourhood to its west and south, which has been designated Part V under the *Ontario Heritage Act* as Trafalgar Road Heritage Conservation District. To the east of this district is Sixteen Mile Creek, running north-south. At the northwest corner of MacDonald Road and Reynolds Street is 293 MacDonald Rd, a designated property under Part IV of the *Ontario Heritage Act*. To its east is a residential subdivision developed in the 1930's known as 'Brantwood'. A number of these single detached homes are listed under the heritage register. The adjacent heritage resources will be discussed in further detail.

The Subject Property resides in the larger neighbourhood known as Old Oakville along the shores of Lake Ontario, centered on Oakville Harbour at the mouth of Sixteen Mile Creek. The downtown commercial area is located just north of the shores, with the Subject Property within the residential neighbourhoods to the north of this commercial core.



Figure 1: Air Photo, Old Hospital Site, 291-327 Reynolds Street (Town of Oakville)

1.5. Adjacent Heritage Resources

The Subject Property is adjacent to a number of heritage resources. The primary adjacent heritage resources are the Oakville Trafalgar High School, a designated heritage property, the Trafalgar Road Heritage Conservation District, and the designated building at 293 MacDonald Road. Additional heritage resources include a number of listed properties along MacDonald Street and Allan Street that border the Subject Property.

Oakville Trafalgar High School

This building is located at 291 Reynolds Street and is within the Subject Property. As noted in the introduction, the building is considered an adjacent heritage resource. Under by-law 1994-11, the property has been designated in 1994 under Part IV of the *Ontario Heritage Act* for its historical and architectural significance.

The school was originally known as Oakville High School and prior to 1909, occupied rooms in the old Oakville Central School, an elementary school (1850-1950). Due to the growth of Oakville, four acres of land was purchased by the School Board in 1908 along Reynolds Street, to allow for the construction of a new school building. The design of the building was completed by noted firm Chapman and McGiffin Architects in 1908 and constructed in 1909 by Carson and Elliot Builders of Oakville. Chapman and McGiffin Architects subsequently completed major commissions for institutional and commercial clients in Southern Ontario, such as Knox College, University of Toronto (c1911-13) and Toronto Harbour Commission Building, Toronto (1917).

The students moved into the building in spring 1909. It was a two-storey brick structure, constructed in a Collegiate Gothic style (see figure 2 and figure 3). Under the bylaw, dated 1994, it is noted:

'The building is a well-proportioned composition with the main street elevation featuring three prominent stepped gables and a central recessed entrance with stone trim in the "Collegiate Gothic" form. End elevations featured a smaller gable above a canopied student entrance. The steeply pitched roof, with its fish scale pattern creates an attractive composition. The rear elevation featured the same three gable form but was symmetrical with a projecting single storey element.'

Although most of the original building has been obscured by the additions, Oakville-Trafalgar High School is highly visible from Reynolds Street. The building has been and still is, to a degree, a focal point for the area.'

The school was involved in the World War I in the support of Canadian Troops overseas. By 1923, the growth of Oakville necessitated additions to the school, with a rear extension completed in 1924 by Carson and Elliot Builders. After the Second World War, the Oakville and Trafalgar School Districts

amalgamated and the school became Oakville Trafalgar High School. In 1947, symmetrical wings were added to the north and south elevations of the building (see figure 4). In 1952, a further extension was completed to the south. Additions were again completed in the 1960's. The school remained on site until 1992 when it was relocated to a new building. The adjacent hospital purchased the building, though it has remained vacant since. Its numerous additions were demolished in 2011; only the original 1908 building and its rear 1923 addition remain.

The building still retains the stepped gables and its original front symmetric façade is evident along Reynolds Street. Generally, the fenestration pattern, roofing arrangement and massing remain intact barring a few alterations that have occurred over time. Original details remain, including stone lintels, stone sills, stone coping and exposed wood eaves. The openings are currently boarded up. See figures 5, 6, 7, 8, 9 & 10 for current photographs of Oakville Trafalgar High School.

Historically, the north elevation was publically accessible, bordered by a through-street known as Lawson Street. There was a canopied entrance two-storeyed gabled wing on the north elevation. The street was subsequently closed and absorbed into the hospital site in 1986.

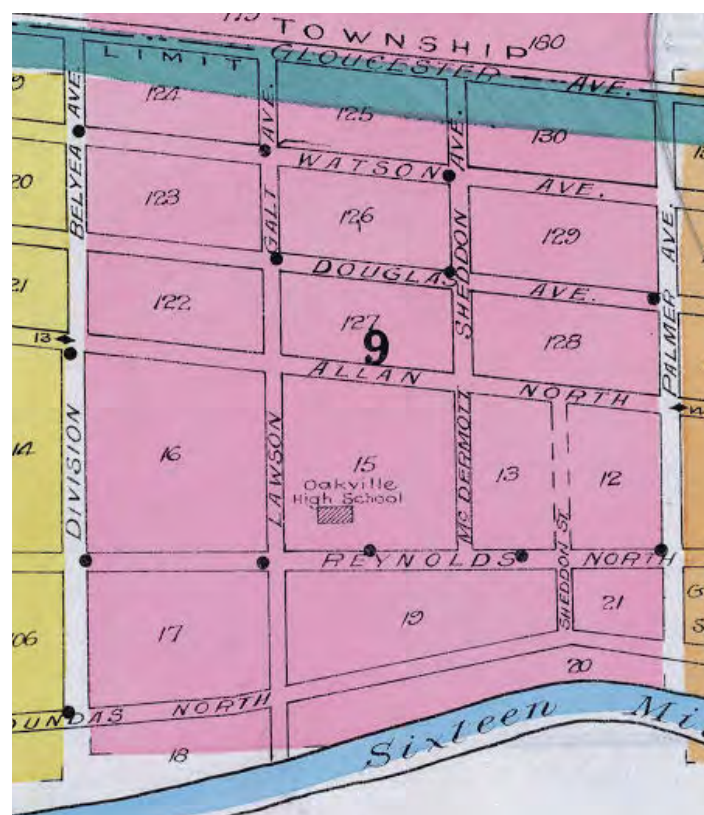


Figure 2: Oakville Fire Insurance Plan, Key Plan Plate 1, 1932 (Underwriters Survey Bureau)



Figure 3: Historic Image of Oakville Trafalgar High School, undated (Town of Oakville)



Figure 4: Historic image of Oakville Trafalgar High School, c1950's (Town of Oakville)



Figure 5: West (front) elevation of Oakville Trafalgar High School, 2018 (EVOQ)



Figure 6: North (side) elevation of Oakville Trafalgar High School, 2018 (EVOQ)



Figure 7: East (rear) elevation of Oakville Trafalgar High School, 2018 (EVOQ)



Figure 8: South (side) elevation of Oakville Trafalgar High School, 2018 (EVOQ)



Figure 9: East (rear) elevation of Oakville Trafalgar High School, 2018 (EVOQ)



Figure 10: Detailing of Oakville Trafalgar High School, 2018 (EVOQ)

Trafalgar Road Heritage Conservation District

The Trafalgar Road Heritage Conservation District is an L-shaped area, with its long boundary on its west bordered by Sixteen Mile Creek, its south along Sumner Avenue, a portion of Allan Street on its east, and up west side of Reynolds Street, to approximately Spruce Street on its north boundary (see figure 11). Of primary importance to this heritage impact assessment is its eastern boundary along Reynolds Street, which is adjacent to the Subject Property. In addition, 293 MacDonald Street, located at the northwest corner of MacDonald Road and Reynolds Street, diagonal from the Subject Property has been designated under Part IV of the *Ontario Heritage Act*, through By-Law 1984-153.

The district is generally residential with single-detached housing forms. It has been designated for its historical associations with the formative aspect of Oakville's growth and development as well as its association with early 19th century notable settlers and families. The housing stock consists of primarily vernacular forms constructed in the late 19th century to mid-20th century, with one-and-a-half to two storey houses in different historic architectural styles such as Four Square, Tudor Revival, Period Revival, Craftsman and Bungalow. The houses exhibit a collection that is distinctive in scale, mass, decorative detailing and siting. The landscape consists of mature residential plantings that are responsive to the topography. (Refer to figures 12 & 13.)

293 MacDonald Road was designated for both its unusual brickwork in Flemish bond, decorative cornices, six over six window sashes and shutters, dressed sills and flat arched openings (refer to figure 14). It was also noted for its association with John Chisholm (who originally owned the land) and Donald Campbell, who constructed the building in 1857.

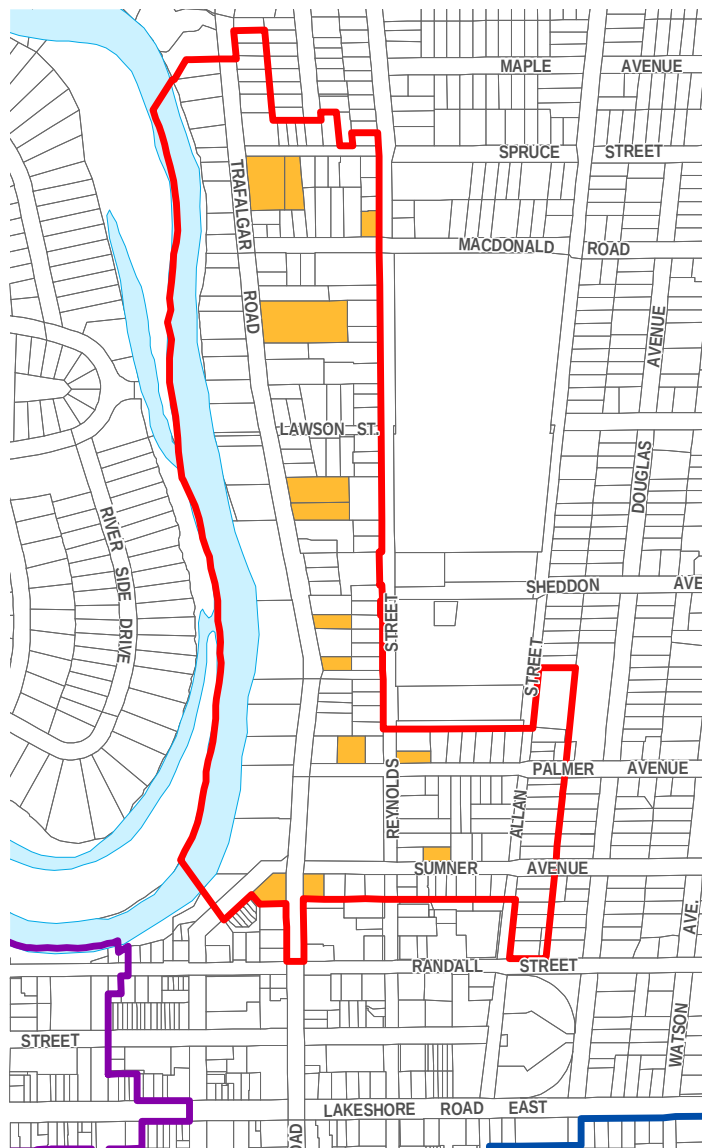


Figure 11: Heritage Conservation Districts, Trafalgar Road district highlighted in red, 2013 (Town of Oakville)



Figure 12: Trafalgar Road, 2018 (EVOQ)



Figure 13: Trafalgar Road, 2018 (EVOQ)

Listed Heritage Properties

A number of listed heritage properties not within the Trafalgar Road Heritage Conservation District are located adjacent to the Subject Property. These include:

- *289 Allan Street*: listed for its potential cultural heritage value as a c1920's Edwardian style bungalow with Arts and Crafts style influences (refer to figures 15).
- *297 Allan Street*: listed for its potential cultural heritage value as a c1912 Edwardian style house with Queen Anne influences and its frame garage.
- *319 Allan Street*: listed for its potential cultural heritage value as a c1920's Four Square style stucco house.
- *362 Galt Ave*: listed for its potential heritage value as a c1920's Colonial Revival style house.
- *311-313 MacDonald Road*: listed for its potential cultural heritage value as a c1910 brick bungalow with Edwardian and Queen Anne style influences, historically associated with L.P. Snyder who developed Tuxedo Park.
- *323 MacDonald Road*: listed for its potential cultural heritage value as a c1915 brick house with Colonial Revival and Arts & Crafts style influences (refer to figure 16).
- *351 MacDonald Road*: listed for its potential cultural heritage value as a c1906 Edwardian style brick house.
- *361 MacDonald Road*: listed for its potential cultural heritage value as a c1914 Craftsman style brick bungalow.

Further listed and designated properties are located on the streets north of MacDonald Road, on Spruce Street, as well east of Allan Street, on Douglas Avenue and Galt Avenue. See figures 17 for map of adjacent heritage resources.



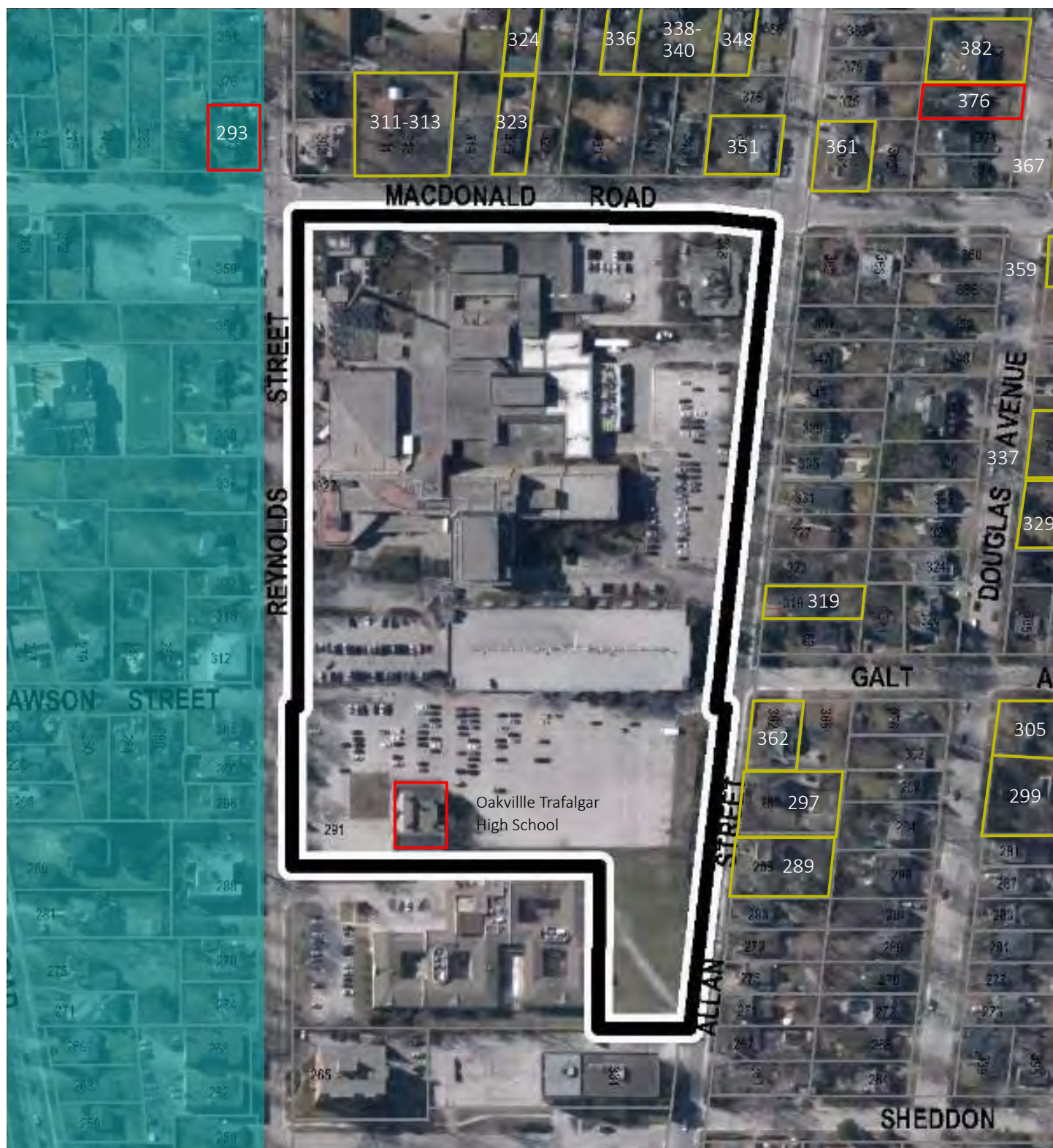
Figure 14: 293 MacDonald Road, 2018 (EVOQ)



Figure 15: 289 Allan Street, 2018 (EVOQ)



Figure 16: 323 MacDonald Road, 2018 (EVOQ)



- Trafalgar Road Heritage Conservation District
- Designated Heritage Properties
- Listed Heritage Properties

Figure 17: Adjacent Heritage Resources (Air Photo, annotated by EVOQ)

2.0 Assessment of Existing Condition

A site visit to the Subject Property was completed on March 2, 2018. The review of its existing condition and context was supplemented by photographic documentation. As per terms of reference, the assessment is regarding the current views of the property, its surrounding context and its landscape features.

The Subject Property is currently fenced and/or hoarded, providing limited views and access into the site. Oakville Trafalgar High School is predominately blocked with hoarding, except for its south elevation, which was publically accessible from the Wyndham Manor Long Term Care property. The building appears to have been mothballed. The parking garage structure was still intact, as with its surrounding surface parking areas and access to the hospital and garage. The hospital building was in the midst of deconstruction, with demolition crews on site at work. The Helen Lawson building was still intact as well. No views into the northeast corner of the property were possible due to the hoarding. Significant landscape features that remain include mature trees that line the perimeter of the Subject Property; a number of them are within the hoarded areas.

There is a slight uphill in the topography, towards the north edge of the site, culminating in the middle of the north edge of the Subject Property. No significant drops or changes in grade were evident. Narrow concrete sidewalks exist along its west boundary (Reynolds Street) and north boundary (MacDonald Road) but not along its east boundary (Allan Street).

The Subject Property sits within a larger context of a mainly low-scaled single detached residential neighbourhood. The exceptions were two multi-unit residential buildings were located along Reynolds Street opposite to the Subject Property. The Wyndham Manor Long Term Care Centre is a two-storey seniors' facility to the property's south. Generally, the surrounding streets are narrow and tree-lined on both sides. There is moderate through-traffic in the area, particularly along Reynolds Street. The surrounding houses exhibit a diverse collection of styles, siting, colours and materiality, often with front yard driveways, and front lawns containing plantings and privacy shrubs and fencing. Refer to figures 18 to 33 for photographs of the property and its surrounding context.



Figure 18: Looking northwards from Allan Open Space with Wyndham Manor Long Care Centre (left) and Parking Structure (center), 2018 (EVOQ)



Figure 19: Facing westwards along Allan Street, rear of Parking Structure, 2018 (EVOQ)



Figure 20: Looking northwards along Allan Street, Subject Property (left), 2018 (EVOQ)



Figure 21: Facing eastwards towards Wyndham Manor Long Term Care Centre; Oakville Trafalgar High School (left), 2018 (EVOQ)



Figure 22: Northwest view of Oakville Trafalgar High School and context, 2018 (EVOQ)



Figure 23: Facing southwards within Subject Property, Oakville Trafalgar High School (left), 2018 (EVOQ)



Figure 24: Facing eastwards within Subject Property, Parking Structure (left), 2018 (EVOQ)



Figure 25: Facing northwards within Subject Property, towards Parking Structure, 2018 (EVOQ)



Figure 26: Looking northwest to Reynolds Street, from within Subject Property, 2018 (EVOQ)



Figure 32: Looking southeast on Lawson Street, towards Subject Property, 2018 (EVOQ)



Figure 29: 289 Looking southwards along Allan Street, Subject Property on the left, 2018 (EVOQ)



Figure 31: Looking northwards on Reynolds Street, Subject Property on the right, 2018 (EVOQ)



Figure 28: 322-326 Reynolds Street, 2018 (EVOQ)



Figure 30: Looking southwards to Subject Property from MacDonald Street, 2018 (EVOQ)



Figure 27: Looking eastwards along MacDonald Road, Subject Property to the left, 2018 (EVOQ)



Figure 36: Looking westwards, along MacDonald Road, Subject Property to the right, 2018 (EVOQ)



Figure 34: Looking southwest from corner of MacDonald Road and Allan Street, towards Subject Property, 2018 (EVOQ)



Figure 35: Looking northeast at corner of MacDonald Road and Allan Street, 2018 (EVOQ)



Figure 33: Looking south along Allan Street, Subject Property to the right, 2018 (EVOQ)

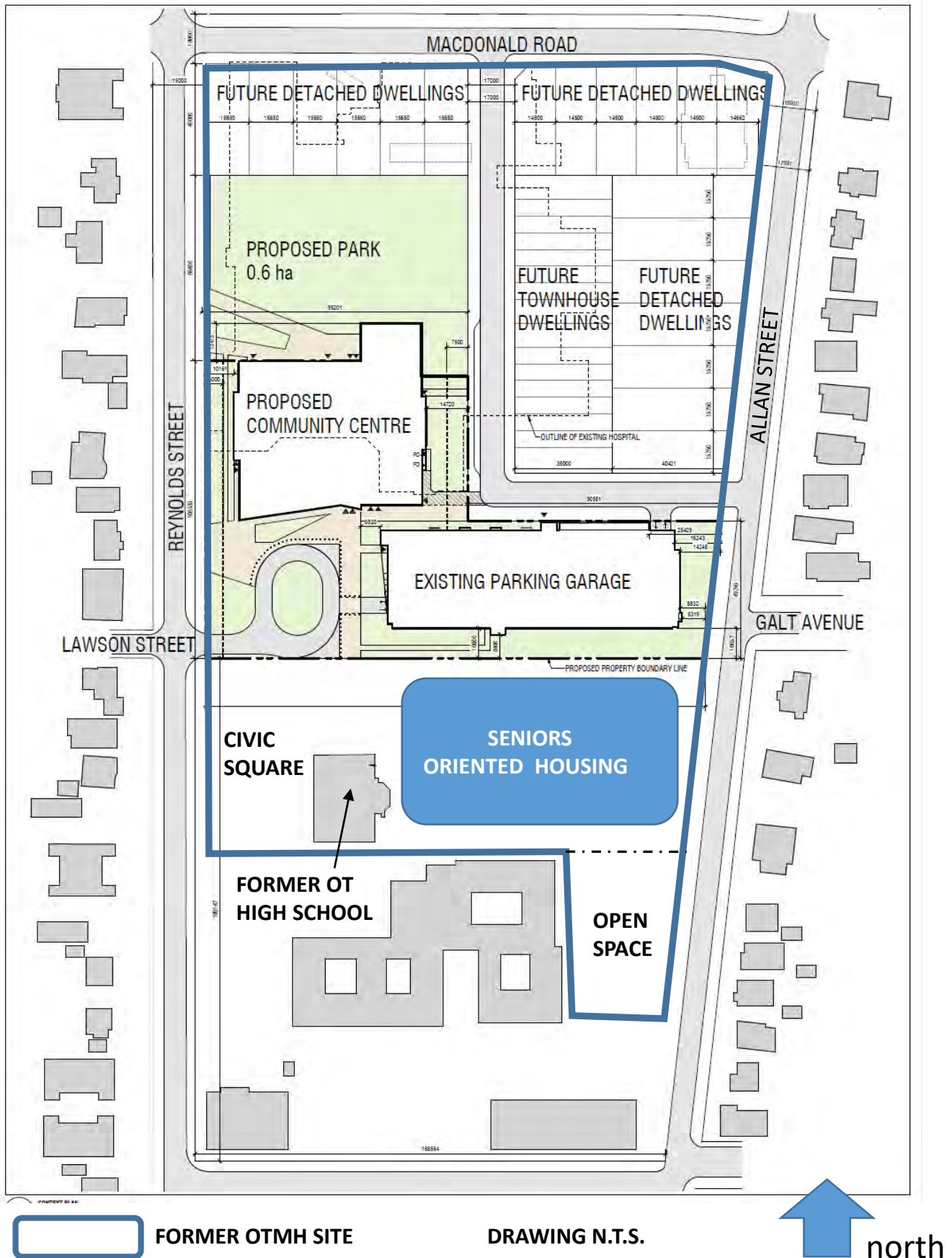


Figure 37: OHMT Draft Development Concept Plan, 2018 (Town of Oakville)

3.0 Description of the Proposed Development

3.1 Masterplan

The current proposed development consists of a masterplan (refer to figures 37 and 38) which will include:

- A L-shaped residential district to the north and east with townhouse and detached housing
- A civic district in the middle with a community centre, park areas, and the existing parking garage
- A seniors-oriented housing district in the south, including a civic space and the existing Oakville Trafalgar High School,
- A park space along Allan Street, and
- Road widening of both Reynolds Street and Allan Street bordering the Subject Site

City Council approved official plan and zoning amendments on Dec. 4, 2017 allowing the implementation of this Council-approved masterplan.



Figure 38: Approved Former Hospital Lands Masterplan (Town of Oakville)

3.2 Residential District

With regards to the residential portion, the Town of Oakville has begun processing a draft plan of subdivision for the residential district at the north of the site (refer to figure 39). This will consist of:

- 19 single-detached dwelling unit lots along MacDonald Road and Allan Road, each approximately 14.5m to 15m wide
- 2 internal blocks of multiple attached dwelling units (16 freehold townhomes)
- A new public street connecting MacDonald Road to Allan Road, servicing the townhome units

The residential block is in subdivision planning phase, and further designs were not available for review. It is understood that the development will be according to applicable Zoning By-laws and Urban Design Guidelines.

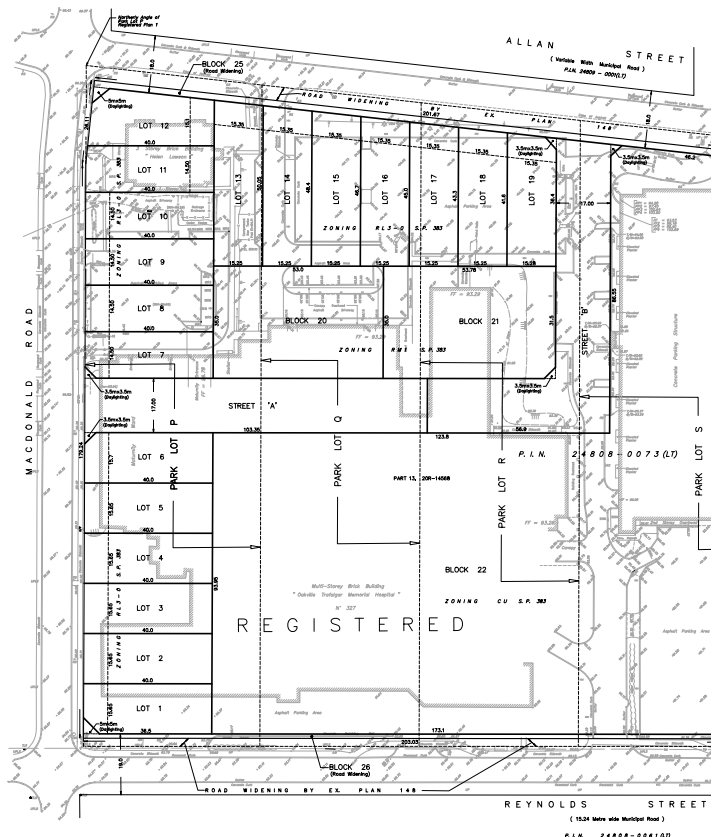


Figure 39: Draft Plan of Subdivision of Residential Block, 2017 (Cunningham McConnell Ltd)

3.3 Community Centre and Park Areas

The civic district block is to include a community centre and park areas. The existing parking garage will remain as part of the new development. The community centre is to contain a double gym, an indoor pool, a therapeutic warm-water pool, fitness centre, aerobic room, an indoor walking track, multi-purpose rooms and offices. Three open space areas have been proposed for this portion of the development within the site, including a new park just north of the community centre, an entry court/plaza to the south of the community centre (west of the parking structure), and a civic square in front of the existing Oakville Trafalgar Hospital Site. (Refer to figure 40, 41, 42, 43, and 44.)

Community Centre

The community centre will be known as the South East Community Centre (SECC). The description of the proposed development is based on provided initial floor plans and preliminary elevations and renderings.

It is a large rectilinear two-storey building, 10 metres high, located midway within the community centre and park block, northwest of the existing parking garage to remain. It is setback from the street approximately 10 metres. Entrance to SECC is accessed from the north and south, connected to the municipal sidewalk and connected to park spaces at its north and south. Initial plans divide the gym and auxiliary areas to the west and the pool areas to the east, separated by the through-access galleria. Within the gym block, the double heightened gym is located at the northwest corner, with an upper mezzanine walking track. To the south are multipurpose and office rooms on the ground floor and fitness/aerobic rooms on the upper floor. Mechanical equipment is located on the upper floor at the southeast corner. The service entrance is accessed along the east elevation, from the new future residential street.

The elevations show flat roof elements articulated to fold down to form walls on the east and west sides. These will be metal panels. Extensive glazing is found along the north and south elevations. In particular, the north elevation features full-width and height glazing, overlooking the new park. The west elevation is punctuated by small narrow windows on the second floor; the north elevation glazing ends at the northwest corner. The south elevations retain a ground floor articulated office area, clad in light-coloured brick. The building sits on a 400mm pre-cast concrete base.

Parking Garage

The existing parking garage structure is to be included in the proposed development. It will remain as a stand-alone structure, separated from the new SECC. The garage will see infrastructure upgrades on the interior, with a new scrim façade its west elevation. New tree plantings on its north, east and south elevations have been proposed to provide screening along the new residential through-street, Allan Street and the proposed seniors' development to the south.

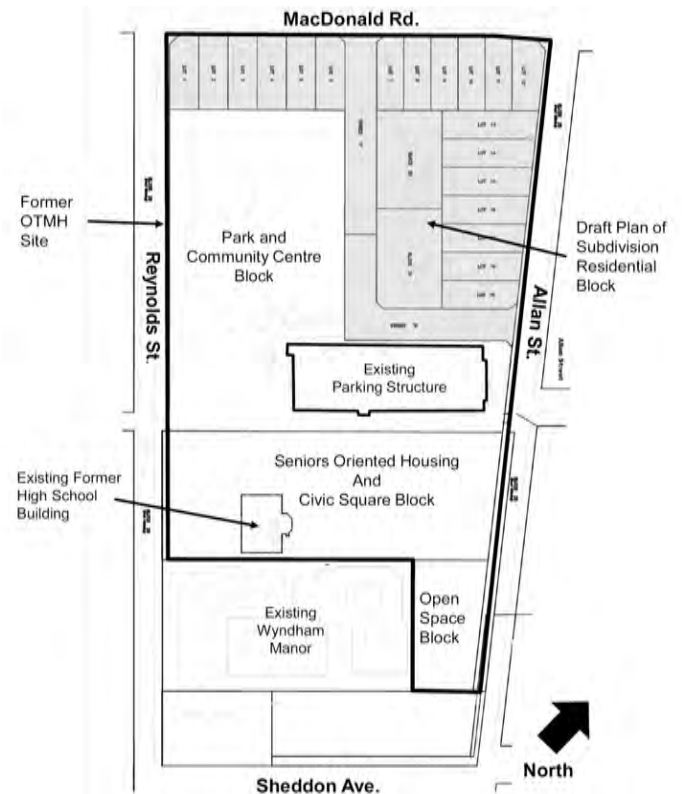


Figure 40: Block Plan, 2018 (Town of Oakville)



Figure 41: Aerial Rendering, North Elevation, 2018 (Diamond Schmitt Architects)



Figure 42: West Elevation, 2018 (Diamond Schmitt Architects)



Figure 43: Aerial Rendering, 2018 (Diamond Schmitt Architects)

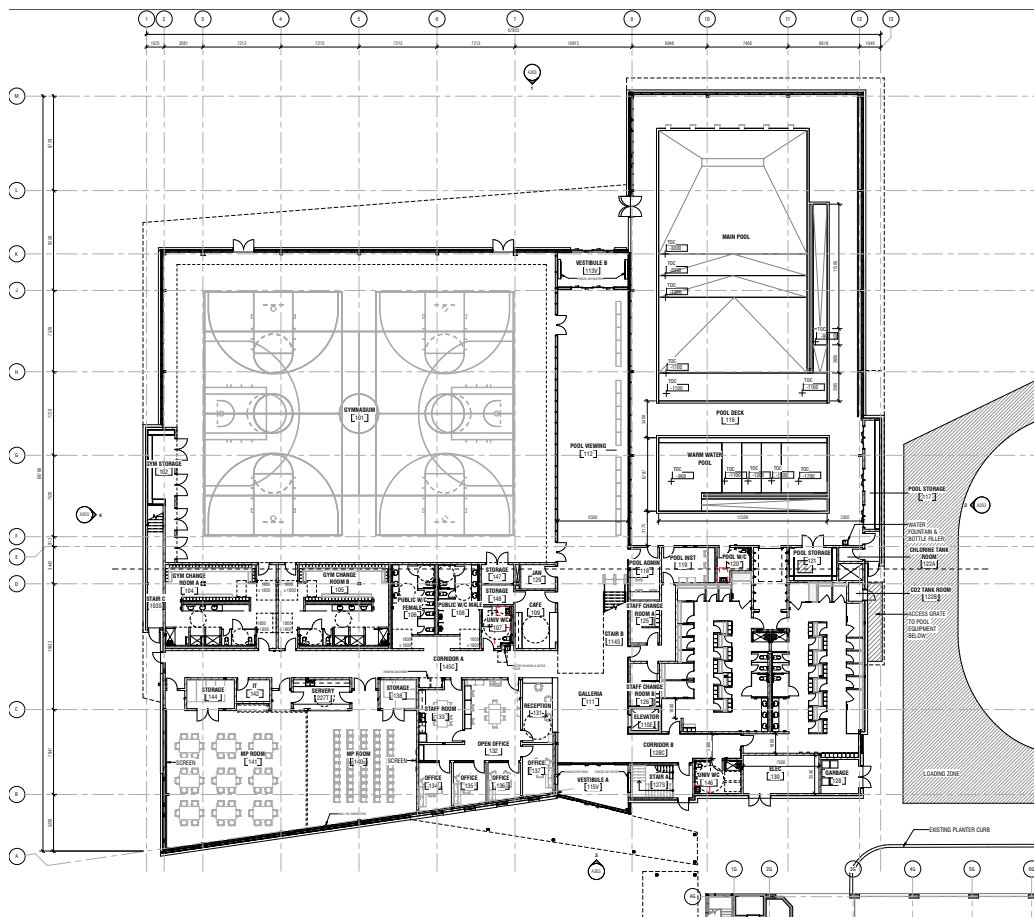


Figure 44: Ground Floor Plan, 2018 (Diamond Schmitt Architects)

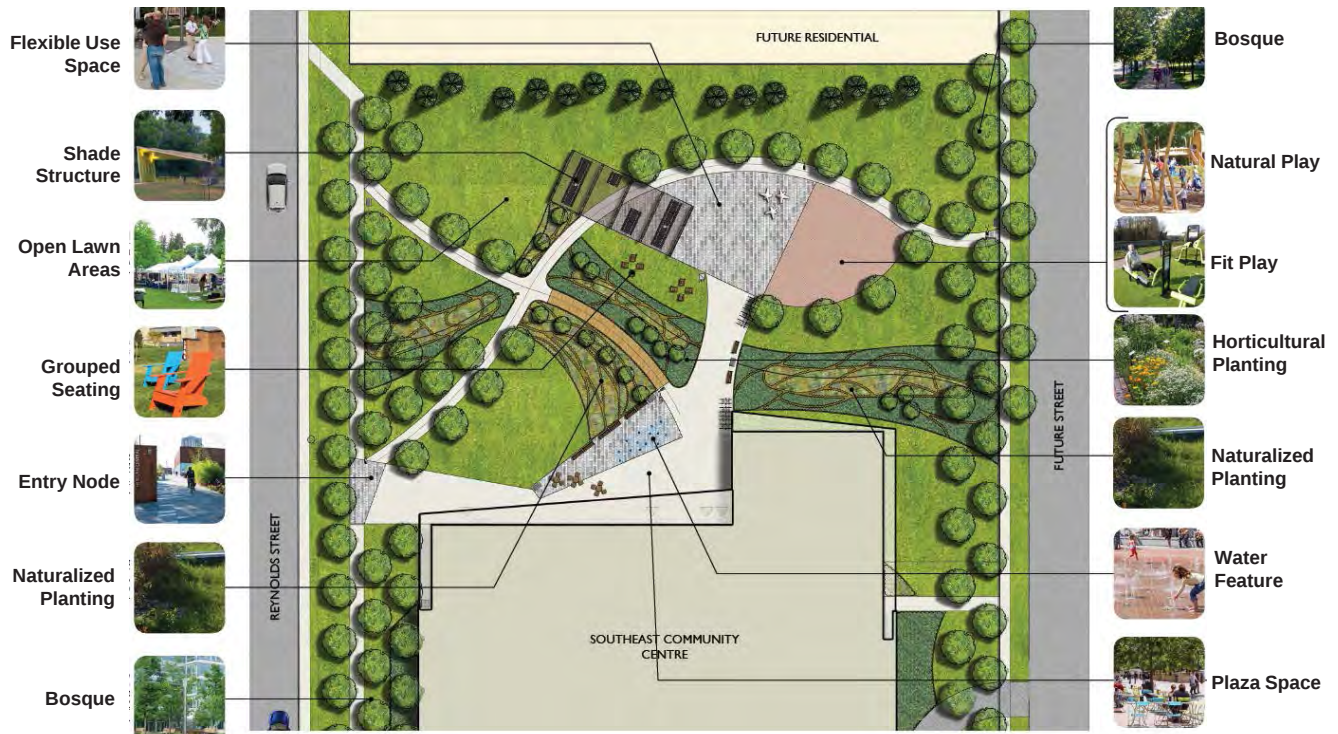


Figure 45: New Park Design - North Side, 2018



Figure 46: Entry Court & Plaza Design - South Side, 2018

New Park

The new park is located in the area just north of the new community centre and south of the low-rise residential. The design incorporates a buffer berm at the north edge of the park, to transition to proposed residential area. It also proposes a row of trees on either side of a sidewalk on both the eastern and western edge of the park, along Reynolds Street and the future residential through-street. A flexible use hard-surfaced space is located in the middle of the park, with a new shade structure, grouped seating, and natural and fit play areas. Through-paths connect Reynolds Street to the new future residential street, framed by plantings, trees and open lawn areas. The landscape will be designed to accommodate storm water infiltration through native and low-maintenance plantings. A plaza space is located at the north entrance of SECC, complete with a proposed water feature. The paving is to be coloured concrete. The park's grading will match adjacent conditions. (Refer to figure 45.)

Entry Court and Plaza

The new entry court and plaza will be located south of SECC and west of the Parking Garage and north of the new proposed Civic Square. It will consist of an entry drive at the south end, from Reynolds Street, leading to the Parking Garage. A drop off/pick-up court will be located north of the drive, leading to a forecourt plaza-space leading to the south entrance to SECC. Proposed seating and soft landscaping features will frame this plaza. The landscape will be designed to accommodate storm water infiltration through native and low-maintenance plantings. Rows of trees will line the sidewalk along Reynolds Street, continuing from the New Park. A transit stop has been proposed along this sidewalk. The paving materials are to match the new park. (Refer to figure 46.)

Civic Square

The Civic Square is located south of the SECC and includes the new Entry Court and Plaza. A drive with a transition area provided at the north edge allows the spaces to work together as a larger civic area with consistent materials and design elements.

The Civic Square design is currently in the conceptual design phase and will change as it is finalized. A heritage approval permit will be required at that stage as well as a Heritage Impact Assessment for Oakville Trafalgar High School. Two concepts were reviewed as part of this HIA. For the purposes of this report, refer to figure 47 for the first concept and figure 48 for the second concept.

In the first concept, its eastern border is aligned with the rear elevation of the Oakville Trafalgar High School, framed with trees. The north-south green link is continued along Reynolds Street, leading to a green space with open lawns, pathways, and trees which transitions to a more formal garden and seating area located in front of the school building, to be a special heritage area. The eastern portion will be a plaza and events space, with a focal feature facing

northwards against the north elevation of the heritage building and facing the main entrance of SECC. The paving materiality will be continued from the parks to its north. It is proposed that the site landscape design will integrate heritage interpretive elements.

The school building will be given prominence in the site. Its west façade along Reynolds Street is to be restored, including the reconstruction of the entrance, with landings and steps. This will not be the primary entrance, as the stairs will not be barrier-free, although it should be noted that the sketch shows a proposed ramp. No further designs have been proposed, with regards to the building and its integration with the seniors' development.

In the second concept, the eastern border is also aligned with the rear elevation of the Oakville Trafalgar High School and framed with trees, with more access towards the proposed seniors' oriented development. There is a north-south green link along Reynold Street, though less access pathways towards the school. The open lawns increase the buffer space between the heritage building and Reynolds Street. A small formal plaza is centred on the front entrance to Old Trafalgar High School Building, noted as a 'Special Heritage Area & Seating'. It is proposed that the site will integrate heritage interpretive elements. The main entrance is to be reconstructed; no ramp or stair landings have been shown in this scheme. This formal landscaped area rounds the corner to the north elevation, opening to a small plaza and events space. The focal feature of the plaza faces southwards towards the building, framing the plaza and separating it from the Entry Court to its north with additional landscaped elements. The paving materials will be continued from the parks to its north.

In this scheme, the school will also be given prominence in the site. Its west façade along Reynolds Street is to be restored. However, the main entrance reconstruction is not detailed, with no indication of barrier-free access. There is also no indication of integration with the seniors' development.

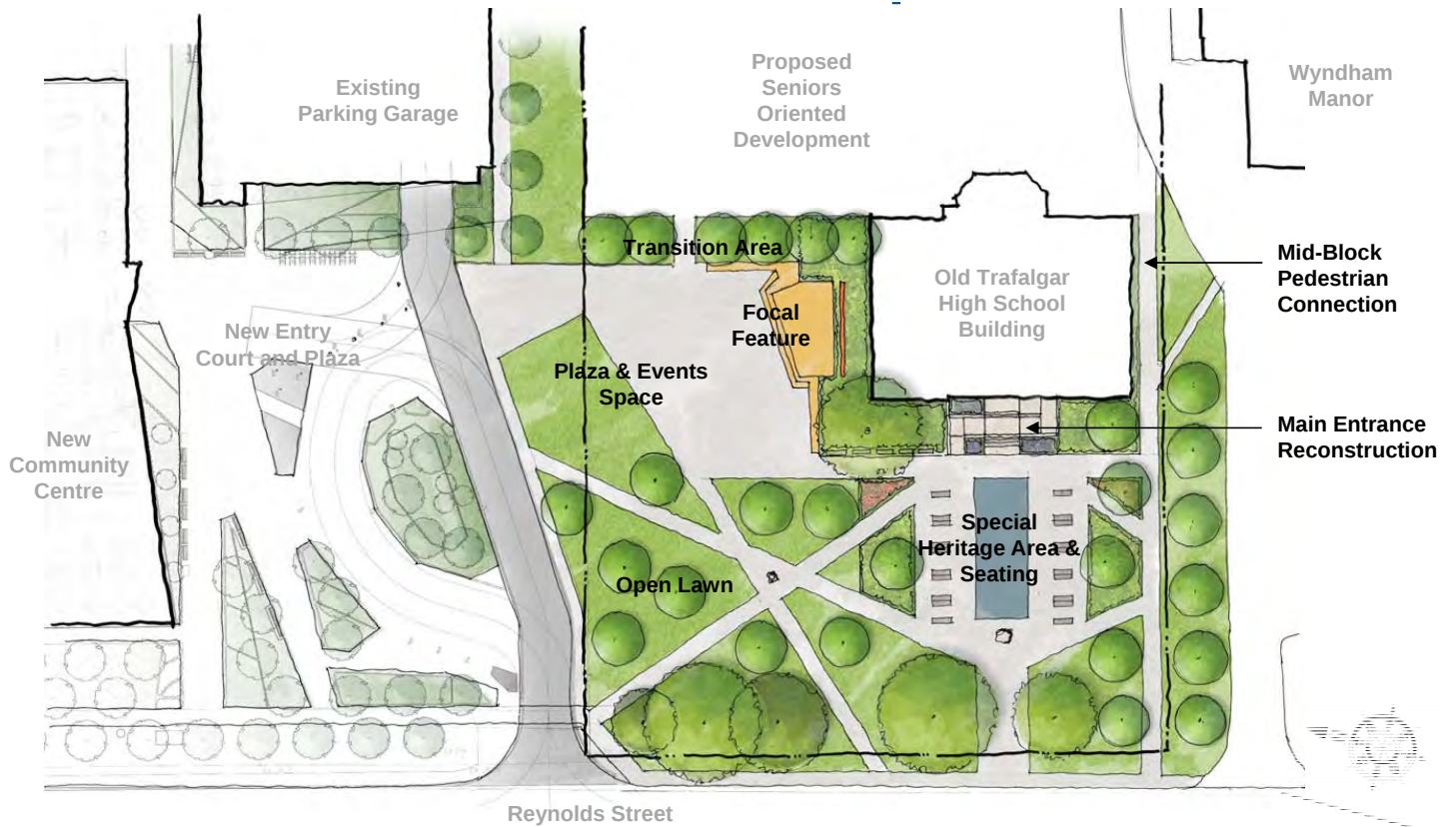


Figure 47: Civic Square Concept 1, 2018



Figure 48: Civic Square Concept 2, 2018

3.4 Proposed Seniors Oriented Development

The masterplan outlines a seniors-oriented development, noted to be housing. Along with this development will be the review of the Allan Street Open Space Block, adjacent to the Wyndham Manor Long Term Care Centre. Currently this is in a masterplan phase, and no designs of the development were available for review. The planning memo indicated the development will be accessible from Allan Street and a composition of smaller low-form massing envisioned, integrating the historic school within its development. The intention is to design the new development to frame and respond to the existing heritage resource, with a lower form massing along the street frontage, as well as provide some distance to the parking structure and a connection to the new public spaces. The site-specific by-laws indicate that there is a maximum height limit of 4 storeys, accommodating approximately 35 independent dwelling units based on the block size. A conceptual design for the Allan Street Open Space Block has been created.

Regarding the Oakville Trafalgar High School, there is currently no proposed development as of yet regarding the building, except as outlined in the civic square. Section 4.0 will provide an analysis with respect to the park proposal on the high school building and Section 5.0 will provide guiding principles for the future development as part of the senior's oriented development.

Allan Space Open Street Block

The conceptual design is proposed for use by nearby residents, caregivers, visitors and families, and is intended to respond to seniors' needs within public spaces. Sloping paths, diverse seating areas, walking loops, gardens, and defined landscaping have been provided. It is also to be connected to the larger park system, such as the civic square and new park to its north. (Refer to figure 48.) This space will also be connected to the larger park system. There will be a mid-block connection to the Civic Square and New Park to its north and a connection to Wallace Park to its south.

3.5 Demolition and Remediation

Concurrent with the masterplan and draft plan for subdivision is the demolition and remediation of the Subject Property. The demolition has been approved for the former Trafalgar Memorial Hospital building and the Helen Lawson Building, with abatement work being completed on the structures. Demolition is ongoing as of February 2018.

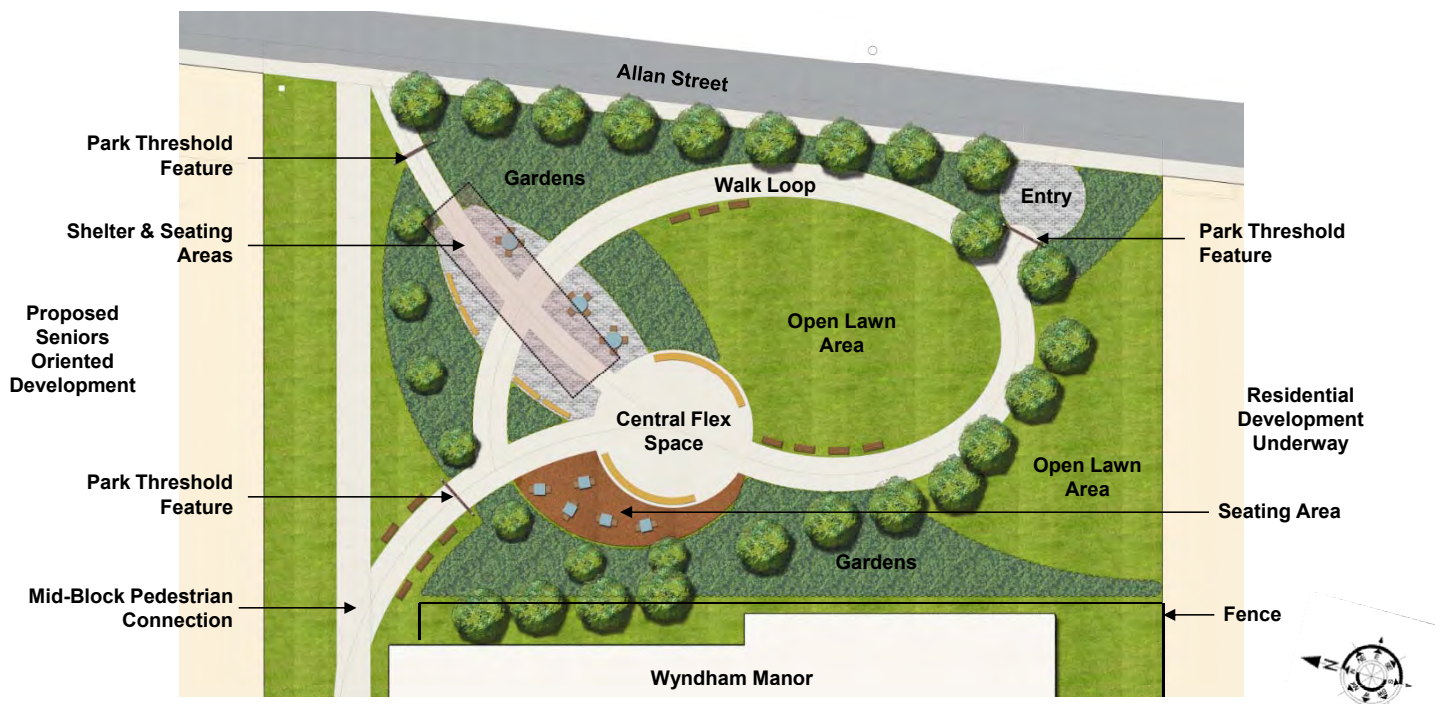


Figure 49: Allan Street Open Space Block Concept (2018)

4.0 Impact of Development on Adjacent Heritage Resources

There are three classifications for the impacts that a proposed development may have on an identified cultural heritage resource: positive, neutral or negative. Positive impacts may include retaining a property or element of cultural heritage value; protecting it from loss or removal; maintaining or restoring heritage attributes; or constructing sympathetic alterations and additions. Negative impacts may include the demolition or removal of heritage attributes; alterations that are unsympathetic or incompatible; the isolation of a cultural heritage resource from its setting or context; and the obstruction of heritage attributes. Neutral impacts have neither positive nor negative effects on the cultural heritage resource.

These impacts may in turn be direct, when a development physically or aesthetically alters a cultural heritage resource, or indirect, when a development affects the character and expression of an adjacent or nearby cultural heritage resource.

4.1 Impact on properties within Trafalgar Road Heritage Conservation District and listed properties

With regards to the heritage district and surrounding listed properties, the impacts reviewed are indirect and relate to the relationship with the surrounding heritage cultural resources. It should be noted that the property currently consists of a large hospital complex with a lot coverage that is larger than the proposed development. The existing development is also distinct as part of a larger institutional block within this historic neighbourhood.

Generally, the impacts are neutral. The new proposal is respectful of the existing topography and aims to comply with the existing grading.

The proposed residential subdivision block to the north responds to the character and lot fabric of its context by concentrating low-density single-detached lots along MacDonald Road and Allan Street to complement the adjacent residential neighbourhoods. The medium density block is located internally within the development, neutralizing its shadow and views impact on the heritage resources. However, there is an impact of increasing the residential density on one side of the street in comparison to the other side. The narrower lot frontages are more evident, particularly along MacDonald Road. On the north side of MacDonald Road, there currently are 9 lots with varying widths. The development on the south side of MacDonald Road is proposing 12 lots and a new public road entrance. The increased density has less impact along Allan Street, as the lot frontages are more in keeping with the existing lots on the east side of Allan Street. It appears that the side yard and front yard setbacks are in keeping with existing residential neighbourhood. However, no maximum number of storeys has been provided within the zoning by-law; only the maximum height of 12 metres is provided. This may impact the visual consistency of the new development with existing cultural heritage resources. Mitigation guidelines regarding this development have been noted under Section 5.0.

The new parks and community centre proposal is compatible to the residential nature of adjacent properties, with a 10 meter high building design that does not exceed the height of the existing parking garage to remain. Its principal elevation along Reynolds Street is set back 10 metres from the street, allowing for a tree-lined boulevard to be developed. The key landscape features of the cultural heritage resources are the street trees, the sidewalks, open lawns, and the private landscapes such as hedges and shrubs, providing an intimate scale and visual interest to the streetscape. The proposed tree-lined grass boulevard between the edge of road curb and the public sidewalk along Reynolds Street is suitable as this element is found on many streets within the neighbourhood, and maintains the tree canopy that is a distinct element of the district.

Careful development of this proposal will be required, with regards to landscape planting and tree selections. It should be noted that the proposal does not retain existing mature perimeter trees; they are removed and new trees planted. This may be due to the road widening of both Reynolds Street and Allan Street and introduction of sidewalks along Allan Street. A temporary negative impact will occur during the maturation period of the new trees, during which the character of the streets with a double sided tree canopy will no longer be legible.

The seniors' housing development generally responds to the character of surrounding heritage resources, with its intention to provide a lower-formed massing along Allan Street, where it sits across from existing small scaled houses. As development of the design is furthered though, potential negative impacts may arise from siting, scale, and shadows effect. Mitigation strategies are outlined in Section 5.0.

4.2 Impact on Oakville Trafalgar High School

The impacts reviewed are both direct and indirect. Direct impacts include interventions proposed as part of the new Civic Square and those proposed in the planning memo. Indirect impacts relate to the remaining development on the heritage building.

Generally, the proposed development is sympathetic to the heritage building. Both civic square concept plans detail a new park space to the north and east of the heritage building, preserving its current orientation and siting to Reynolds Street.

In the first scheme, the building's north, east and south elevations will remain intact, allowing its massing to be articulated and understood. The building forms the focal point of the square layout and design. The symmetry of the original building is emphasized with a formal promenade centered to the building. This will be enhanced with the reconstruction of a single grand entrance with landings and steps as noted in the text of the Park and Open Space Concept Development PDF document and planning memo. These documents also note that it may not be the primary entrance to the ground floor of the building, as it may not be barrier free. The concept drawing, however, shows a barrier-free ramp incorporated with the stairs. This is acceptable if the impact of the ramp is mitigated by integrating it sensitively with the stairs, respectful of the main façade, and using the compatible materials. The focal feature is also located against the north façade of the heritage building which blocks the elevation. The design of the focal feature should neither detract from nor block the views to the school.

In the second scheme, the buildings' north, east and south elevations are also intact and forming the focal point of the square layout. The promenade to the heritage building appears more constricted, with a tighter front landscaped area and extensive plantings of trees and gardens which may block the views of the heritage building from afar, from both Reynolds Street and the Entry Court and SECC. The continuous tree planting right against the building should be reconsidered. The footpaths and landscaping are rigidly aligned and orthogonal and may not take into account desire paths for access from the rest of the site to the Civic Square. The main entrance in this scheme will also include the reconstruction of the main entrance though there is no indication of any barrier-free access or ramp included in this concept. The focal feature is located to the north of the plaza and events space along the entry court drive; its height may impact the views to the heritage building.

Historically, a north entrance wing was located at the northeast corner of the building, which may provide direction in detailing this entrance. Currently, both concepts show a row of trees and landscape features in front of the north elevation, which impacts the reinstatement of this entrance. Both concepts also show landscaping

and tree design precluding the potential for the new senior's development views and access into the Civic Park. Consideration should be made in final Civic Square design to address the reintroduction of the north entrance of the school building and potential views and access as part of the seniors' oriented development.

The siting of the new community centre and the park spaces, including the location of an entry court north of the Civic Square, allow the views of the school to be maintained and read from afar. The community centre entrance is directed north/south towards the heritage building, opening a connection to the development on the north of the site.

The planning memo makes note that the building's heritage attributes, such as form, footprint, rooflines, and its materiality (brickwork, stone detailing, and copper eavestroughs) will be maintained and restored, and new windows matching historic patterns to be installed. Its asbestos-containing cement fish-scaled roofing tiles will need to be replaced, but will be mitigated with a sensitive replacement. Thus, these interventions allow the building's heritage attributes to be conserved. Heritage interpretation has also been proposed to be located within the Civic Square.

The site-specific planning policies outline acceptable uses for the heritage building. These include seniors-oriented residential units, offices, community use or any combination thereof. This change of use does not negate the property's cultural value.

It is noted though, that no further interventions have been detailed with regards to its connection to the seniors' housing; guiding principles and further mitigation strategies are outlined in Section 5.0.

The impact of the remaining development on the heritage building is negligible. There are no shadow effects from the new community centre or park structures that will affect the heritage building. The new development also does not obscure the principle views of the building; no change of grading around the development is foreseen such that it will have a negative impact.

4.3 Overall Impact

Overall, the proposed development will have limited negative impacts on the adjacent cultural heritage resources. These impacts include increased density within the residential block, an imbalance of lot frontages along MacDonald Road, and the changing of the tree-lined character of Reynolds Street and Allan Street due to road widening. These impacts may be addressed through mitigation strategies.

Maintaining the existing parking structure within the new development scheme has a neutral impact, as it does not have either a positive or negative impact on existing adjacent heritage resources.

Positive impacts include the more sympathetic development of the site compared to the existing hospital complex. The scale and massing of the new community centre, residential neighbourhood and proposed seniors' development is more in keeping with the surrounding neighbourhood. The provision of park areas with appropriate plantings allows the heritage landscapes of the area to be maintained. The new civic space centered on the heritage building and its intent to restore through an adaptive reuse design program allows its heritage value to be preserved. Regarding Oakville Trafalgar High School the reintroduction of the front entrance and landscape design with respect to a potential north entrance to Oakville Trafalgar High School will have a positive impact.

The proposed development is compatible within its historic context and with the existing Oakville Trafalgar High School. Various mitigations are proposed to limit the negative impacts as the development is further designed.

5.0 Considered Mitigation and Conservation Strategies

The proposed development in its current form poses limited negative impacts to the surrounding cultural heritage resources. The mitigation strategies described below are precautionary in nature and outline ways in which potential negative impacts can be avoided during the future design and construction processes. The conservation strategies provide guiding principles for the development of the residential block and the seniors' oriented block, inclusive of the reuse of Oakville Trafalgar High School.

5.1 Considered strategies for the residential block

With regards to the residential development, it is important that the building forms, scale, detailing and siting responds to the existing character of the neighbourhood, and are complementary to the adjacent heritage existing buildings and structures.

For the single-detached housing, strategies should include:

- Siting new housing in keeping with the varied setbacks of adjacent properties. Existing adjacent heritage resources exhibit a variety of setbacks, which is distinctive character of the area.
- The new detached houses should also match their heights to existing adjacent residential buildings, and maintain proportions reflective of existing streetscape rhythm. Though not prescribed within the zoning by-law, these houses should be consistent in number of storeys and height to adjacent houses in the neighbourhood.
- Provide a wide variety of house designs, such that one design is not repeated along the street, in keeping with the character of the neighbourhood.
- The houses at corner lots will need equal detail on both its primary and flanking elevation, to ensure continuity of the character of the neighbourhood.
- The massing of the houses' elements should be scaled and composed to integrate into existing heritage context.
- Roof types and rooflines should reflect the character of the neighbourhood. Flat or shallow roofs are not recommended; it will also visually bulk and change the proportions of the massing.
- Locate driveways and accessory structures in keeping with existing character of the neighbourhood, generally to the side and rear of the house structures.
- Front lawns should be landscaped, and mature trees preserved; new trees should be planted to maintain the double-sided tree canopy.

- It is recommended that the exterior cladding of these new houses reflect the typical materials found within the neighbourhood, such as brick, stucco or wood cladding, and draw from existing colour schemes.

These strategies build upon those referenced within the planning memo. Refer also to the *Design Guidelines for Stable Residential Communities* by the Town of Oakville. The guidelines regarding lotting patterns, scale, architectural context, massing and composition, heights, setbacks, materiality and landscape are important as they impact the adjacent heritage context.

For townhomes, strategies should include:

- Designed to retain similar materiality and colours of the surrounding neighbourhoods, as there will be views to and from surrounding heritage resources.
- Rooflines and roof types should be of the prevailing types within the neighbourhoods, as that element will be most visible.
- Heights of the townhomes should not exceed that of the adjacent community centre and parking structure, which are approximately 10 metres high.

For landscape, strategies should include:

- Existing mature trees should be retained as much as possible, as it currently assists in defining the adjacent heritage landscapes.
- New trees should be planted to maintain the streetscape and set back from the same distance as the existing trees, to ensure the street tree line remains intact.
- The range of species historically found within the district should guide the selection of the new trees; these include species such as sugar maple, silver maple, ash and oak. Landscape monitoring and pruning will be required. Planting hedges and shrub borders are also common within the neighbourhood and may be a guiding principal during further development of the park spaces and entry access, to filter the view from the street. Refer to *Trafalgar Road Heritage Conservation District Plan* for suggested plant materials.

5.2 Considered Strategies for Oakville Trafalgar High School

In general, the proposed interventions are responsive to the heritage building. In addition to the elements noted in Section 4.0 to be restored,

- The existing northwest and southwest corners of the building should be reinstated.
- The rainwater and eavestroughs system are to be repaired or replaced, to ensure no further water damage will deteriorate the existing brick cladding and that water will drain away from the building.
- Extensive brick repairs and replacements will be required, to ensure cladding on all elevations is restored.
- The existing fenestration patterns should be maintained.
- Regarding the main entrance, it is recommended that the covered portico be reinstated. The introduction of the ramp, should it be included, may be mitigated using similar materials and to be in proportion to the building.
- The windows on either side of the entrance should be reinstated, as per original historic photos.
- Windows should match original sash patterns.
- Roof replacement will be required, and research should be completed to ensure a compatible modern replacement. Further research into the colour schemes should also be completed, as there are archival documents showing a red-coloured roof.
- Historic photos also show a narrow north entrance gabled wing to the building, with a canopied entrance, stairs leading to a landing, and windows above. Re-introduction of this entrance is recommended as part of the adaptive reuse of the building.
- Final landscape design and plantings of the Civic Square should be reviewed as part of the adaptive reuse of the building. One of the proposed concepts details a raised platform and a row of mature trees are located quite close to the north façade. The other concept details trees and landscaping in front of the façade. Both currently block access and views to the north elevation. Refer to figures 50 & 51 for historic images of the north entrance and figure 52 for sketches of proposed developments at the north façade of the heritage building.

The restoration work should be completed by experienced heritage trades, under the direction of a heritage professional, to ensure proper detailing and building construction techniques are compatible with the existing



Figure 50: Inset of Historic Image of Oakville Trafalgar High School, undated (Town of Oakville)



Figure 51: Historic Image of Oakville Trafalgar High School, undated (Town of Oakville)

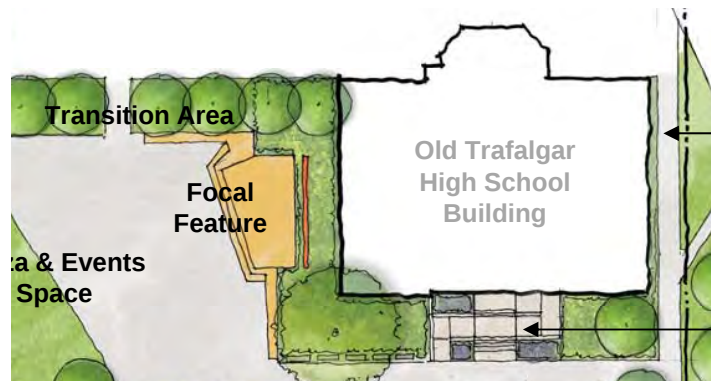


Figure 52: Inset of Civic Square Concepts (2018)

heritage building. Careful documentation of work regarding heritage materials will be required throughout the process.

In terms of guiding strategies for the seniors' development,

- The articulated massing of the heritage building should be maintained, including the rear elevation in an understandable fashion, such that it can be read as a whole, inclusive of its rooflines and eaves, its gables and four chimneys. A connection between the heritage building and the seniors building is possible, but it should not abut right to the corners or the roofs; the heritage building should be legible as its own massing.
- The new extension should be respectful of the existing rooflines and match height of heritage building where it is adjacent; no cantilevers above the building should be contemplated. The 1923 rear addition may be removed, should it be required.
- For the massing facing Allan Street, it should be in scale and proportion to the adjacent heritage resources, articulated in smaller massing and maintaining materiality and colours of the neighbourhood. Stepping back of the upper storeys is recommended.
- The materiality of the new development should be compatible with the existing heritage building.
- The axiality and symmetry of the heritage building should be maintained and enhanced.
- Existing mature trees should be retained; new trees should be planted to maintain the streetscape. Planting species should be reflective of existing within the surrounding heritage neighbourhood.

No notes have been made regarding Oakville Trafalgar High School's interior spatial organization or interior finishes that may be heritage attributes. Heritage mapping of the building should be completed as an exercise to understand the potential for the adaptive reuse of the building, with regards to its allowed uses outlined in the site-specific bylaw. It is noted that a building condition assessment report is underway regarding the condition of the heritage building.

Proposed heritage interpretation has been located within the Civic Square. Additional historical research should be completed and the development should work closely with the Town of Oakville to craft an appropriate interpretation strategy. Potential for interior interpretation should also be explored, which may be accommodated within the historic building.

A comprehensive heritage conservation plan is recommended. It would build upon the building condition assessment and include the heritage mapping and historic research which will inform its conservation and guide the potential adaptive reuse of the building.

5.3 General Mitigation Strategies

Although no negative impacts are foreseen to the surrounding cultural heritage resources of the Subject Property, precautions must be taken to ensure that no temporary or permanent negative impacts will occur during the construction or post-construction phases of the development.

Careful phasing and scaffolding of work is required, to ensure proper protection of surrounding properties, such that no loose debris or tools will inadvertently damage them. Shoring and excavation work should be deliberate to prevent any land disturbances, such as a change in grade that will alter drainage patterns or adjacent soils that would adversely affect the nearby cultural heritage resources. The effects of vibrations during excavation and construction should also be considered so as not to damage the foundations of the cultural heritage resources.

Should any concealed materials or systems that may potentially be heritage in nature be discovered within the site during work, activities should be halted at that location immediately and a qualified Heritage Consultant should be notified.

Additional reports are recommended once the designs of the residential units and the seniors housing integrating the Oakville Trafalgar High School are finalized. The first would be a heritage impact assessment regarding the residential development's impact on adjacent heritage resources. The second would be a heritage impact assessment regarding the seniors' development on both Oakville Trafalgar High School and surrounding adjacent cultural heritage resources.

6.0 Conclusion

The proposed development was analyzed and reviewed for any impacts on its surrounding heritage cultural resources. Overall, it does not have a negative impact, as no direct loss or removal of heritage attributes are foreseen in the proposed development. The potential negative impacts of the residential development should be mitigated by the considered Strategies that have been provided to guide the potential future development of the masterplan and to ensure that the surrounding cultural heritage resources remain protected throughout the future development and construction phases.

The proposed development conforms to the policies outlined in the heritage framework by conserving the surrounding cultural heritage resources and by preserving their integrity. The heritage attributes and character of the surrounding heritage properties will not be negatively impacted, and their prominence within the neighbourhood will be maintained.

APPENDIX A

Terms of Reference

TERMS OF REFERENCE FOR THE FORMER
HOSPITAL SITE PROJECT
HERITAGE IMPACT ASSESSMENT

ISSUE DATE: FEBRUARY 2018

	Terms of Reference for the Former Hospital Site Project Heritage Impact Assessment
Description	This heritage impact assessment is a study to determine the impact of the proposed development of the Former Hospital Site Project, including new community centre, parks and draft plan of subdivision, on the cultural heritage value of the adjacent designated heritage resources, namely the Trafalgar Road Heritage Conservation District and the former Oakville Trafalgar High School, and to recommend an overall approach to the conservation of the resources. The study will be based on a thorough understanding of the significance and heritage attributes of the cultural heritage resources, identify any impact the proposed development or alteration will have on the resources, consider mitigation options, and recommend a conservation strategy that best conserves the resources within the context of the proposed development. The heritage impact assessment will apply conservation principles and recommend methods to avoid or mitigate negative impacts to the cultural heritage resources. Minimal intervention should be the guiding principle for all work. It is noted that the former Oakville Trafalgar High School is to be re-developed in the future with its anticipated use as seniors-oriented housing. The re-development plans for the former school will be considered through a separate feasibility study and/or heritage impact assessment. While the former Oakville Trafalgar High School is part of the Former Hospital Site Project, for the purpose of this heritage impact assessment, it should be treated as an adjacent heritage resource. Analysis/evaluation of any impacts on the former school should include a review based on the existing site conditions as well as providing guiding principles for the former school's future development to ensure compatibility both with the historic structure and the overall Former Hospital Site Project.
Prepared by	This analysis will be prepared by a qualified heritage specialist. Applicants may refer to the Canadian Association Heritage Professionals (CAHP) at www.caphc.ca, which lists members by their specialization.
When Required	In accordance with the heritage conservation policies in the Livable Oakville Plan, this heritage impact assessment is required because the proposed development is:

Town of Oakville Terms of Reference: Former Hospital Site Project Heritage Impact Assessment

	▪ on, adjacent to, or in the immediate vicinity of, an individually designated historic property; ▪ within, adjacent to, or in the immediate vicinity of, the boundaries of a Heritage Conservation District.
Rationale	The <i>heritage impact assessment</i> is required in order to: ▪ determine compliance with relevant cultural heritage policies ▪ assist staff with their analysis and report preparation The rationale for the requirement for the heritage impact assessment arises from: the <i>Ontario Heritage Act</i>; Section 2(d) of the Planning Act; Section 2.6.3 of the Provincial Policy Statement (2014); Section 5.3.4 of the Livable Oakville Plan.
Required Contents	This <i>heritage impact assessment</i> will contain the following: Introduction to Development Site ▪ a location plan and current site plan of the property ▪ a written description of the property, its location and surroundings, including the heritage status and attributes of the development site and adjacent properties Assessment of Existing Condition ▪ current photographs of the property, including: ▪ views of the area surrounding the property to show it in context with adjacent properties ▪ views of the property including all significant landscape features Description of the Proposed Development ▪ a written description of the development proposal ▪ any plans and drawings provided by the town Impact of Development on Adjacent Heritage Attributes ▪ a discussion of the potential impacts the proposal may have on the adjacent heritage attributes ▪ negative impacts on cultural heritage resources may include: ▪ destruction of any, or part of any, significant heritage attribute ▪ alteration that is not sympathetic to the heritage attribute ▪ shadows created by new development that alter the appearance of or change the viability of a heritage attribute ▪ isolation of a heritage attribute from its surrounding environment, context or significant relationship ▪ direct or indirect obstruction of significant views or vistas ▪ a change in land use which negates the property's cultural heritage value

	- land disturbances such as a grade change that alters soils and drainage patterns that adversely affect a cultural heritage resource Considered Mitigation and Conservation Strategies - an assessment of alternative options, mitigation measures and conservation methods that may be considered in order to avoid or limit the negative impact on the cultural heritage resources - alternatives and strategies should have consideration for relevant cultural heritage policies: - Provincial Policy Statement (2014); - Growth Plan for the Greater Golden Horseshoe (2017) - Livable Oakville Plan; - Trafalgar Road Heritage Conservation District Plan - Designation By-law 1991-011 - guiding principles for the future development of the former Oakville Trafalgar High School, which is to be re-used as seniors-oriented should be designed in order to be complementary and sympathetic to the historic building. This could include guiding principles on how to integrate the building into future development or how to consider new development adjacent to the historic building - if required, recommendations for additional studies to be undertaken related to, but not limited to: restoration specifics, design guidelines, interpretation and commemoration, lighting, signage, landscaping, structural analysis, additional written and photo documentation prior to demolition Appendices - a list of sources consulted - a summary of the author's qualifications
Format	The study will be submitted in hard copy (2 copies) and in PDF format.
Comments	It is expected that the preferred protective and mitigative measures will be consistent with recognized standards for heritage conservation, including: - Ontario Ministry of Tourism and Culture's <i>Standards and Guidelines for Conservation of Provincial Heritage Properties</i> - Ontario Ministry of Tourism and Culture's <i>Eight Guiding Principles in the Conservation of Historic Properties</i> - Ontario Ministry of Tourism and Culture's <i>Heritage Conservation Principles for Land Use Planning</i> <i>Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation</i> - the Parks Canada <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i>

Town of Oakville Terms of Reference: Former Hospital Site Project Heritage Impact Assessment

	▪ the <i>Appleton Charter for the Protection and Enhancement of the Built Environment</i> ▪ the <i>International Charter for the Conservation and Restoration of Monuments and Sites</i> (the Venice Charter) Online Resources: http://oakville.ca/business/heritage-planning.html http://www.mtc.gov.on.ca/en/heritage/heritage.shtml http://www.pc.gc.ca/docs/pc/guide/nldclpc-sgchpc.aspx http://www.international.icomos.org/charters/appleton.pdf http://www.icomos.org/venice_charter.html
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APPENDIX B

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APPENDIX C

Qualifications

DIMA COOK
OAA, OAQ, CAHP, RAIC, LEED AP



DIMA COOK

Senior Architect, Senior Associate

OAA, OAQ, CAHP, RAIC, LEED® AP

PROFESSIONAL EXPERIENCE

22 years of experience in architecture

With the firm since 1998

PROFESSIONAL AFFILIATIONS

Ontario Association of Architects (OAA, 7285), 2012

Quebec Order of Architects (OAQ, A3987), 2000

Canadian Association of Heritage Professionals (CAHP), 2015

LEED® Accredited Professional, 10640912), 2009

Association for Preservation Technology International (APT))

Royal Architecture Institute of Canada (RAIC))

EDUCATION

Master of Project Management, University of Montreal, Montreal, QC, 2002

Bachelor of Architecture, McGill University, Montreal, QC, 1995

Bachelor of Science (Architecture), McGill University, Montreal, QC, 1993

LANGUAGES

English | French

CAREER SUMMARY

Dima Cook has extensive experience in heritage conservation, construction and project management. She is recognized for managing large, complex projects from early design to contract administration. As a Senior Associate of the firm, Dima was responsible for opening and directing the firm's Toronto office in 2012. She is LEED AP accredited and serves as the firm's sustainability advisor. Dima continues to lecture and participate in peer review committees. She has been the co-chair of the APT Sustainable Preservation Sub-Committee on Climate Change since 2011 and was appointed to the City of Toronto Design Review Panel as Heritage Representative in 2014.

SELECTED PROJECTS

Laird Drive Focus Area CHRA, Toronto, ON

Client: City of Toronto | Duration: 2017 - ongoing | Cost: n/a | Development of the Cultural Heritage Resource Assessment | Role: Project Manager

Casa Loma HCD Study, Toronto, ON

Client: City of Toronto | Duration: 2017 - ongoing | Cost: n/a | Development of the Heritage Conservation District Study | Role: Project Historian

Baby Point HCD Study, Toronto, ON

Client: City of Toronto | Duration: 2017 - ongoing | Cost: n/a | Development of the Heritage Conservation District Study | Role: Project Manager

Fire Hall No. 311 & 312, Toronto, ON

Client: City of Toronto | Duration: | Cost: \$550 000 | Rehabilitation of Balmoral and Yorkville Fire Hall Towers | Role: Project Architect

Union Station (1914-27), Toronto, ON

Client: City of Toronto | Duration: 2009 - ongoing | Cost: \$500M | National Historic Site of Canada, | Restoration, rehabilitation and stabilization of masonry; restoration of windows and heritage interiors. Heritage Conservation Architects for NORR | Role: Senior Heritage Architect | 2012 Award of Merit for the Preservation of a Heritage Building - CAHP

West Queen West HCD Study, Toronto, ON

Client: City of Toronto | Duration: 2016 - 2017 | Cost: n/a | Development of the Heritage Conservation District Study | Role: Project Manager

45 and 141 Bay Street, Toronto, ON

Client: Ivanhoé Cambridge | Duration: 2013 - 2016 | Cost: n/a | Heritage Impact Assessments for rezoning and site plan applications for new towers and overbuild on rail corridor. In collaboration with ERA | Role: Senior Heritage Architect

Barber House CHA (1862), Mississauga, ON

Client: City of Mississauga | Duration: 2016 | Cost: n/a | Cultural heritage evaluation and by-law recommendation | Role: Project Architect

St. Lawrence Neighbourhood HCD, Toronto, ON

Client: City of Toronto | Duration: 2013 - 2015 | Cost: n/a | Development of the Heritage Conservation District Study and Plan | Role: Project Manager

Stratford Transformer Station HIA (1909), Stratford, ON

Client: Brookfield Global Integrated Solutions | Duration: 2015 | Cost: n/a | Heritage Impact Assessment: building condition survey, historical research, cultural heritage evaluation and recommendations | Role: Project Manager

First and Second Street HCD Plan, Oakville, ON

Client: Town of Oakville | Duration: 2015 | Cost: n/a | Heritage Conservation District Plan: development of a revised plan for an existing HCD, including public consultation and survey | Role: Project Manager

St. George Campus (UofT) CHA, Toronto, ON

Client: University of Toronto | Duration: 2012 - 2013 | Cost: n/a | Cultural Heritage Assessment: surveys, heritage value assessment, evaluation of planning, and master planning options | Role: Project Manager



DIMA COOK

Senior Architect, Senior
Associate

OAA, OAAQ, CAHP, RAIC, LEED® AP

Canada Permanent Building HIA (1930), Toronto, ON

Client: Trio Vest | Duration: 2013 | Cost: n/a | Heritage Impact Assessment | Role: Project Manager

Old City Hall (1899), Toronto, ON

Client: City of Toronto | Duration: 2012 - 2013 | Cost: n/a | Historic Structure Report. Coordination with client and stakeholders; planning and management of conditions survey of interior finishes and elements; definition of heritage values and character defining elements; development of conservation strategies; schematic design of new layout to restore public access to south portion of building; accessibility studies | Role: Project Manager

625 Yonge Street HIA (1907-14), Toronto, ON

Client: YI Developments | Duration: - 2012 | Cost: n/a | Heritage Impact Assessment: existing conditions, historical research, analysis of proposed intervention, and recommendations | Role: Project Manager

Union Station (1914-27), Toronto, ON

Client: City of Toronto | Duration: 2006 - 2007 | Cost: n/a | National Historic Site of Canada, | Building Condition Assessment to evaluate, develop, plan, cost and schedule all state of good repair work over a 20 year period | Role: Project Manager

TEACHING/PUBLIC SPEAKING

Speaker: Understanding Stone: Stone Sourcing for Union Station Toronto, APT & National Trust Joint Conference, Ottawa, Ontario, October 2017

Session Chair: Canada 150 - Indigenous Heritage, Diversity, New Directions: Heritage and Social Purpose CAHP Session, APT & National Trust Joint Conference, Ottawa, Ontario, October 2017

Panel Member: Piecing the Puzzle: Heritage Conservation Districts, National Trust Conference, Hamilton, Ontario, October 2016

Panel Member: The Importance of Tangible Heritage, Ontario Heritage Trust Conference, Toronto, Ontario, November 2015

Guest Critic: University of Toronto School of Urban Design, Toronto, Ontario, March 2015

Speaker: Historic Conservation District Study of Toronto's Birth Place: St Lawrence Neighbourhood, APT Annual Conference, Quebec City, Quebec. October 2014

Lecturer: Risk Assessment and Mitigation in Heritage Projects, OAA Annual Conference, Montreal, Quebec, May 2014

Speaker: What makes existing buildings green? A presentation on Kuujuaq Airport, Carleton University Student Symposium for Heritage Canada, Ottawa, Ontario, October 2013

Speaker: Union Station Revitalization project, NHAO Annual Conference, Niagara-on-the-Lake, Ontario, October 2010

PEER REVIEW

City of Toronto Design Review Panel, Heritage Representative (3-year term), 2014 – 2017
Illustrated Guidelines for the Sustainable Rehabilitation of Buildings in Canada, Peer reviewer, 2014

APT Lee Nelson Book Award (In recognition of outstanding and influential publications in the field of preservation technology), Jury member, 2012

PUBLICATIONS

Site Lines, Issue 26, National Historic Sites Alliance for Ontario, Article on the Union Station Revitalization Project, August 2010

APPENDIX D

Heritage Documentation

BY-LAW 1984-153 (293 MACDONALD ROAD)

BY-LAW 1994-11 (OAKVILLE TRAFALGAR HIGH SCHOOL)

EXTRACTS FROM TRAFALGAR ROAD
HERITAGE CONSERVATION DISTRICT PLAN

- 1.0 CONSERVATION GOALS, OBJECTIVES,
PRINCIPLES AND PRACTICE (PART II)
- 4.0 GUIDELINES FOR ALTERATIONS,
ADDITIONS AND NEW CONSTRUCTION
(PART II)
- 5.0 LANDSCAPE CONSERVATION
GUIDELINES (PART II)

THE CORPORATION OF THE TOWN OF OAKVILLE

BY-LAW NUMBER 1984-153

A by-law to designate certain property
as property of historic and architectural
value and interest (293 MacDonald Road)

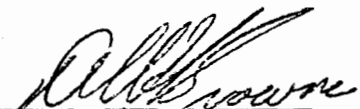
THE COUNCIL ENACTS AS FOLLOWS:

1. The property known municipally as 293 MacDonald Road is hereby designated as a property of historic and architectural value and interest pursuant to the Ontario Heritage Act, for the reason as set out in Schedule "A" to this by-law.
2. The property designated by this by-law is the property described in Schedule "B" to this by-law.
3. This designation pertains only to the exterior of the principal two storey structure to the south of the property.

PASSED by the Council this 7th day of August , 1984.



Mayor



Clerk

SCHEDULE "A"

By-law 1984-153

REASON FOR DESIGNATION:

The main south facade is unusual in that the brickwork is in flemish bond. Both north and south walls are surmounted by a decorative brick cornice with returns at the gables. Windows, still with original six over six sash and shutters, and the door openings exhibit brick flat arches and dressed stone sills.

Donald Campbell purchased the property from John Chisholm in 1856. The house was constructed in 1857. Campbell was previously a soldier with The Argyle and Sutherland Highlanders and settled in Oakville after his discharge in 1842.

SCHEDULE "B"

By-law 1984-153

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Town of Oakville, in the Regional Municipality of Halton, and being part of Lot Seven (7), in Block "C", according to a plan of Subdivision of part of Lots Twelve and Thirteen (12 & 13) in the Third Concession South of Dundas Street, in the Town of Oakville, formerly in the Township of Trafalgar, in the County of Halton, drawn by Henry Winter, D.P.S. dated October 20th, 1855, and filed in the Registry Office for the County of Halton as No. 35, and which said parcel may be more particularly described as follows:

COMMENCING at the most southerly angle of the said Lot Seven (7); THENCE northwesterly along the southwesterly limit of said Lot Seven (7); to a point distant fifty-six feet (56') measured southeasterly therealong from the most westerly angle of said Lot 7;

THENCE northeasterly and parallel to the northwesterly limit of Lot 7, twenty-seven feet (27');

THENCE northwesterly and parallel to Reynolds Street, one foot (1');

THENCE northeasterly and parallel to the said northwesterly limit of Lot Seven (7), forty-three feet seven and one-half inches (43' 7 1/2") to the southwesterly limit of Reynolds Street;

THENCE southeasterly therealong to the most easterly angle of said Lot Seven (7);

THENCE southwesterly along the southeasterly limit of Lot 7 to the place of beginning.

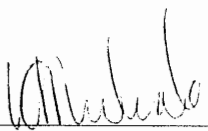
THE CORPORATION OF THE TOWN OF OAKVILLE
BY-LAW 1994-11

A by-law to designate the original portion of
the Oakville Trafalgar High School built
in 1909 at 291 Reynolds Street as a
property of historical and
architectural value
and interest.

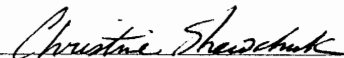
THE COUNCIL ENACTS AS FOLLOWS:

1. The original portion of the Oakville Trafalgar High School, built in 1909 located at 291 Reynolds Street is hereby designated as a property of historic and architectural value and interest pursuant to the Ontario Heritage Act for reasons set out in Schedule "A" to this By-law.
2. The original portion of the Oakville Trafalgar High School designated by this By-law is the property described in Schedule "B" and shown on Schedule "C" as attached to this By-law.

PASSED by the Council this *11th* day of *January*, 1994.



MAYOR



CLERK

SCHEDULE "A" TO BY-LAW 1994-11

HISTORICAL SIGNIFICANCE

Oakville High School (known today as Oakville Trafalgar High School) first opened its doors to Oakville students in 1909. Until that time, the Oakville High School occupied rooms facing Navy Street in The Old Oakville Central School. This building was also occupied by the younger students of The Oakville Primary School. By the turn of the century, attendance to the high school had grown to such an extent that the principal, Mr. J. T. Little, urged upon the School Board the need for a new school building. The Board realized this necessity, and in the year 1908 purchased four acres of land facing on Reynolds Street. The design for the building was submitted by Chapman and McGiffin Architects in 1908, the tender of Carson and Elliot Builders of Oakville was accepted, and Mr. Little and his staff (three teachers in all) moved into the new school building in the spring of 1909. A quotation from a booklet about Oakville made in 1912 described the school as follows:

"This was a large and handsome brick edifice with every convenience that science has brought to the art of modern school buildings. The classrooms are spacious, the ceilings high, the corridors wide, and the vertelatia (air changing by automatic devices every twenty minutes) is perfect. The laboratory is admirably equipped and throughout everything for the conduction of a high grade institute of learning is provided. An ideal lecture room gives scope for debates, literary entertainments and public meetings, while two side rooms, one for each sex, give opportunity for preparation of participants."

Page 2 of Schedule "A"
to By-law 1994-11

This assembly hall, as it was known to the students, was on the second floor with windows on the center west side of the building. Shrubs and a lawn were planted at the front of the school, while the large playground at the rear was of great value to the students.

The official opening of the Oakville High School took place in 1909. On that day, the special guest speaker was the Rev. Sir Robert Alexander Falconer, who later gained fame as president of the University of Toronto during the First World War years.

Shortly before the First World War, Principal Little retired and was replaced by Mr. W. B. Weidenhammer (name changed to Wyndham during the War). Mr. Wyndham carried on the traditions of his predecessor, and soon gained a reputation as a popular and well-respected principal. Mr. Wyndham was an extremely public-spirited man, and during the First World War, engaged the school in a number of projects in support of the Canadian Troops overseas.

As the years passed, once again quarters had become very cramped, owing to the very rapid growth of Oakville's population. The contract for a large addition to the building was awarded to Carson and Elliot of Oakville. Work commenced on July 13, 1923, and was completed by the end of January, 1924. At this time, the Principal, Mr. William B. Wyndham, was in failing health and to the regret of all of his wide circle of friends, Mr. Wyndham passed away on April 1, 1924.

Page 3 of Schedule "A"
to By-law 1994-11

As the school stood then, it contained eight classrooms, a laboratory for physics, chemistry and agriculture instruction, and a commercial room. Shop work and home economics now found a place in the curriculum with respective rooms equipped for the same. A larger Assembly Hall occupied the center rear section of the ground floor.

From the fall of 1924 until early 1947, the principal of the school was the well-respected Mr. R. H. Archibald, who was actively involved in the forming and running of the Oakville High School Cadets.

After the Second World War, the Oakville and Trafalgar High School districts were amalgamated. As a result, the school added the Township to its original name and became the Oakville Trafalgar High School.

ARCHITECTURAL SIGNIFICANCE

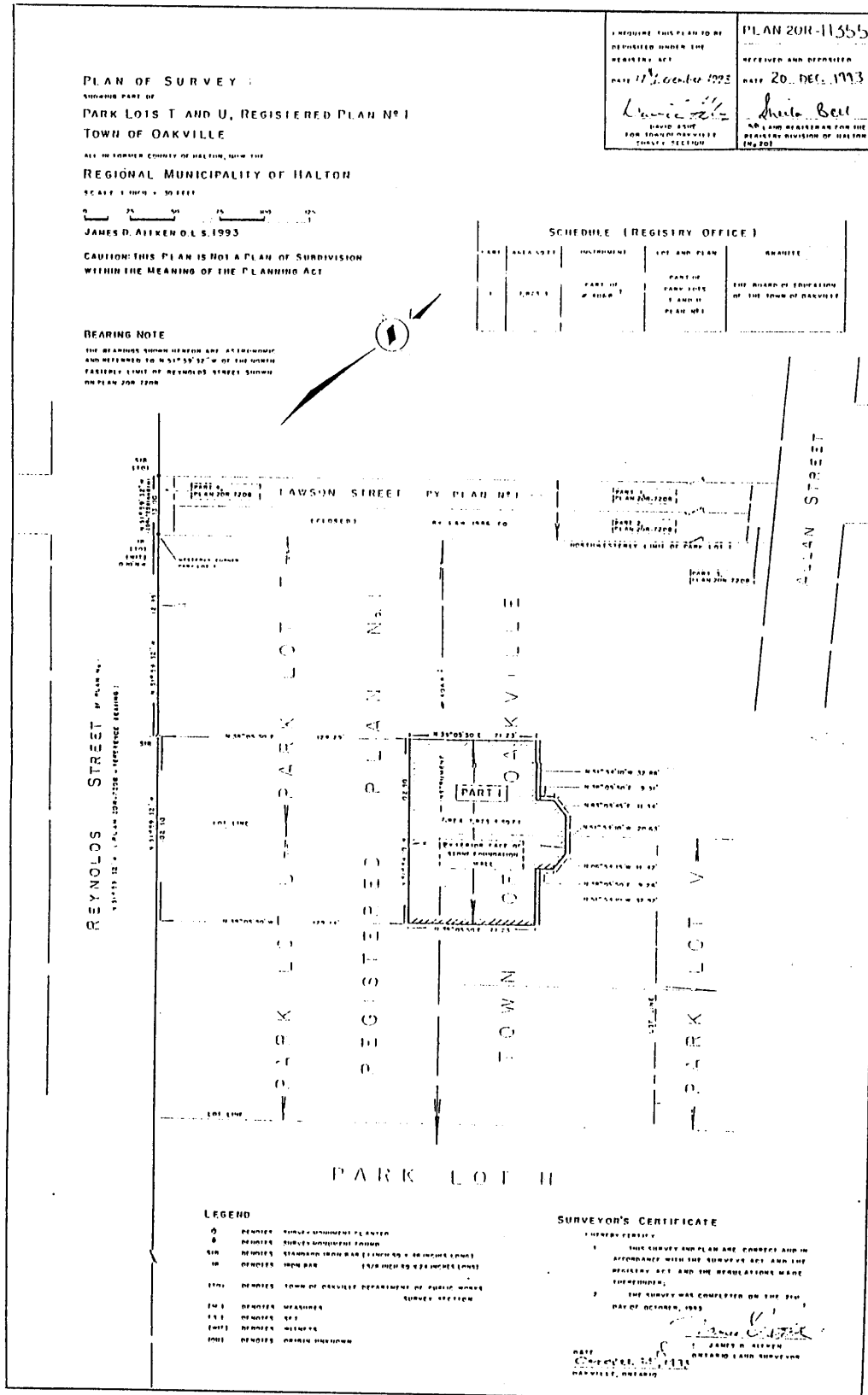
The original three gabled section of Oakville Trafalgar High School was designed by the noted firm of Chapman and McGiffin Architects and opened in 1909. The building is a well-proportioned composition with the main street elevation featuring three prominent stepped gables and a central recessed entrance with stone trim in the "Collegiate Gothic" form.

End elevations featured a much smaller gable above a canopied student entrance. The steeply pitched roof, with its fish scale pattern, created an attractive composition. The rear elevation featured the same three gable form but was asymmetrical, with a projecting single storey element.

SCHEDULE "B" TO BY-LAW 1994-11

Part of Park Lots T and U, Registered Plan No. 1, Town of Oakville, Regional Municipality of Halton, designated as Part 1, Plan 20R-11355, and shown on the attached Schedule "C".

Schedule "C" to by-law 1994-11



1.0 CONSERVATION GOALS, OBJECTIVES PRINCIPLES AND PRACTICE

1.1 Introduction

The intention of the *Trafalgar Road Heritage Conservation District Plan* is to ensure the wise management of physical change and development in order to conserve the unique character of the district and its component buildings and spaces. It is anticipated that most conservation issues in the district will be addressed through the policies and the guidelines of the plan described in the following sections.

The following goals, objectives and principles form the framework for consideration of changes to heritage buildings and their fabric. Where a particular conservation issue is not addressed in the detailed guidelines in Sections 3 and 4, the goals, objectives and principles in Sections 1 and 5 should form the basis for advice to property owners or decision making by the Town of Oakville.

1.2 Heritage Character

Although a number of houses were built prior to 1860, the Trafalgar Road district is characterized by a predominance of late nineteenth century and early to mid twentieth century building construction. A variety of building forms and styles is present in the district. Brick, frame, stucco and a combination of these materials are the main exterior wall fabric. The majority of the buildings are single detached residences, one and-a-half to two storeys in height. They represent smaller homes to larger, more grand upper middle class homes, principally located on Trafalgar Road. Wooden shingles were the predominant historical roofing material in the district. Today, with a few exceptions, all buildings in the district have asphalt shingle roofs.

Most of the buildings are vernacular forms, i.e., informal, often owner built and designed, structures that have used architectural details from one or more of the formal architectural styles. The most prevalent architectural styles and stylistic influences in vernacular form are *Gothic Revival (1830-1900)* and *Italianate (1850-1900)*. There are a few vernacular examples of classic revival; one Regency Cottage; and one example of the *Second Empire style (1860 -1880)* located in the district. Twentieth century styles represented in the district in either pure form or vernacular include: *Four-Square (1900-1930)*; *Tudor Revival (1900-1930s)*; *Period Revival (1900-present)*, *Craftsman (1905-1930)*, *Bungalow (1900-1945)* and *Victory Housing (1940-1950)*.

The distinctive architectural features of the area are its scale, mass, decorative detailing and building siting. A number of individual buildings and properties throughout the district have been extensively altered or subdivided over time due to changing tastes, economics and fashion. Trafalgar Road and Georges Square have generally retained and occasionally enhanced its overall nineteenth and early to mid twentieth century residential character coupled with a distinctive treeline and canopied streetscapes.

1.3 Trafalgar Road District Conservation Principles

The process of heritage conservation within the Trafalgar Road District not only requires recognition of its special character but also acceptance of several well-established conservation principles. The purpose of this section is to establish a context for the conservation of heritage buildings, to provide a general framework for the conservation of heritage buildings and to provide a general framework for the more detailed guidance offered in later sections.

Accordingly any proposed changes within the Trafalgar Road Heritage Conservation District shall be considered with regard to the following principles:

- All heritage conservation work should be based upon and preceded by sufficient historical research, site analysis and documentation to identify and safeguard fully the heritage values to be conserved.
- There shall be a presumption in favour of retaining the distinguishing characteristics of a heritage property. The destruction, alteration or removal of historical fabric or distinguishing architectural features and landscaping shall be considered as the least desirable course of action.
- Alterations and changes that have occurred in the past may be of significance in the development of a particular heritage building and its environment and should be protected.
- Heritage features are to be retained and re-used wherever possible and the demolition of heritage buildings shall be actively discouraged.
- Historical, physical or pictorial and documentary evidence shall guide the repair or replacement of missing architectural features of an individual heritage building. Guesswork or the use of architectural elements borrowed from other buildings should be avoided.
- Stylistic and architectural features or examples of fine craftwork that distinguish a particular building, whether of vernacular construction or more formal architecture, must be treated with sensitivity and where deteriorated should be repaired rather than replaced.

- Replacement of architectural features should match the material being replaced in composition, design, texture, colour, size and level of craftwork.
- Surface cleaning of historic structures must only be undertaken when accumulated dirt adversely affects the historical fabric of a heritage building and undertaken only by the gentlest means possible. Sandblasting, high pressure water washing, strong chemical cleaning and other methods that may damage building materials must be avoided.
- Contemporary design of alterations and additions will be permitted where they do not destroy significant historical, architectural, streetscape or cultural features (See Design Guidelines, Section 4).
- Contemporary design or alterations and additions should be permitted where they are of a size, location, colour and material that is compatible with the prevailing character of the building, streetscape, landscape and district.
- All public works should seek to avoid adverse effects to the character of the Trafalgar Road heritage conservation district and in particular to individual heritage buildings, archaeological sites, fences, grass boulevards and distinctive trees and treelines within the district.
- New construction comprising freestanding buildings should respect the prevailing character of: adjacent buildings; the existing streetscape, landscaping and grade levels; and the district as a whole. New construction should be of compatible design in location, size, height, setback, orientation, materials, colour, roof and roofline, fenestration, scale and proportion.

- Historical landscaping should be respected as an integral part of the character of the district and preserved whenever possible.

This District Plan provides more specific guidance in the management of change and development within this special setting in a way that respects the heritage building stock, the quality of the streetscape, and the wishes and views of individual property owners.

Prudent management of change includes the promotion of a clear statement of goals and objectives for the designated heritage conservation district. Although goals and objectives are general in nature, they are of importance in providing a framework for more specific guidance and action as well as direction towards the type of environmental management anticipated in a conservation district.

4.0 GUIDELINES FOR ALTERATIONS, ADDITIONS AND NEW CONSTRUCTION

4.1 Introduction

The character of the Trafalgar Road District relies on its historical development as a distinctive residential area. Most residential construction took place over a number of years, primarily after the 1860s to the 1950s. The Trafalgar Road District is, in part, characterized by a variety of architectural styles, lot sizes, position of buildings on the lots and building materials.

The neighbourhood reflects a stable stock of single family residential buildings although there has been some pressure to convert to commercial units with the accompanying demands for parking and upgrading of existing structures. Redevelopment of the building stock, i.e., remodeling and enlarging existing houses; and, demolition of an existing house and construction of a new building, is evident. There is some limited potential for minor infilling.

Physical change that may be expected to occur within the Trafalgar Road District can be categorized by:

- alterations and additions to existing structures;
- new construction, either through infill or redevelopment; and,
- public works.

Often exterior alterations to buildings are undertaken to update the appearance of a house; to add additional living space; and to minimize the exterior maintenance of the house. Each of these actions produces a different effect on the exterior appearance of a heritage building. Cumulatively these actions can remove all traces of the earlier building.

An important objective in the following guidelines is to encourage change that is in keeping with and respects the existing building form.

The guidelines should be read:

- in conjunction with advice on building conservation found in Section 3; and,
- as a prerequisite for the consideration of permit applications under Part V, Section 43 of the *Ontario Heritage Act*.

The guidelines are organized to respond to those who are directly responsible for change in the district, namely:

- owners of heritage properties;
- owners of non-heritage properties;
- owners of infill lots; and,
- public officials undertaking public work projects.

Sub-section 4.2 and 4.3 provides specific guidance for changes to heritage buildings with a view to retaining distinguishing features and fabric.

Sub-section 4.4 is intended for the owners of properties within the district that are not considered of heritage value.

Sub-sections 4.5 and 4.6 address the integration of new construction and public works into the district.

A note of caution is advised in the purpose, use and application of these design guidelines. The guidelines are intended to provide a *general framework* for considering the minimum standard of appropriate change within the district. They must be considered an aid to consistent decision making rather than a specific formula for designing a new building, addition or architectural feature.

4.2. Alterations to heritage buildings and sites

Within the Trafalgar Road Heritage Conservation District, 118 buildings are considered to have been constructed prior to 1952 and therefore of varying degrees of heritage value and interest. It is the intent of this plan that these existing heritage structures be retained. The demolition of buildings is discouraged. Likewise the moving of heritage features is not promoted. It is recommended that changes to heritage properties be undertaken in the context of these guidelines.

The term **alteration** is used in a comprehensive sense to apply to any work undertaken to a property such as repairs, rehabilitation, restoration and additions. Alteration activities can be regulated under the *Ontario Building Code* although maintenance and some repairs and replacements are exempt.

4.2.1 Guiding Principles

Design features of the building and site and historic building materials should be maintained and enhanced.

Any plans or actions involving a heritage property should be based upon a clear understanding of the particular problem with the building or site. They should be based on a sound literature research and physical evidence provided by the building fabric.

Contemplated work should be truthful both historically and architecturally. Beware of over-enthusiasm: replacing too much; cleaning too well; or making an inappropriate historic appearance.

“Quick fix” and “magic remedies” should be avoided as at best they may be simply ineffectual and at worst may cause irreparable damage to a significant building.

4.2.2 Features and spaces around buildings

Maintain traditional views of property by avoiding the masking or hiding of prominent building features with new additions.

Ensure that front lawns, tree plantings, hedges and fences are maintained.

Keep parking areas and outbuildings including garages and utilities such as heat pumps and satellite dishes to the side or rear as traditional service areas.

Continue historic means of access: drives, paths and doorways. Encourage required new entrances to be installed on secondary elevations. Where external staircases are proposed they should be located at the rear.

Maintain proper site drainage in any work so that water does not collect or drain towards foundations.

4.2.3 Existing Building Fabric

Attempt to repair rather than replace.

Base all designs for replacement or restoration of former features on dependable documentary evidence, where available.

When undertaking repairs, replacement or restoration, use the same materials as the original, whenever possible.

New or repair work should not confuse the historic character of an area by creating an impression of greater age or of a different region or even country. Do not obscure signs of age or irregularities found in older work.

Do not violate symmetry or other important features of architectural design, particularly on the main elevation(s).

Do not move heritage structures.

4.2.4 Roofs

Decorative roof features and original roofing materials should be retained, conserved and if appropriate, restored.

Ensure that vents, skylights and other new roof elements are sympathetic in material and that they are discretely placed out of general view from the street and public rights-of-way.

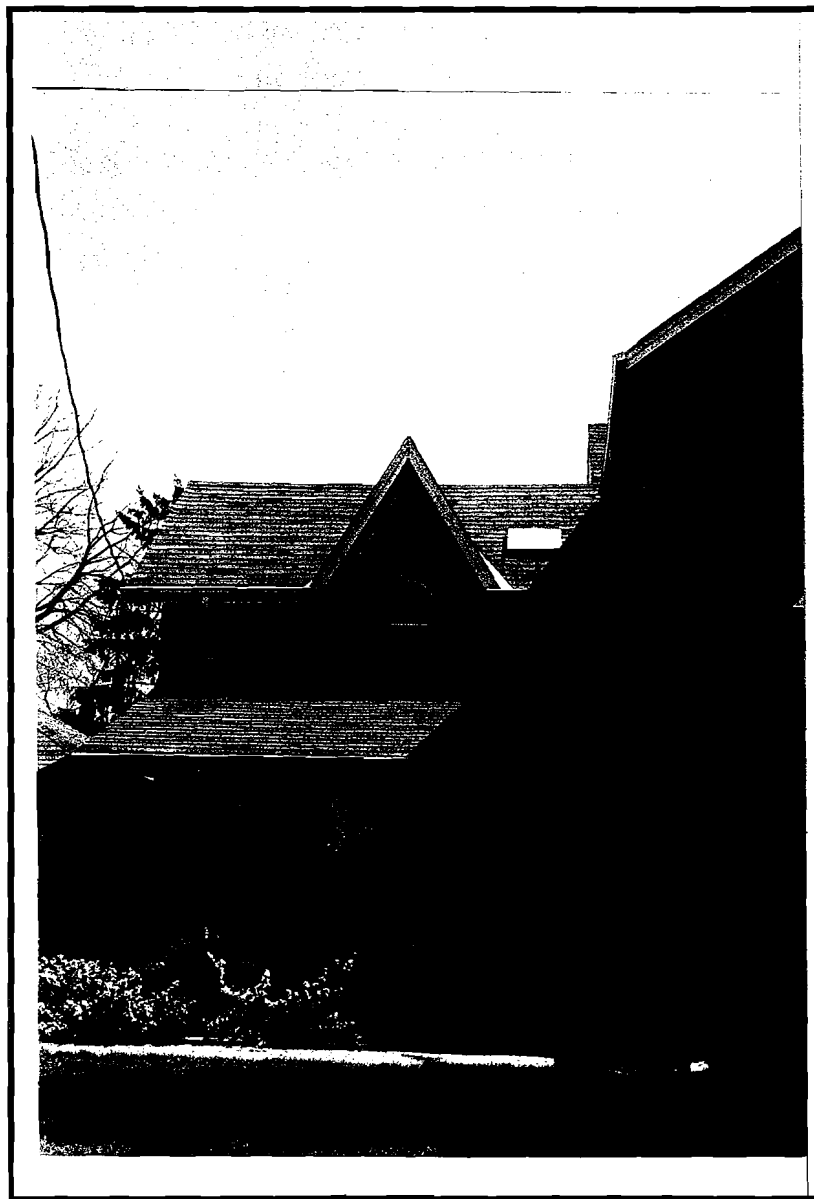
4.2.5 Foundations and Walls

Protect original wall surfaces from cleaning methods that may permanently alter or damage the appearance of the surface or give a “falsely” new look to the building, for example, sandblasting, strong liquid chemical solutions and high pressure water cleaning.

Avoid application of new surfaces or new coatings that alter the appearance of the original material, especially where they are substitutes for masonry repairs. This may include the application of waterproof and water repellent coatings, paint, aluminum or vinyl siding and stucco.



Avoid alterations, such as the application of new wall claddings that may damage underlying heritage building fabric.



New roof vents, skylights, solar panels, satellite dishes and dormers should be located inconspicuously away from public view.

4.2.6 Windows

Protect and maintain original window openings as well as their distinguishing features such as materials, frame, surrounds, shutters, sash, muntins, glazing and paint colour.

Modifications to the size or shape of window openings, removal of muntins, installation of snap-in muntins, replacement with sealed units or covering of trim with metal or other material is discouraged.

Avoid removing or blocking up windows that are important to the architectural character of the building.

New windows should be installed sensitively, in an area that is inconspicuous. New window design that is compatible with the original in terms of proportions, rhythm and scale is encouraged; however, the new should not attempt to replicate the original in terms of historical details.

4.2.7 Entrances

Protect and maintain entrances and porches especially on principal elevations where they are often key elements in defining the character of the building. Retain the historic means of access.

Avoid the removal of porches. Conserve important features such as doors, glazing, lighting, steps, balustrades and door surrounds.

Restoration of a missing porch should be based upon accurate research using both pictorial and physical evidence. Where documentation does not exist, the design and construction of a new entrance or porch compatible with the character of the building is preferred over a conjectural design of the original.

Where new entrances are required, they should be installed on secondary elevations.

4.3 Additions to heritage buildings and sites

There is evidence in the district that buildings have been added to over the years. Often an addition is needed to update a structure for a particular, contemporary need that may result from:

- the opportunity to update mechanical services of an existing building;
- the expansion of living space for a growing family or a specialized activity; and,
- economic constraints that make acquisition costs of a new property impossible, but make an addition or re-building of an older structure feasible.

Additions even more than alterations, can have a profound influence on the aesthetic architectural qualities of an heritage building. A key objective in the design of an addition is to ensure that the completed structure adds to or enhances the history of the building and does not devalue it.

A balance is sought between the new and old or more specifically, a relationship of harmony. While good design is important it will only be as good as the tradespeople who put it in place. Good quality craftsmanship is vital to the overall success of the project.

There are two important points to be considered when building an addition to a heritage building:

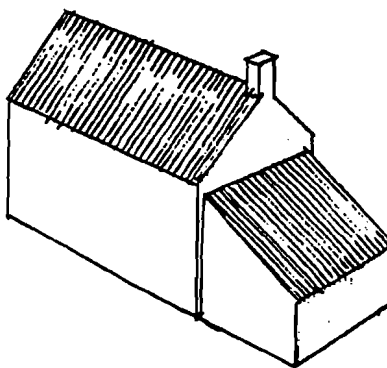
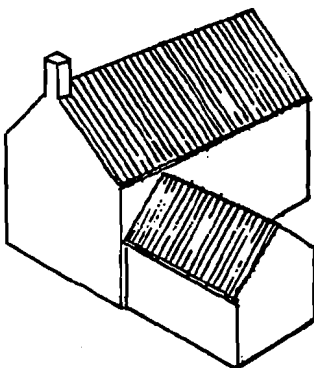
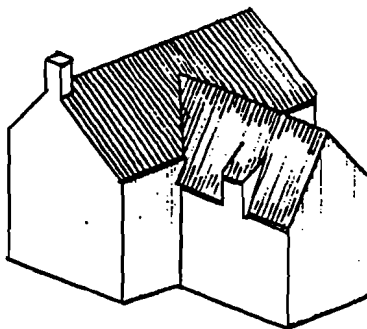
- 1) try to visualize the impact of the structure from the street or at a pedestrian level; and,
- 2) design new additions from the outside in.

Finally, new additions should be constructed in a way that:

- they are clearly differentiated from original historical fabric and compatible with the historic fabric; and,
- the continued protection of distinguishing architectural features is ensured and they do not radically change, damage; obscure, destroy or detract from such features.

4.3.1 Location

- 1) Exterior additions, including garages, balconies and greenhouses are encouraged to be located at the rear or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring property. Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing heritage building and the view from the street. Additions so constructed will also tend to be more neighbourly to adjoining property owners.
- 2) Multi-storey exterior additions are best set back as deeply as possible from the existing front wall plane in order to be as unobtrusive as possible in the streetscape.
- 3) Additions to structures with symmetrical facades should avoid creating imbalance and asymmetrical arrangements in building form.

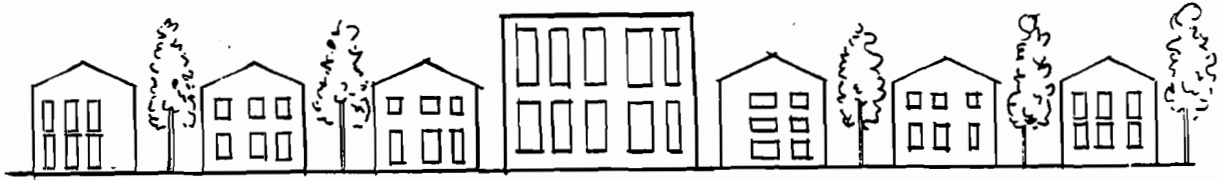


Encourage additions to the rear of the property in a form that does not over power the original heritage building:

Upper: One and one half storey addition to rear of property.

Middle: Single storey addition to one side at rear of building.

Lower: Lean to addition at rear gable end.



Avoid new infill that disrupts the rhythm of existing buildings, spaces and plantings.



New infill construction should be neither excessively higher nor lower than adjoining properties or the predominant building height along the street

4.3.2 Design

- 1) New additions are best designed in a manner that distinguishes between old and new; and that avoids duplicating the exact style of the existing heritage building or imitating a particular historical style or period of architecture.
- 2) Contemporary design for additions is appropriate when such additions do not destroy significant architectural, historical or cultural material and when the design is compatible with mass, ratio of solids to voids, colour, material, and character of the property, neighbourhood or environment.
- 3) New additions should be designed in such a manner that the essential form and integrity of the existing building would be unimpaired if the addition were removed in the future.
- 4) Additions are encouraged to be located at the rear or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties. Keep the height and bulk of the new addition smaller than the existing building.
- 5) Additions are encouraged to not add to the height or roof of an existing historical building as changes to the roofline alter the character of a building significantly.
- 6) Additions to structures with symmetrical facades should avoid creating imbalance and asymmetrical in building form.
- 7) Pay close attention to the junction of the old and new ensuring a sound visual as well as functional connection.

4.4 Alterations to Non-heritage Buildings

Work undertaken to these structures should respect the overall character of the district and be sensitive to the neighbouring historic buildings.

Any subsequent new construction in the area achieved through infill or redevelopment should also be subject to these guidelines for alterations.

The term **alteration** is used in a comprehensive sense to apply to any work undertaken to a property such as repairs, rehabilitation, restoration and additions. Alteration activities can be regulated under the *Ontario Building Code* although maintenance and some repairs and replacements are exempt.

The following should be considered in the design and placement of alterations including additions to existing buildings:

- 1) Non-heritage buildings should not attempt to create a sense of being “old” by using historic forms and features that would be inappropriate on a new building such as snap-in muntins, shutters and decorative window surrounds.
- 2) Locate skylights, roof vents and dormers to the rear and side, away from the main elevation.
- 3) Locate new garages and parking spaces in unobtrusive areas, normally to the rear and side yards.
- 4) Additions should be sensitive to the character of its neighbours in size and height.
- 5) Upper storey additions should not be out of scale with neighbours. Maintain the predominant roof profiles and configuration of adjacent buildings.

4.5 New building construction

The introduction of new buildings into the Trafalgar Road district is part of the continuing changes that may be experienced by any community. New development, if permitted by the Official Plan and Zoning By-law, should be compatible with the character of the adjoining properties and the streetscape. The new building should be designed to look appropriate and to be compatible in the midst of the established neighbourhood. Its appearance must be sensitive to the character of its neighbours.

The construction of new buildings should be confined to the construction of buildings on vacant lots. While not prohibited by the *Ontario Heritage Act*, the demolition of existing heritage buildings and redevelopment of the sites with new structures is actively discouraged within the district. Private Members Bill 82 (An act respecting the Town of Oakville) requires approval of a building permit prior to the granting of a demolition permit. Property owners are encouraged to work with existing buildings, altering and adding to them in a sympathetic manner rather than demolishing and building anew.

The following guidelines for new construction are intended to provide a framework for *compatible* development. They are not intended to be a detailed prescription for each new building. This should enable property owners to design creatively with a general context for future built form.

4.5.1 General Principles

As any proposed building will be a new structure within the district, it is anticipated that the structure should look new and not pretend to be historic by replicating or copying older facades. Do not mimic historic details that have no relevance in contemporary construction such as shutters and multi-paned sash.

The general factors that govern the visual relationships between an infill building and its neighbours: height, width, proportion, relationship to the street, roof forms, composition, proportion of openings, materials and colour, should be studied carefully and used as a basis for new construction.

4.5.2 New building height

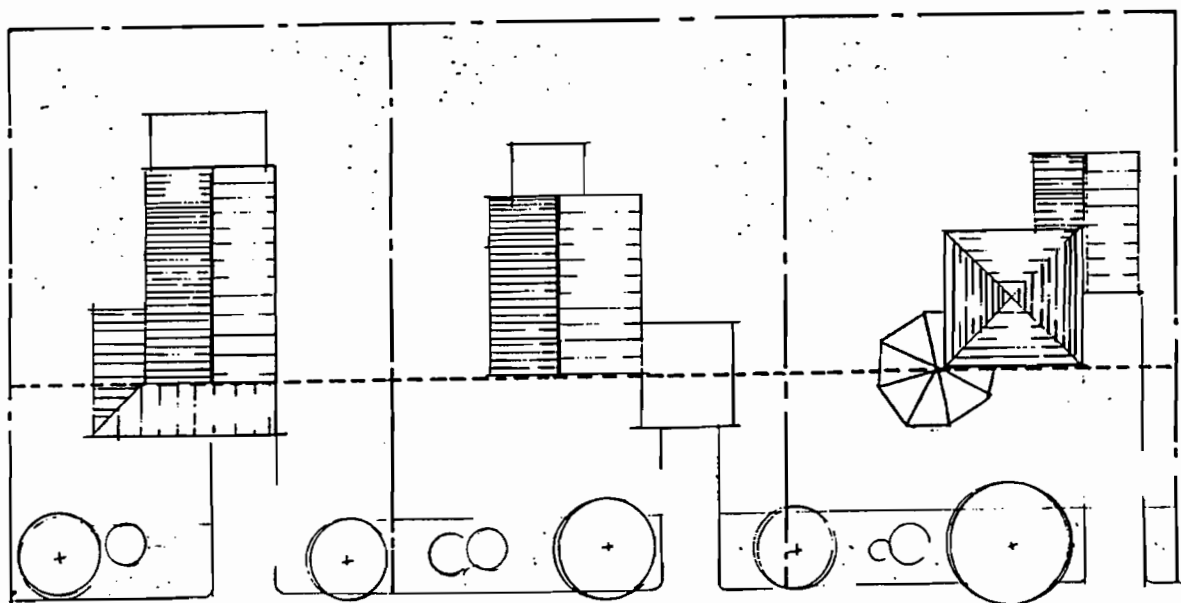
One-and-a-half to two storey structures are the most dominant in the district. Building height of new structures should generally maintain the building height of adjacent properties and the immediate streetscape and should be neither noticeably higher nor lower. In areas of varied building height new development must respect adjacent buildings by being neither excessively higher nor lower.

4.5.3 Width

The majority of the buildings in the district are single detached dwellings of varying width dependent upon the lot size and stylistic derivation. Building width of new structures should maintain the building width and side yard spaces of adjacent properties and the immediate streetscape thus preserving the existing building and space rhythms within the streetscape.

4.5.4 Proportion

Proportion relates to the association of height to width. The structures in the Trafalgar Road district are generally oriented vertically, i.e., the height is greater than the width. New residential infill should maintain the proportions of neighbouring properties.



Avoid radical alteration or additions to the front facades of buildings such as large verandahs, double garages or sunrooms.

4.5.5 Relationship to the Street

There are a variety of residential building forms in various styles and arrangements within the district. There is no one predominant building line or setback that distinguishes the district. New residential infill should maintain the existing setbacks of adjacent properties. In locations where there is significant variation in setbacks, infill development should generally avoid excessive setback from or projection in front of a building line drawn from the mid-point of adjacent building facades.

The majority of the buildings in the district are aligned to a grid established by the street pattern. Two exceptions include: 279 Lawson Street which once faced onto Trafalgar Road; and 180 Allan Street which faces Sumner Avenue but has Allan Street address. New buildings should therefore, be located with the main facade parallel to the roadway. In the case of corner lots, orientation of the principal elevation to the more major street is generally preferred.

Ancillary buildings should be located towards the rear of the lot. Garages in particular should not be a dominant element of the main elevation. They are best located to the rear of the building or set back from the principal facade.

4.5.6 Roofs on new buildings

Roofs are an important visual feature in the district. The district is characterized by a variety of roof forms: front gable, side gable, cross gable, hip and truncated hip. Mansard and gambrel roofs are not commonly found on historic buildings in the district; therefore, these roof forms should be avoided. Flat or shallow pitch roofs should also be avoided in new construction.

Wooden shingles were the predominant historic roofing material in the district. The majority of the buildings now have asphalt shingle roofs. Wood or asphalt shingles would be appropriate for new construction within the district. The use of concrete, clay tile, slate, metal or composite roofs are discouraged.

Roof vents, solar panels, satellite dishes and skylights are best located to the rear of new buildings.

4.5.7 Composition

Despite the range of age and architectural styles of the buildings in the district, the structures maintain continuity because of the similarity in composition of architectural elements.

The buildings are characterized by a tripartite division of the main elevation: foundation, wall and roof.

A shallow foundation is frequently differentiated from the wall above by construction in stone. The plinth, to carry water away from the wall, provides a horizontal break between the foundation and the wall.

Above the foundation, the main entrance is generally located on the street elevation, above grade and connected by steps and path to the sidewalk. The entrance on the ground floor is balanced, either symmetrically or asymmetrically, by window openings. The second floor, when present, is characterized by a flow of windows across the wall. Upper balconies and porches are not typical elements on the main elevation of houses in the district.

The wall is set apart from the roof by the strong horizontal line of the eaves. The roof mass is often punctuated with dormers and chimneys.

New residential buildings should maintain the tripartite division of foundation, wall and roof and respect the typical architectural elements of the main facades.

4.5.8 Windows and entrances on new buildings

As a result of the rich diversity of mid-to-late nineteenth and twentieth century architectural styles represented in the district, a range of window and entrance types are evident.

While window openings are generous, the overall proportion is more wall than windows. Generally window openings are vertical format and rectangular. There are also numerous examples of segmental and round headed openings. The windows are arranged in a variety of ways, either individually, pairs, groups or composing a bay.

Examples of pointed arch and Palladian window openings, multi-pane upper sash, diamond shaped window panes and leaded coloured glass windows, and bullseye windows are also found in the district. These window types tend to accent particular architectural style as decorative elements.

New window designs are encouraged that generally reflect vertical and rectangular dimensions. On facades that face the street, windows should maintain proportions of neighbouring properties. Large, full-length, multi-storey or picture windows are best avoided.

Entrances are usually an important element of the principal elevation, frequently highlighted with architectural detailing such as door surrounds and porches and recessed or projected from the wall face for emphasis. Doors are solid or partially glazed, single or half-leaf double doors. Avoid full size double doors and large amounts of glazing. Maintain the importance of the entrance way on the main elevation.

4.5.9 Exterior cladding: materials and colours

Brick veneer, stucco cladding and a combination of these two materials are the most prevalent wall materials in the district. Wooden cladding is also represented, often in combination with stucco. There is one stone structure covered in stucco in the district. Wall materials of new construction should reflect the predominant traditional materials and their respective colours: brick (red) and stucco (light). Wood (clapboard) is also considered to be an acceptable walling material. Wooden shingles may also be considered acceptable when used on upper wall surfaces with stucco or as decorative features. Use of concrete or other masonry blocks, metal, synthetic sidings should be avoided.

Windows and doors in the area are predominantly painted wood. Avoid synthetic or metal clad window and door units and untreated or natural wood.

Stone foundations are appropriate for new construction; however, carefully selected and laid textured concrete or masonry blocks can provide a more economical alternative. Avoid using materials that were primarily utilized for wall construction such as bricks and do not parge or stucco the foundation wall.

4.6 Public Works

Public works in the district such as road and utility improvements undertaken by a variety of authorities: the Town of Oakville, the Regional Municipality of Halton, utility companies, and so on have the potential to cause disruption and damage to identified heritage features of the neighbourhood. Every effort should be made in both day-to-day operations and long term planning to minimize adverse effects to the heritage conservation district and its components.

5.0 LANDSCAPE CONSERVATION GUIDELINES

5.1 Introduction: Historic Landscape Features

The Trafalgar Road Heritage Conservation District has a unique character resulting from the combination of many individual landscape features. The following section contains specific guidelines for the preservation, management, and improvements of these features. The guidelines are based primarily on the analysis of the existing landscape features documented in the Third District Heritage Assessment Report. The Third Heritage Assessment Report first identified several landscape features and then assessed their overall contribution to the special character of the district.

The purpose of these guidelines is to ensure that the character of a long established, residential neighbourhood is sustained. The guidelines and recommendations described in the following sections are intended to be used by the private property owner, the municipality and other public organizations who carry out improvements in the Trafalgar Road Heritage Conservation District.

The key landscape features are the street trees, the sidewalks and boulevards, and the horticultural diversity found in the private landscapes of the front yards. A significant number of properties in the district have ornamental fencing, hedges or shrub borders lining their property lines. These landscape elements have a significant impact on the pedestrian environment in the district. They contribute immeasurably to the intimate scale and visual interest of the streetscape.

5.2 Historic landscape features

In the late nineteenth century, when many of the properties in the district were built, there was an accepted relationship of the private

residence and the public street. The space between the residence and street, although private property, became semi-public since it could be glimpsed by the pedestrian. The view into this space was generally screened or filtered by property line fences or hedges. The exception to this practice was the major view to the front door which was typically unobstructed and in a straight line from the sidewalk. In many cases this view was framed between tall plant material or an arbour.

The nineteenth century front yard typically contained a driveway on one side and a large open lawn accented with one or two individual specimen shrubs. The shrubs were placed so they could be easily viewed from the interior of the house. Foundation planting consisted of individual specimen shrubs such as climbing roses or vines. They were planted in such a way as to accent the vertical architectural features of the house (such as at the porch columns or at the corner of a bay window).

Early in the twentieth century, foundation planting changed significantly. It generally became a full uniform border of ornamental shrubs (primarily deciduous) planted along the entire foundation. By the 1950's foundation planting consisted almost exclusively of coniferous and broad-leaved evergreen shrubs that gave a year-round dark green setting to the residence. Despite changes in the species selection and the placement of plant material in the private landscape, the front yard continues to be an important component of the streetscape.

Georges Square dates to the 1835 Plan of Oakville when it was first shown as an area reserved for public use. In 1844, Georges Square was sold by auction with other lands owned by William Chisholm to son George Chisholm. Although the Town Council made inquiries as to the ownership status of Georges Square in 1859, it was not until 1873 that it was turned over to the Town to be used as a free park. As part of the agreement, the park was to be fenced, planted, sodded

and suitable walks constructed within a year. A standing committee for Georges Square proceeded with such improvements as grass cutting, planting trees, installing a well and pump and surrounding the park on all four sides with a picket fence to exclude animals.

In the early 1900s the park had tall white pine trees mixed with other tall deciduous trees. The large bandstand was used for concerts, and benches, picnic tables and a pump for drinking water were located in the park. A southeast and northwest path existed in the park at this time. The World War I cenotaph was built in 1921. It is included in the Oakville heritage inventory.

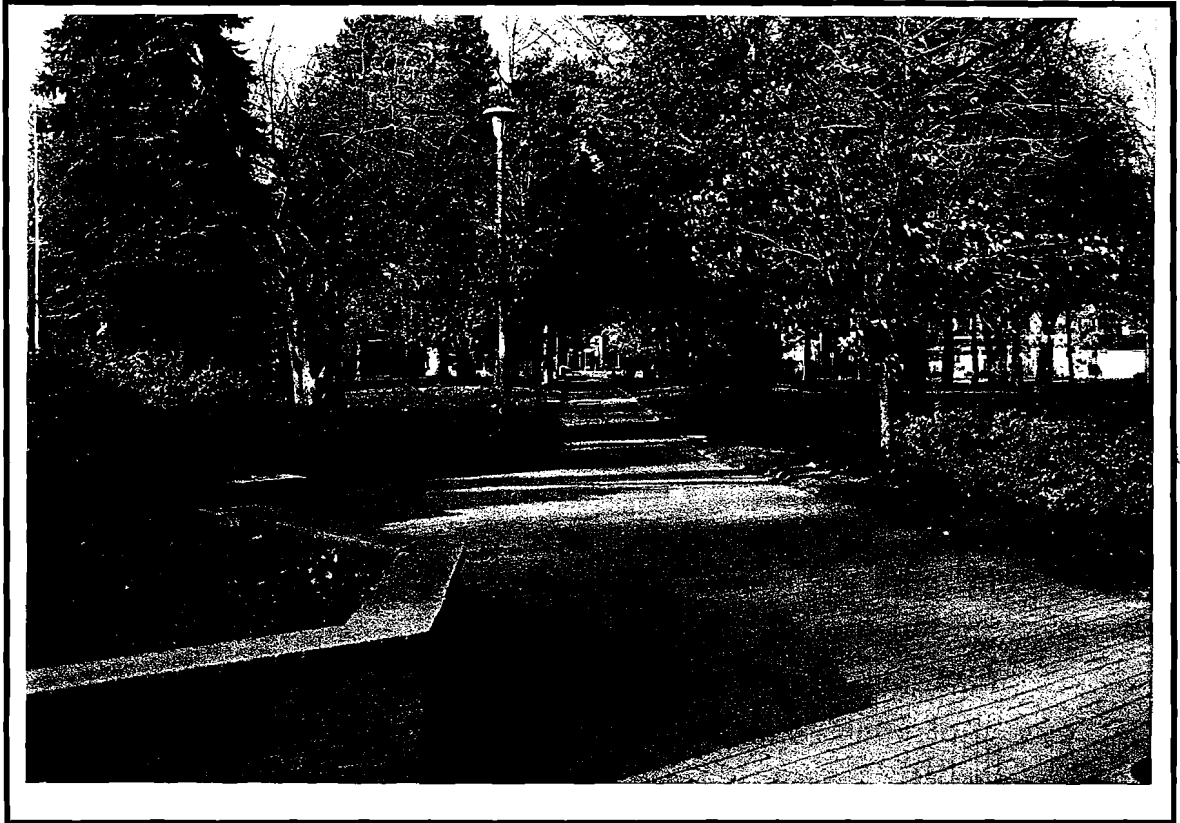
5.3 Heritage landscape summary

In summary, the key landscape character of the heritage district is defined by its variation in street trees. There is a mix of species, maturity and canopy. There is a similar variety in the location and definition of the sidewalk and boulevard. In many areas the sidewalk runs immediately next to the road surface. In other areas, there are grass boulevards separating the road surface, curb and the sidewalk. Georges Square is considered to be an important heritage feature in the district.

The following recommendations and guidelines have two objectives both of which are directed at the selection of the appropriate conservation treatment for these defining landscape features.

The recommendations and guidelines have two objectives:

- the preservation and retention of the historic features of the neighbourhood which remain; and,
- to encourage the re-establishment of the features that have been lost.



Georges Square currently demonstrates a naturalistic layout of plant material and walkways.



The World War I cenotaph located in Georges Square was built in 1921.

5.4 Landscape Features: General recommendations and municipal initiatives

5.4.1 Street trees

The impact of street trees on the visual image of the neighbourhood changes seasonally with leaf growth in the spring and leaf drop in the fall. As well, the landscape changes slowly over the years as it matures. In addition to these natural processes at work, unexpected events may occur which affect the appearance of the street trees such as pruning to permit safe clearance for overhead wires and die back caused by disease or injury. In order to ensure the ongoing appearance of tree-lined streets in the district several approaches are necessary:

Preservation:

Existing trees should be monitored on a regular basis to ensure that they remain healthy. Pruning of dieback, fertilization and pesticide treatments should be undertaken as required to preserve the existing trees.

Undertakings such as road widening and installation of new underground services or overhead utilities should be assessed prior to the start of construction to determine if they will negatively affect the existing street trees. Similarly, new driveway entrances and parking areas on private property should be carefully planned to ensure that the root systems of street trees are not compacted. Generally, an area around the base of the tree equal in diameter to the crown of the tree should remain undisturbed to protect the long term health and survival of the tree.

Replanting:

Where existing trees require replacement or where trees have been removed from the streetscape in the past, new trees should be planted. The size of the replacement trees should be as large as possible (80mm minimum diameter is recommended).

New trees should be planted as close as is feasible to the existing trees they will eventually replace. They should be set back from the street the same distance as the existing trees in order to ensure that the street tree line remains intact.

Municipal tree planting initiatives should concentrate first on adding new street trees to the areas identified as having incomplete canopies. Replanting should then take place in the areas where the trees are very mature or where they have been severely pruned.

A priority location for tree planting is at the edge of the district. For example, on the eastern side of Trafalgar north of Randall Street, new street trees should be added to enhance the gateway into the district. The responsibility for tree planting will rest with the Town of Oakville and should follow as closely as possible the recommendations or guidelines contained herein.

The range of species historically found in the neighbourhood should guide the selection of new tree species if possible. They include sugar maple, silver maple, ash, and oak. Other trees that may be planted to a lesser degree in the district include honeylocust, linden and walnut. When mature, these trees are of a size that will duplicate the existing high, wide canopy.

Smaller trees such as cherry, crabapples, and Globe Norway maple are not really appropriate for planting in the district since they differ from

the mature trees currently found in the district and they cannot provide the size or scale necessary to retain and preserve the existing streetscape. Furthermore, trees with red leaf such as Crimson King maple are not recommended to be planted. The traditional street tree collection consists of a variety of trees with green leaf only.

Trees such as elm, birch and chestnut are susceptible to disease and should not be re-planted in the district.

5.4.2 Recommended locations for tree planting

Maps showing streets with closed and intermittent canopies and without tree canopy were presented in Section 3.0, Third District Heritage Assessment Report. These areas are summarized below in Table 1.

The priority areas for street tree planting are in locations where there is currently no tree canopy. New street tree planting should be undertaken where the size of the boulevard and the location of underground services permit. Replanting is also recommended where there is intermittent tree canopy.

At the present time, the street areas within the Trafalgar Road district have a mature collection of trees. Monitoring and ongoing care including pruning of dead and diseased branches and fertilizing should be undertaken to ensure their longevity.

5.4.3 Boulevards

The grass boulevard running between the edge of the road, curb, and the public sidewalk is found on many streets in the neighbourhood. This green strip provides room for the planting of street trees and

Table 1: Recommended locations for tree plantings

1) Areas with no tree canopy	
Street	Location
Trafalgar Road	From the north district boundary south to Lawson Street and from Sumner Avenue to Church Street.
MacDonald Road	From Trafalgar Road to Reynolds Street
Lawson Street	From Trafalgar Road to Reynolds Street
Allan Street	From Randall Street south to Church Street
Sumner Avenue	From Dunn Street to Trafalgar Road and Reynolds Street to Allan Street
Palmer Avenue	From Trafalgar Road to Allan Street
2) Areas with intermittent tree canopy	
Spruce Street	From Trafalgar Road to Reynolds Street
Reynolds Street	From Lawson Street to Palmer Avenue
Allan Street	From Palmer Avenue to Randall Street

contributes significantly to the pedestrian environment. Where these boulevards exist in the neighbourhood they should be preserved.

Many of the streets are lined with curb-faced sidewalks with no grass boulevard along the road surface. In these cases the treatment of the remaining road allowances is important. This strip, where possible, should contain shrubs, turf and street trees in order to provide visual interest to the pedestrian environment.

5.4.4 Georges Square

Georges Square is the most significant public open space in the Trafalgar Road Heritage Conservation District. The park has undergone significant evolutionary changes like the surrounding neighbourhood. The formal layout of the square, shown on the 1835 plan and 1863 map of Oakville, had not been executed when the park was turned over to the Town in 1873. Improvements such as fencing, planting, sodding and walks were added at this time. The park currently demonstrates a naturalistic layout of plant material and walkways.

There is a rich diversity in the species mix of the trees. Shrubs are placed in asymmetrical beds at the northwest and southeast corners and other feature beds are filled with annuals for a colourful display during the growing season. The main walkway crosses the park diagonally from the southwest corner to the northeast corner. The square is an important civic amenity within the district and it provides a picturesque setting for the cenotaph.

The evolution of the square layout is typical of the transition in park design principles that occurred in the late nineteenth century. The idea of creating naturalistic, open spaces for the enjoyment of the

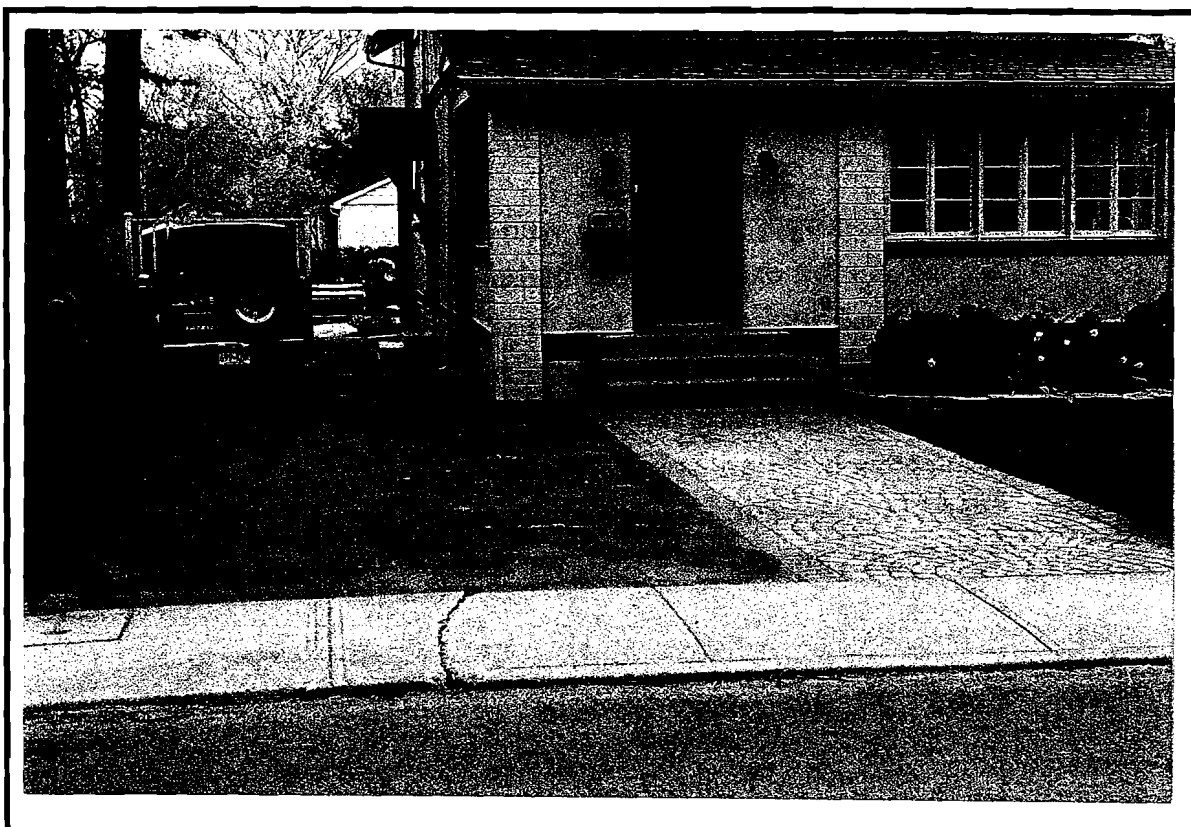
surrounding neighbourhood replaced the strict formality of the earlier designs. The later design intent was to create a site where contemplation of nature could occur. This intention was, in part, motivated by a reaction to the overcrowding and poor living conditions in many urban areas. The creation of naturalistic civic parks was seen as a means of conveying significant social benefits to a community. Georges Square is an excellent example of this design philosophy.

Today, Georges Square is a well maintained, passive recreational space. As the existing trees mature, replacement trees should be added that duplicate the mix of over twenty-two different species. The balance of coniferous and deciduous species should also be retained. Replanting of the park in this manner will ensure that it continues to be an important heritage resource. Architectural features considered for introduction to Georges Square, such as a bandstand, should be guided by historic photographic documentation.

5.4.5 Fencing and Hedges

One of the most significant landscape features of the District is the prominence of property line hedging and fences. There are many types of low ornamental fences of painted wood or iron located along the front property line that contribute to the intimate scale of the pedestrian environment. Front yard privacy can be provided by combining hedges with low fences.

Planting hedges or shrub borders along the side property lines also contributes in a positive way to the street view since driveways and parked cars are screened from the pedestrian until they are directly in front of them.



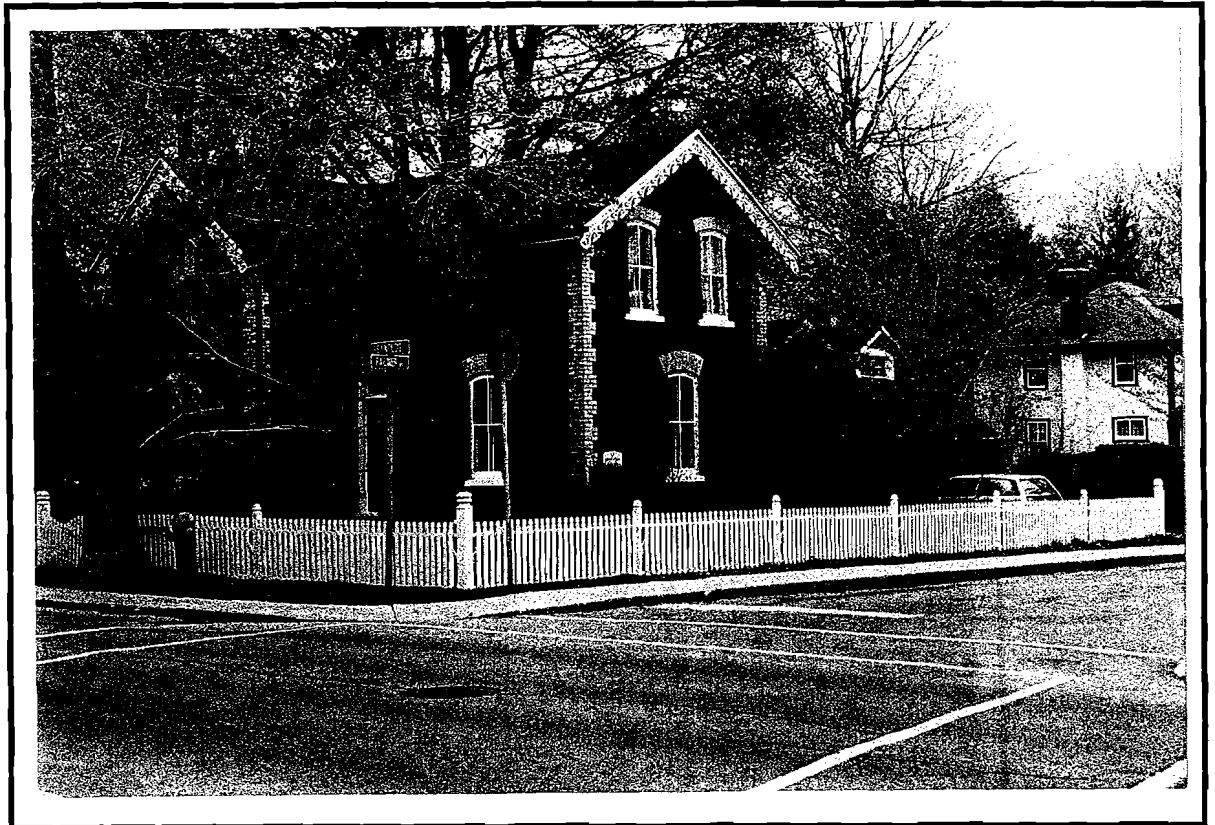
Visual changes in paving materials, colour, texture and pattern separate pedestrian from vehicular uses in the front yard.



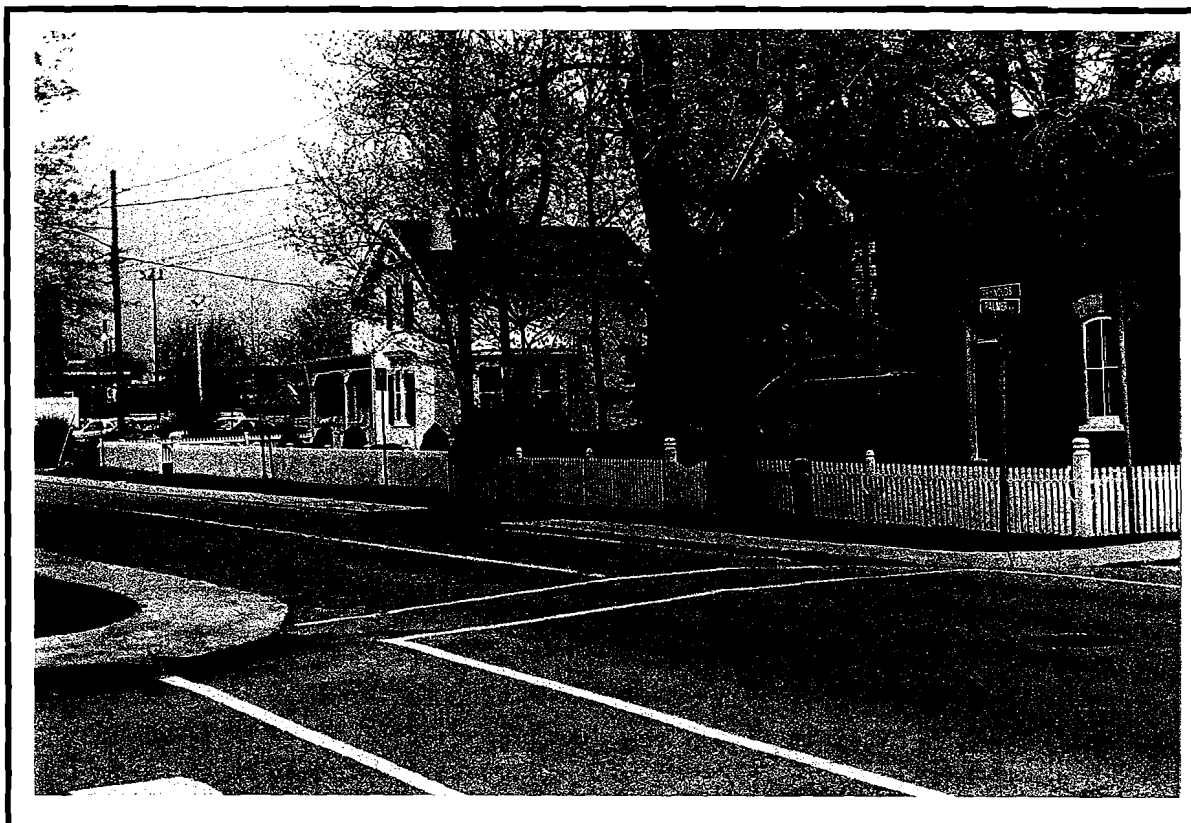
The combination of hedging and fencing provides privacy for the homeowner and a sense of scale and visual interest for the pedestrian.



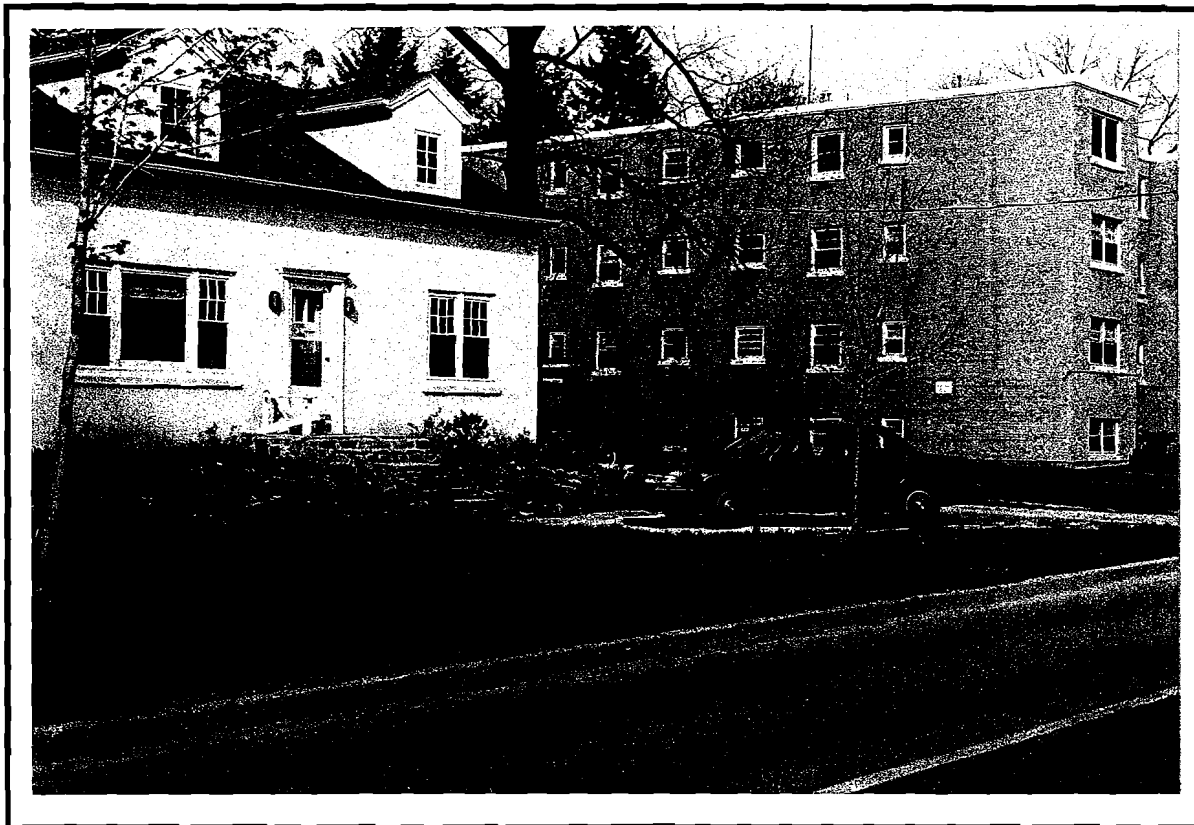
There are many new examples of fencing which define the property line in a traditional manner and as a result contribute to the cohesiveness of the district streetscape.



Property line definition with low picket fences enhances the relationship of private and public space along the street.



The continuation of the picket fence along the adjoining property defines the streetscape as well as provides a sense of scale for pedestrians.



Front yard parking can compromise the health of street trees by causing root compaction and pollution.



Front yard parking disrupts direct visual and physical access to the front entrance of the house.

The diversity of plant material found in the district contributes to the unique character of the landscape. Table 2 lists plant material which property owners can use to guide selection of trees, shrubs, perennials, bulbs, and vines for their landscapes.

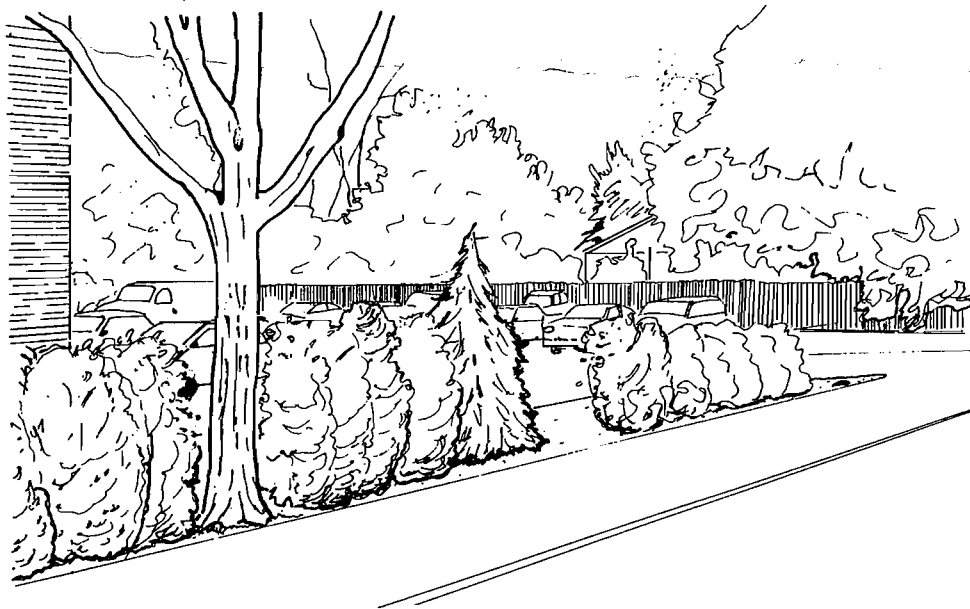
5.4.6 Front yard parking

Many older neighbourhoods are facing increased demands for parking since there has been an overall increase in car ownership over the past several decades. This trend has created new pressures on the use and design of the front yard.

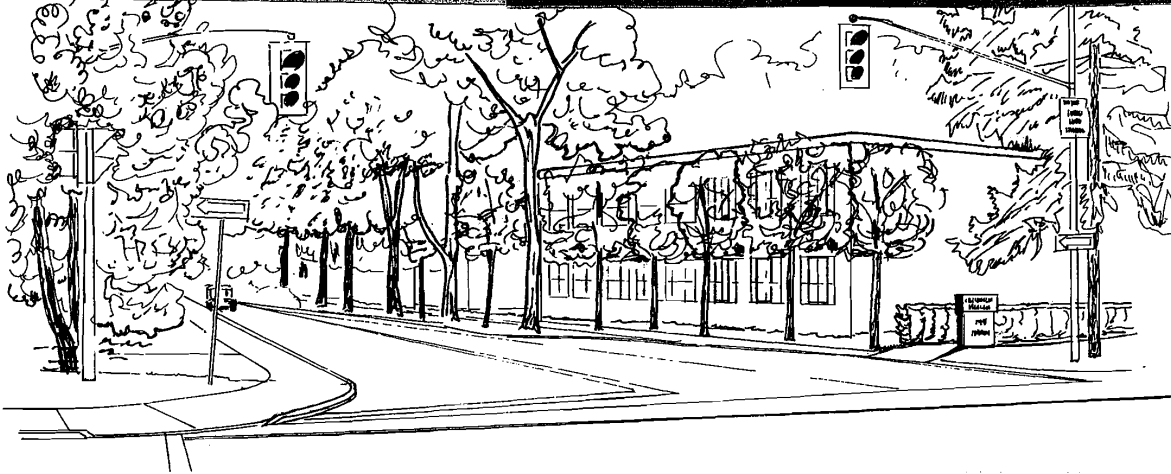
Many homeowners have solved the parking problem by paving all or part of the green open space of the front yard. This practice has a significant impact on the integrity of the streetscape since it generally requires removal of plant material or fencing. The view to the front entrance is often blocked by parked vehicles. The public sidewalk is interrupted more frequently by driveways. The on-street parking capacity is reduced by an increase in the number and width of curb cuts for new parking space entrances.

The less obvious effect of front yard parking is that it compacts the root zone of existing street trees. This will seriously affect their longevity.

There are several examples of front yard parking spaces in the heritage district. This practice should not be encouraged. It typically requires the removal of many landscape features considered to be important to the character of the district. However, careful selection of materials for the landscape treatment of the front yard does have the potential to mitigate some of the negative impact of this practice.



Shrub planting may be used to filter the view of large parking lots.



Replanting of street trees define the street and is especially desirable at the gateways in the district.

For example, using different paving materials with contrasting colours, texture and patterns can reduce the visual impact of the hard surfacing.

Similarly, planting a screening hedge along the side of the parking space can reduce its impact.

In older neighbourhoods, driveways frequently consisted of two long concrete tracks with either grass or crushed stone placed between them. This reduces the amount of hard surfacing in the front yard and is a possible solution to the front yard parking issue.

As well, the width of the curb cut should be limited to 8-10 feet maximum in order to maximize the potential parking capacity on the street.

5.5 List of plant material appropriate for the Town of Oakville

All plants contained in Table 2 were in cultivation prior to 1880 and are hardy to zone 6b. They are considered to be appropriate for planting within the district. The list contains both native and introduced species that reflect the Victorian interest in the cultivation of a wide variety of plant material for landscaping purposes.

Table 2: List of Plant Material Appropriate for the Town of Oakville

TREES	
<u>Common Name</u>	<u>Botanical Name</u>
White Ash	Fractions americana
Basswood	Tilia americana
Blue Beech	Carpinus caroliniana
Butternut	Juglans cinerea
Black Walnut	Juglans nigra
Black Locust	Robina pseudoacacia
Sugar Maple	Acer saccharum
Silver Maple	Acer saccharinum
Mountain Ash	Sorbus aucuparia
Norway Spruce	Picea abies
White Spruce	Picea glauca
Austrian Pine	Pinus nigra
Scots Pine	Pinus sylvestris
Horse Chestnut	Aesculus hippocastanum
Honey Locust	Gleditsia triacanthos
Mulberry	Morus alba
Tulip Tree	Liriodendron tulipifera
SHRUBS	
<u>Common Name</u>	<u>Botanical Name</u>
Persian Lilac	Syringa x persica
Common Lilac	Syringa vulgaris
Honeysuckle	Lonicera spp.
Snowball	Viburnum opulus
Grape Holly	Mahonia aquifolium
Fragrant Currant	Ribes odoratum
Slender Deutzia	Deutzia gracilis

Table 2: List of Plant Material Appropriate for the Town of Oakville (cont'd)

SHRUBS (cont'd)	
<u>Common Name</u>	<u>Botanical Name</u>
Red Osier Dogwood	Cornus sericea
Mock Orange	Philadelphus spp.
Privet	Ligustrum spp.
Japanese Quince	Chaenomeles japonica
Rose of Sharon	Hibiscus syriacus
Smoke Bush	Cotinus coggygia
Snowberry	Symphoricarpos albus
Spindletree	Euonymus europaeus
Vanhoutte Spirea	Spiraea x vanhouttei
Old Fashioned Weigela	Weigela florida
Flowering Dogwood	Cornus florida
Fringe-Tree, White	Chionanthus virginica
Rhododendron	Rhododendron spp.
Flowering Almond	Prunus triloba
PERENNIALS	
<u>Common Name</u>	<u>Botanical Name</u>
Monkshood	Aconitum napellus
Anemone	Anemone spp.
Campanula	Campanula
Bleeding Heart	Dicentra spectabilis
Buttercup	Ranunculus repens
Carnation	Dianthus sp.
Columbine	Aquilegia sp.
Primroses	Primula
English Daisy	Bellis perennis
Michaelmas Daisy	Aster sp.
Feverfew	Chrysanthemum parthenium
Foxglove	Digitalis orientalis

Table 2: List of Plant Material Appropriate for the Town of Oakville (cont'd)

PERENNIALS (cont'd)

<u>Common Name</u>	<u>Botanical Name</u>
Globe Flower	Trollius
Gas Plant	Dictamnus albus
Jacobs Ladder	Polemonium caeruleum
Larkspur	Delphinium
Lily of the Valley	Convallaria majalis
Daylily	Hemerocallis
Lobelia	Lobelia
Lungwort	Pulmonaria officinalis
Sweet Alyssum	Alyssum sp.
Violet	Viola cornuta
Everlasting Pea	Lathyrus latifolius
Peony	Paeonia spp.
Plantain Lily	Hosta sp.
Phlox	Phlox paniculata
Speedwell	Veronica spp.
Spiderwort	Tradescantia virginiana
Sweet William	Dianthus barbatus
Coreopsis	Coreopsis sp.
Wallflower	Cheiranthus cheiri
Yarrow	Achillea sp.
Yucca	Yucca spp.
Christmas Rose	Helleborus niger
London Pride	Saxifraga umbrasa

BULBS

<u>Common Name</u>	<u>Botanical Name</u>
Anemone	Anemone coronaria
Crocus	Crocus
Daffodil (Jonquil)	Narcissus spp.

Table 2: List of Plant Material Appropriate for the Town of Oakville (cont'd)**BULBS (cont'd)**

<u>Common Name</u>	<u>Botanical Name</u>
Dahlia	Dahlia spp.
Fritillaria	Fritillaria spp.
Gladiolus	Gladiolus spp.
Hyacinth	Hyacinthus
Grape Hyacinth	Muscari Iris Iris spp.
Madonna Lily	Lilium candidum
Martagon Lily	Lilium martagon
Snowdrop	Galanthus nivalis
Tuberose	Polianthes tuberosa
Tulip	Tulipa

VINES

<u>Common Name</u>	<u>Botanical Name</u>
Scarlet Runner Bean	Phaseolus coccineus
Bittersweet	Celastris scandens
Clematis	Clematis sp.
Honeysuckle	Lonicera spp.
Morning Glory	Ipomoea purpurea
Sweet Pea	Lathyrus odorata
Trumpet Creeper	Campsis radicans
Dutchman's Pipe	Aristolochia durior
Ivy	Hedera helix
Wisteria	Wisteria floribunda

References

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 Sherk, L.C. Buckley, A.R. "Ornamental Shrubs for Canada". Ottawa, 1974.
 Snyder, L.C. "Trees and Shrubs for Northern Gardens". Minneapolis, 1980.
 Von Baeyer, E. "Rhetoric and Roses". Markham, 1984.

APPENDIX E

Proposed Development Documentation

TOWN OF OAKVILLE

- MEMO: DRAFT PLAN OF SUBDIVISION - FORMER OAKVILLE-TRAFALGAR MEMORIAL HOSPITAL LANDS (1 FEB. 2018)
- PARK & OPEN SPACE CONCEPT DEVELOPMENT (5 FEB 2018)

DIAMOND SCHMITT ARCHITECTS

- SECC HERITAGE URBAN DESIGN MEETING (2 MARCH 2018)

CUNNINGHAM MCCONNELL LTD

- TOPOGRAPHIC SKETCH OF LOTS T, U, V AND PART OF LOT H AND PART OF LAWSON STREET (CLOSED BY BY-LAW 1986-60) REGISTERED PLAN 1 (21 NOV. 2017)

Memo

To: Mr. Domenic Lunardo, Program Co-ordinator, Downtown Projects
From: Planning Services
Date: February 1, 2018
Subject: Draft Plan of Subdivision - Former Oakville-Trafalgar Memorial Hospital Lands

This memo is provided in satisfaction of the scoped planning justification memo with urban design principles required as per the pre-consultation agreement signed on January 24th, 2018. It is supported by Council's recent approval of an Official Plan Amendment and Zoning By-law Amendment pertaining to the former Oakville-Trafalgar Memorial Hospital Lands and provides an overview of the subject draft plan of subdivision application and brief applicable policy, by-law and other technical requirements.

Location

The former Oakville-Trafalgar Memorial Hospital ('OTMH') is bound by Reynolds Street to the west, MacDonald Road to the north, Allan Street to the east, Wyndham Manor Long Term Care Centre to the south and is 5.7 hectares in size (including the 0.3 ha open space block east of Wyndham Manor Long Term Care Centre which is encumbered by a number of easements).



Figure 1: Air Photo

The subject lands are comprised of the northern portion of the former OTMH lands, as conceptually shown on Figure 1.

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Background

The subject lands are located within a settlement area (town) and built boundary (generally south of Dundas Street) and were identified as a special policy area pursuant to the Livable Oakville Plan (2009).

26.1.1 The Special Policy Area relating to the hospital lands may be considered, following a Town-initiated community visioning exercise, through the planning application process with the submission of the following studies and any other requirements under section 28.17:

- a) transportation demand analysis;*
- b) traffic impact study;*
- c) planning justification report;*
- d) urban design brief;*
- e) functional servicing study; and,*
- f) community infrastructure assessment.*

26.1.2 Redevelopment shall consider the following requirements in addition to those in section 11.1.9:

- a) Development should maintain and improve public parkland, pedestrian, cycling and vehicular access and connect to the surrounding neighbourhood and community.*
- b) Development will be subject to a phasing plan.*
- c) Development proposals will demonstrate compatibility and integration with the surrounding land uses by ensuring an effective transition in built form between areas of different development heights. Transition in built form will act as a buffer between proposed development and planned uses and should be provided through appropriate design, siting, setbacks and the provision of public and private open space and amenity space.*
- d) Development shall protect and enhance natural features.*
- e) Development will be required to provide the necessary community infrastructure, transportation infrastructure and other services required to maintain a complete community.*
- f) Development shall protect and enhance existing cultural heritage features and, where feasible, integrate such features into the development of the lands.*

26.1.3 Notwithstanding the Institutional designation, the lands may be redeveloped in accordance with the permitted uses and policies of the Low Density Residential designation and may also include the uses permitted in the Medium Density Residential designation. Community uses may also be permitted.

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26.1.4 The Town shall encourage the maintenance and preservation of the old Oakville Trafalgar High School building, which is designated under the Heritage Act, in any development of the site.

The 2013 South Central Public Lands Study was a comprehensive land use study focused on several school sites, former OTMH lands, and the Oakville Arena site. The study incorporated extensive community engagement and technical analyses for each of the sites. Through this study Council endorsed, in principle, a land use option for the former OTMH.

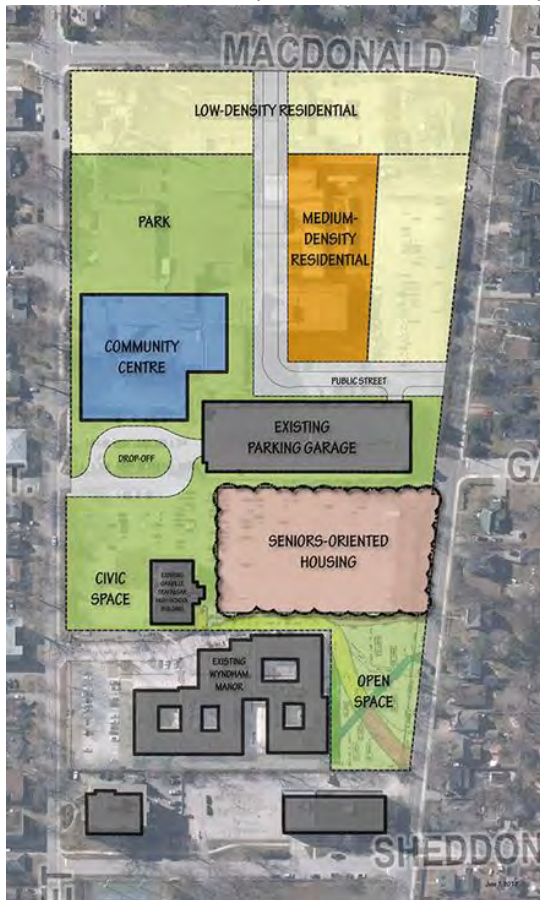


Figure 2: Approved Former Hospital Site Master Plan

Throughout 2017 additional public consultation was undertaken regarding the overall design of the OTMH and its component land uses. The Master Plan incorporates a new community centre and park, residential development, the preservation of the former Oakville-Trafalgar High School ('OTHS') and parking garage, and an area for future seniors-oriented housing.

The former OTHS building is located immediately north of the Wyndham Manor Long Term Care Centre and is designated under Part IV of the *Ontario Heritage Act*. The building has been vacant for more than 20 years and is currently home to a chimney swift colony that roost in the school's four chimneys. The birds are a threatened species under both provincial and federal legislation.

Council approved the updated site master plan in June 2017 (Figure 2), which was derived from the public's input on several different site design options, and approved the implementing Official Plan Amendment and Zoning By-law Amendment on December 4th, 2017. The amendments are now in full force and effect.

The staff report dated November 13, 2017 should be referred to regarding the planning rationale and assessment related to the Official Plan and Zoning By-law Amendments which established the low and medium density residential land use designation of the subject lands, zoning performance standards including lot size, and overall conformity with the aforementioned 2009 Livable Oakville Special Policy Area.

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Proposed Draft Plan of Subdivision

The draft plan of subdivision is comprised of 19 individual lots with a frontage between 14.5 m - 15.7 m intended to be developed with single-detached dwellings, 2 medium density residential blocks intended to be developed with 16 townhouses and 1 block for a 17.0 m public road.

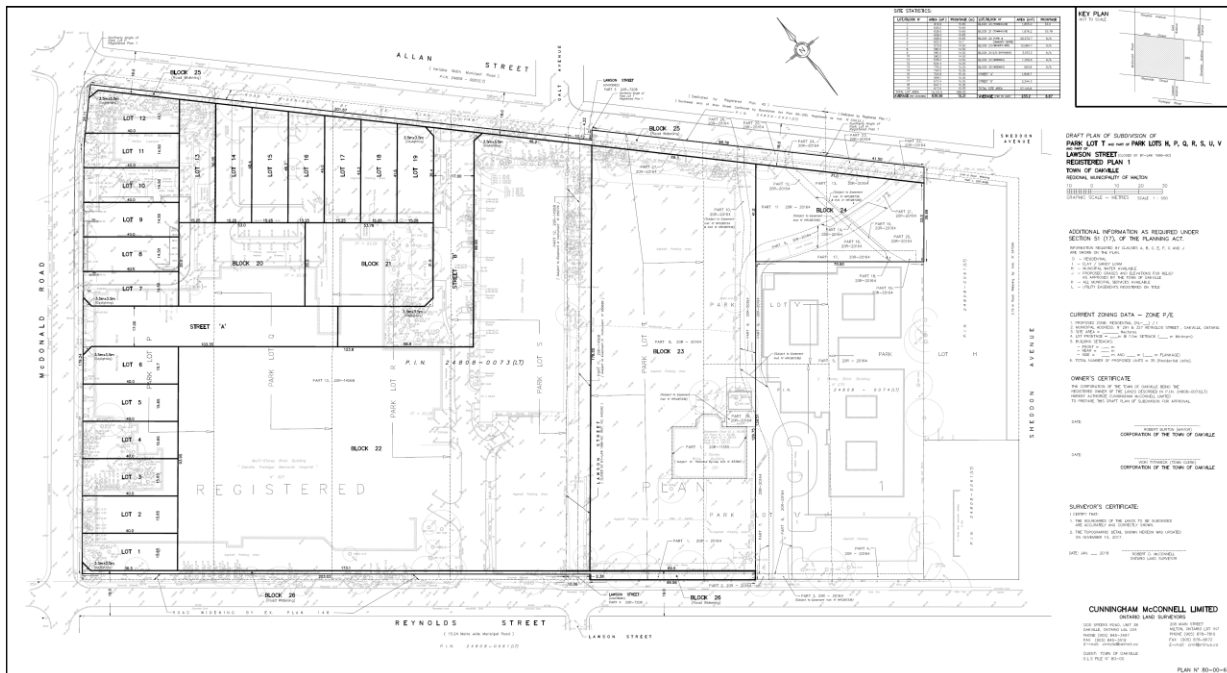


Figure 3: Draft Plan of Subdivision

In addition, road widening's as part of the larger OTMH redevelopment will be conveyed to the town, as part of this draft plan of subdivision.

As part of the larger site, a consent application is intended to be submitted to facilitate the establishment of three blocks over the remainder of the former hospital site for the purpose of: a park block, a block for the future community centre (including the existing parking garage), and a block for the preservation and reuse of the former OTHS building including the integration of seniors-oriented housing and open space uses.

9. SUPPORTING STUDIES

a. FUNCTIONAL SERVICING REPORT

A Functional Servicing Report submitted as part of the subject plan of subdivision application will outline the water, wastewater and stormwater servicing requirements for the subject lands and development of the proposed subdivision in order to assess the feasibility of adequately servicing the lands.

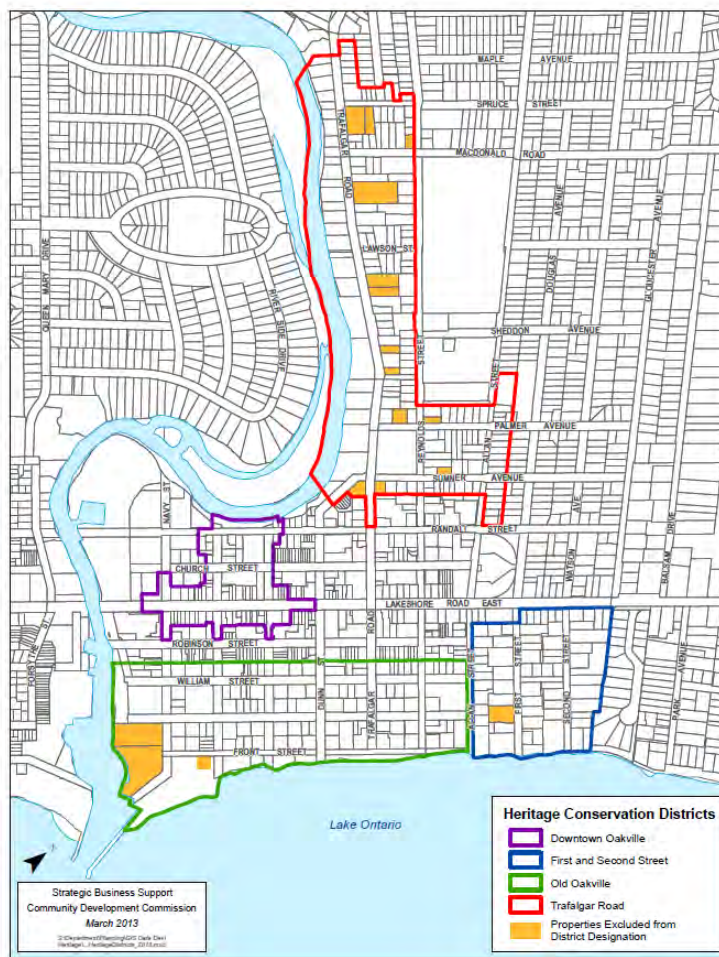
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b. TRANSPORTATION IMPACT STUDY

A Transportation Demand and Traffic Impact Study was prepared in support of the subject draft plan of subdivision application. The analysis concluded that under the existing (2017) and future (2025) traffic conditions, all of the study area intersections are operating satisfactorily and no intersection operational improvements are required. Relative to the pre-existing hospital land use, the proposed development will result in a significant decrease of traffic volumes along the Cornwall Road section between Trafalgar Road and Reynolds Street, along Reynolds Street and Allan Street. More detailed recommendations including future review of turning lanes, pedestrian connections and right-of way width are detailed in the study.

c. HERITAGE IMPACT ASSESSMENT

The subject lands are located adjacent to the Trafalgar Road Heritage Conservation



District (along Reynolds Street). The OTHS building, located on adjacent lands, is also designated under Part IV of the *Ontario Heritage Act*. Pursuant to the *Livable Oakville Plan*, the town may require a heritage impact assessment in both circumstances (adjacent designated heritage building and heritage conservation district). This approach is consistent with related PPS policies and conforms to related Growth Plan policies.

A Heritage Impact Assessment will be submitted in due course, and is expected to identify any related

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matters that should be considered in the review of the draft plan of subdivision application and included as conditions of draft plan approval.

d. ENVIRONMENTAL SITE ASSESSMENT

An environmental assessment will be submitted as part of the plan of subdivision application which will provide an assessment of the subject lands in accordance with Provincial requirements.

e. TREE PRESERVATION REPORT

A tree preservation report submitted as part of the subject plan of subdivision application will provide a summary of a tree inventory of all existing trees on the subject lands, as well as a description of planned tree preservation measures. Tree preservation and new tree plantings to assist in achieving the town's tree canopy cover target can be included as draft plan conditions.

8. CURRENT PLANNING POLICY FRAMEWORK

This application is subject to the following policy framework: the Provincial Policy Statement (2014), the Growth Plan for the Greater Golden Horseshoe (2017), Halton Region Official Plan, and the Town of Oakville Official Plan (Livable Oakville) and Zoning By-law. The broad policy framework as it applies to the proposed application is outlined below.

a) PROVINCIAL POLICY STATEMENT (PPS), 2014

The Provincial Policy Statement ('PPS') provides a policy led planning system, recognizing there are complex relationships among environmental, economic and social factors in land use planning. The Provincial Policy Statement provides policy direction on matters of provincial interest related to land use planning and development. All planning decisions are required to be consistent with the PPS.

Section 1 of the PPS promotes building strong healthy communities by managing and directing land use to achieve efficient and resilient development and land use patterns. Section 1.1.1 of the PPS notes that healthy, liveable and safe communities are sustained by, among other matters;

- *promoting efficient development and land use patterns which sustain the financial wellbeing of the province and municipalities over the long term (1.1.1 a);*
- *accommodating an appropriate range and mix of residential, institutional, recreation, park and open space, and other uses to meet long-term needs (1.1.1 b);*
- *avoiding development and land use patterns which may cause environmental or public health and safety concerns (1.1.1 c);*

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- *promoting cost-effective development patterns and standards to minimize land consumption and servicing costs (1.1.1 d);*
- *improving accessibility for persons with disabilities and older persons (1.1.1 e);*
- *ensuring that necessary public service facilities are or will be available to meet current and projected needs (1.1.1 g); and,*
- *promoting development and land use patterns that conserve biodiversity and consider the impacts of a changing climate (1.1.1 h).*

The subject lands are located within a settlement area which are broadly “the focus for growth and development” and “their vitality and regeneration shall be promoted” (1.1.3.1). In directing growth to settlement areas, planning authorities are to “identify appropriate locations and promote opportunities for intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs” (1.1.3.3).

In regard to housing, the PPS directs planning authorities to provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents. This is to be done by directing new housing developments to locations where appropriate levels of infrastructure and public service facilities are or will be available (1.4.3 c), promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities (1.4.3 d), and establishing development standards for residential intensification and redevelopment which minimize the cost of housing and facilitate compact form, while maintain appropriate levels of public health and safety (1.4.3 e).

The land use permissions, density and zoning performance standards of the redevelopment were established through the Official Plan Amendment (OPA 23) and Zoning By-law Amendment approved by Town Council on December 4th, 2017.

Section 1.1.3.3 also states that “Intensification and redevelopment shall be directed in accordance with the policies of Section 2: Wise Use and Management of Resources ...”

Section 2 of the PPS states that Ontario's long-term prosperity, environmental health, and social well-being depend on, among other matters, conserving biodiversity, and protecting natural and cultural heritage resources for their economic, environmental and social benefits.

The following sections of the PPS with respect to natural heritage are applicable to the redevelopment of the former hospital site, which includes the subject lands, and requires consideration:

Memo

2.1.5 *Development and site alteration shall not be permitted in:*

d) significant wildlife habitat;

2.1.7 *Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.*

2.1.8 *Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 2.1.4, 2.1.5, and 2.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.*

The former hospital lands contain an identified Chimney Swift habitat within the chimneys of the former Oakville Trafalgar High School (OTHS) building. Chimney Swifts are identified as a threatened species under Ontario's *Endangered Species Act*.

As part of the demolition of the hospital, it did not trigger any legislative requirements in regards to the known Chimney Swift habitat in the adjacent OTHS building, provided the high school was not involved in the demolition. While the provisions of the *Endangered Species Act* do cover protection of habitat, for the Chimney Swift this was restricted to the chimney they actually inhabit (and the immediate adjacent area around the chimney) based on Regulation 242/08, Section 23.8 of the ESA.

Given this, the subject lands and proposed draft plan of subdivision, which do not include the significant wildlife habitat, is consistent with the PPS. Notwithstanding, it is recognized that future consideration and study of the Chimney Swift habitat will be required as part of a future rezoning and/or site plan application associated with the redevelopment of the OTHS building and potentially the seniors-oriented housing adjacent to the OTHS building as contemplated as part of the Council endorsed Master Plan.

The cultural heritage policies of the PPS are applicable, including the following:

2.6.3 *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

Other policies also apply to the subject lands, such as criteria for stormwater management, and will be addressed in more detail as part of the associated supporting studies.

Memo

b) GROWTH PLAN FOR THE GREATER GOLDEN HORSESHOE (2017)

The Growth Plan for the Greater Golden Horseshoe 2017 ('Growth Plan') came into effect on July 1, 2017 replacing the 2006 Growth Plan. The Growth Plan provides a framework for implementing the Province's vision for building stronger, prosperous communities by managing growth. The Plan directs growth to built-up areas through intensification where development can efficiently use existing infrastructure. The plan promotes a compact built form and increased densities with a mix of residential uses.

The policies for where and how to grow and manage growth direct forecasted growth to settlement areas "focused in delineated built-up areas" [2.2.1.2 c) i]. The subject lands are within the settlement area and are within the delineated built-up area.

Section 2.2.1.4 notes the Plan supports the achievement of complete communities that:

- a) *feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and public service facilities;*
- b) *improve social equity and overall quality of life, including human health, for people of all ages, abilities, and incomes;*
- c) *provide a diverse range and mix of housing options, including second units and affordable housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes;*
- d) *expand convenient access to:*
 - i. *a range of transportation options, including options for the safe, comfortable and convenient use of active transportation;*
 - ii. *public service facilities, co-located and integrated in community hubs;*
 - iii. *an appropriate supply of safe, publicly-accessible open spaces, parks, trails, and other recreational facilities; and*
 - iv. *healthy, local, and affordable food options, including through urban agriculture;*
- e) *ensure the development of high quality compact built form, an attractive and vibrant public realm, including public open spaces, through site design and urban design standards;*

Memo

- f) mitigate and adapt to climate change impacts, build resilience, reduce greenhouse gas emissions, and contribute towards the achievement of low-carbon communities; and*
- g) integrate green infrastructure and low impact development.*

The proposed draft plan of subdivision works to implement the approved Official Plan Amendment and Zoning By-law Amendment for the former hospital site. The approved Official Plan Amendment and Zoning By-law Amendment uphold the broader level policies of the Growth Plan and supports the achievement of complete communities.

Section 2.2.2 of the Growth Plan sets minimum intensification targets for the level of growth that is to occur within the delineated built-up area as a percentage of total growth within Halton Region. The proposed draft plan of subdivision contributes to the achievement of the minimum intensification targets as set out in the Growth Plan.

Section 2.2.2.4 notes that “all municipalities will develop a strategy to achieve the minimum intensification target and intensification throughout delineated built-up areas, which will:

- a) encourage intensification generally to achieve the desired urban structure;*
- b) identify the appropriate type and scale of development and transition of built form to adjacent areas;*
- c) identify strategic growth areas to support achievement of the intensification target and recognize them as a key focus for development;*
- d) ensure lands are zoned and development is designed in a manner that supports the achievement of complete communities;*
- e) prioritize planning and investment in infrastructure and public service facilities that will support intensification; and*
- f) be implemented through official plan policies and designations, updated zoning and other supporting documents.*

The proposed draft plan of subdivision implements the Official Plan and Zoning By-law. Further, overall the density of the proposed new housing component is within the range of ‘low density residential’, as defined by the Livable Oakville Plan, which is reflective of the surrounding area.

Other policies also apply to the subject lands, such as criteria for stormwater management and cultural heritage and will be addressed in more detail as part of the associated supporting studies.

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c) HALTON REGION OFFICIAL PLAN

The Halton Region Official Plan sets out the growth and development goals, objectives and policies to guide growth and change across the Region of Halton. The OMB has issued a series of decisions regarding the partial approval of ROPA 38 to the Halton Region Official Plan. The policies of ROPA 38 are in force with the exception of site-specific and policy-specific matters unrelated to this application.

The subject lands (i.e. the lands subject to the proposed draft plan of subdivision) are designated “Urban Area” in the Halton Region Official Plan.

The objectives of the Urban Area are, among other objectives, to support growth that is compact and supportive of transit usage; provide a range of identifiable, inter-connected and complete communities of various sizes, types and character; to promote the adaptive re-use of brownfield and greyfield sites; and to facilitate and promote intensification and increased densities.

Policy 76 states a “range of permitted uses and the creation of new lots in the Urban Area will be in accordance with Local Official Plans and Zoning By-laws. All development, however, shall be subject to the policies of this Plan.”

d) LIVABLE OAKVILLE PLAN

Livable Oakville is the town’s official plan for the lands south of Dundas Street and north of Highway 407. It provides land use designations and policies to guide development to the year 2031. The Plan was adopted by Council in June 2009 and approved by Halton Region in November 2009, with modifications, as it was deemed to conform to the 2006 Growth Plan and the Region’s Official Plan, as amended, and to be consistent with the 2005 Provincial Policy Statement. A number of parties appealed the Region’s decision to the Ontario Municipal Board. The Board subsequently adjudicated the majority of the appeals and approved the Plan, with further modifications, in May 2011.

The Livable Oakville Plan designated the former hospital site and subject lands as “Institutional” which recognized the former hospital and associated uses. The Plan also identified the former hospital site as a special policy area being a “Potential Residential Redevelopment Area” and including site-specific policies to guide future redevelopment once the hospital was demolished. In order for redevelopment to take place, the Plan required the completion of a visioning exercise for the reuse of the property, along with a number of site-specific studies including a transportation demand analysis and a functional servicing study, among others.

Memo

On June 27, 2017, following extensive public consultation (i.e. visioning exercise), Council endorsed a preferred Master Plan for the redevelopment of the former hospital site. To enable the Master Plan and future redevelopment of the site, Council approved a town-initiated Official Plan Amendment (OPA 23) on December 4, 2017. OPA 23 redesignated the former hospital site from “Institutional” to “Low Density Residential”, “Medium Density Residential” and “Parks and Open Space” in accordance with the preferred Master Plan. The OPA enables the redevelopment of the property for:

- a community centre;
- a park block;
- the maintenance of the existing parking garage;
- an “L-shaped” street on the east side of the new park block and north of the existing parking garage, connecting Macdonald Road and Allan Street;
- residential land uses, consisting of detached dwellings fronting onto Macdonald Road and Allan Street and townhouses fronting onto the new “L-shaped” street, which does not exceed a density of 29 units per site hectare;
- an area for seniors-oriented housing and supporting uses on the southern portion of the site;
- the preservation of the existing former Oakville-Trafalgar High School (OTHS) building, which is designated under Part IV of the Ontario Heritage Act, to be integrated with seniors-oriented housing;
- a publicly accessible civic space in front of the former OTHS, adjacent to Reynolds Street; and,
- a passive park space along Allan Street.

The proposed draft plan of subdivision (i.e. the subject lands) affects the northern portion of the former hospital site. The subject lands include the residential land use designation “Low Density Residential” and “Medium Density Residential” and contains the new “L-shaped” street as per the approved Official Plan Amendment. The draft plan of subdivision proposes to create a block for the creation of 19 single detached residential lots fronting onto MacDonald Road and Allan Street, and 16 townhouse residential lots fronting the new “L-shaped” street.

The proposed draft plan of subdivision implements the approved Official Plan Amendment for the subject lands pertaining to the northern portion of the Council adopted Master Plan for the former hospital site.

Memo

e) ZONING BY-LAW 2014-014

The subject lands are zoned RL3-0 S.P. 383 and RM1 S.P. 383. The draft plan of subdivision has been drafted to fully comply with the Zoning By-law, including meeting or exceeding minimum lot area and frontage requirements. The proposed size, shape and orientation of the proposed lots comply with the zoning by-law and provide generally rectangular shape building lots.

f) SECTION 51(24) OF PLANNING ACT

Section 51(24) of the *Planning Act*, applies to the subject plan of subdivision and provides that in considering a draft plan of subdivision, regard shall be had, among other matters, to the health, safety, convenience, accessibility for persons with disabilities and welfare of the present and future inhabitants of the municipality and to,

- (a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2;
 - As outlined in this memo, a number of Provincial, Regional and local planning policies apply to the subject development, which are related to matters of Provincial Interest. The supporting studies will address these matters in more detail and conformity with applicable policy will be assessed further as part of the technical review of the development application.
- (b) whether the proposed subdivision is premature or in the public interest;
 - The proposed plan of subdivision implements an extensive public consultation process, approved master plan and is reflective of the recent Official Plan Amendment and the as-of-right zoning permissions pursuant to Zoning By-law 2014-014. The supporting studies will provide more information such as whether the lands can be feasibility serviced, which will be reviewed and assessed further through the development application.
- (c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;
 - Conformity with the Livable Oakville Plan will be assessed in more detail as part of the review of this development application, and through the reports and studies required in support of this development application.
- (d) the suitability of the land for the purposes for which it is to be subdivided;
 - The land is suitable for the proposed subdivision and uses as it implements an extensive public consultation process and approved master plan for redevelopment of the larger former hospital lands.
- (d.1) if any affordable housing units are being proposed, the suitability of the proposed units for affordable housing;
 - No affordable housing units are proposed on the subject lands.

Memo

(e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;

- The number, width, location and proposed grades of all streets will be assessed in more detail as part of the Functional Servicing Report and Transportation Impact Study. The new public road proposed will meet the Town's engineering standards.

(f) the dimensions and shapes of the proposed lots;

- Rectangular lots are proposed with lot frontage and lot area which comply with the zoning by-law.

(g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land;

- The subject lands are part of a larger site that has been comprehensively planned. The development of the proposed plan of subdivision will be coordinated with adjacent development. Conditions of draft plan of subdivision approval will set out any necessary and appropriate conditions on matters to be addressed prior to the registration of the subdivision.

(h) conservation of natural resources and flood control;

- The subject lands are not part of the natural heritage system and are not regulated by Conservation Halton.

(i) the adequacy of utilities and municipal services;

- The proposed plan of subdivision largely utilizes existing utilities and municipal services. Functional servicing and stormwater management will be addressed in more detail by the Functional Servicing Report. Related draft plan conditions could be imposed, as required.

(j) the adequacy of school sites;

- The draft plan of subdivision, as proposed, would result in 19 single-detached dwellings and 16 townhomes. The adequacy of school sites will be confirmed through the respective school board's review of the development application, and draft plan conditions and warning clauses may be imposed.

(k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;

- Not applicable, however as part of the larger development public uses will be reestablished in the form of a new park, community centre and recreation facilities.

(l) the extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy; and

- The proposed development constitutes redevelopment of part of a larger land parcel within the built boundary which mostly utilizes existing infrastructure including roads, water and waste water and transit. A relatively minor expansion to the public road network is proposed

Memo

to accommodate the 16 multiple attached dwellings internal to the site. Overall, the development represents an efficient use of energy.

(m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act.

- Through review of this draft plan of subdivision, the Council will have authority to require none, some or all of the lots to be subject to site plan control. Overall, the draft plan of subdivision proposes generally rectangular shape lots with modest changes of grade. Access to each lot can be accommodated from existing and proposed public roads.

APPENDIX A - URBAN DESIGN GUIDING PRINCIPLES AND DIRECTION

The proposed Master Plan envisions new sustainable development which is well-integrated within the existing neighbourhood. The Master Plan is designed to carefully address the existing context such as adjacent heritage district, traditional low density housing and historic structure (Oakville Trafalgar High School) on the former hospital site.

KEY STRUCTURING ELEMENTS

The proposed Master Plan includes the following key components:

- Low and medium density residential area with a new public road;
- Community Centre with two pools, gymnasium, aerobic studio, weight room, two multipurpose rooms and a walking track;
- Seniors-oriented development;
- Three distinctive open space areas, interconnected by pedestrian linkages;
- Existing parking garage; and
- Existing historic Oakville Trafalgar High School.

GUIDING DESIGN PRINCIPLES

Following are the main design principles guiding the future development.

1. Creating distinct and vibrant community

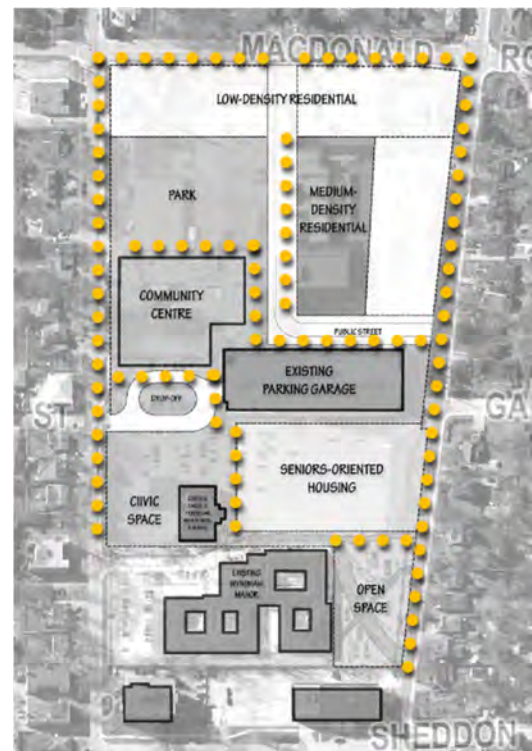
A liveable community features well-connected distinct spaces with a diversity of uses. When designed well, such community encourages public interaction and provides engaging places for people.

The proposed Master Plan envisions community and residential uses which will be well-connected through a new public street and linkages through the three new public open spaces.

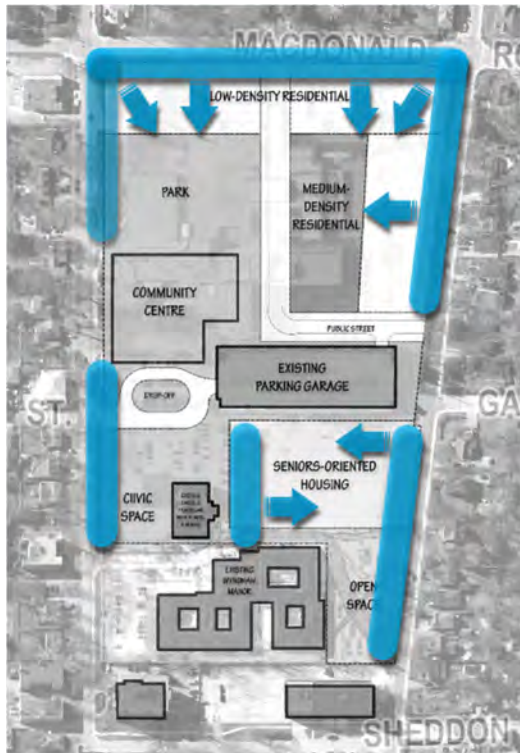
All proposed built form will be designed to orient active spaces toward the public realm to help creating a recognizable and vibrant community.

2. Fostering compatibility and context-specific design

Integration of new development into an existing context is a crucial principle for any infill project.



Active frontages will be designed along public realm.



New development will gradually transition from low-rise form.

The proposed development will be gradually transitioning from the existing low-rise form. Low density residential development is proposed along the existing residential streets with a medium density block internal to the site. Two of the new developments might be considerably larger in scale than the surrounding neighbourhood (Community Centre and potentially Senior-oriented Housing). Buildings of larger form will be carefully designed to integrate within the existing context by ensuring the proposed massing, height, rhythm, street presence, and materials will complement the established surroundings. The historic structure on the site will be open for views through a new Civic Space.

3. Enhancing connectivity and accessibility

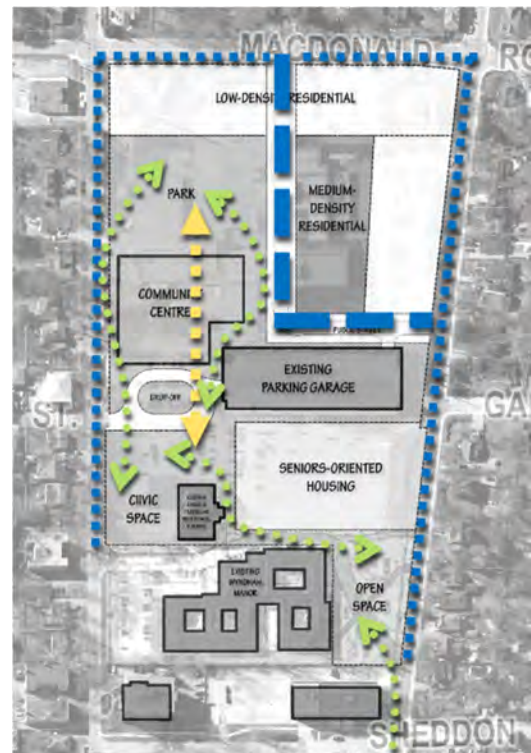
Promoting active modes of transportation is a basic design principle for any new development within the Town.

The proposed development will provide further linkages within the community by introducing a new public street and several pedestrian connections throughout the open spaces. Street-related built form will be designed with focus on creating interesting, permeable façades to invite pedestrian movement.

4. Integrating sustainability and resiliency

As an urban design principle, sustainability relies on accommodating growth through creating complete communities. To support this principle, focus should be on providing compact developments supporting alternative transportation modes and promoting alternative energy use and green building design.

New development should incorporate high environmental standards for every project. Energy efficient and environmentally friendly design should be integrated as one of the key components of the design and construction process. Permeable paving materials, water

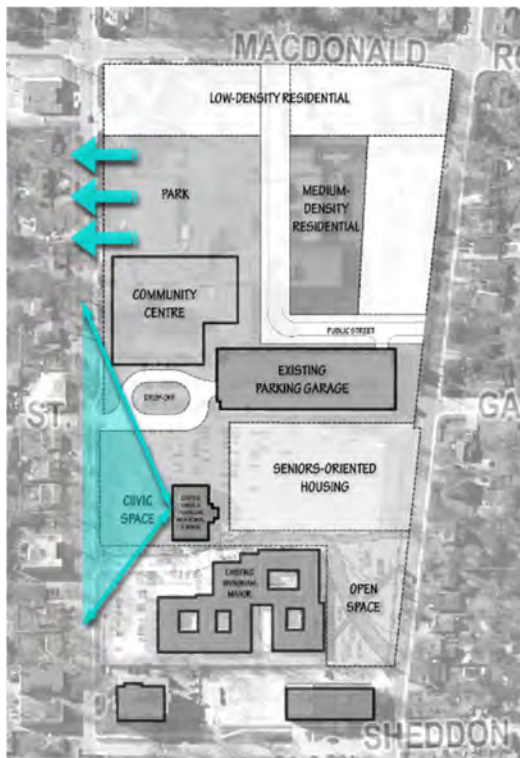


New public road and pedestrian linkages will connect future development with the existing neighbourhood.

collection and storage, green roof application, photovoltaics and sun/shade controls are a few of the sustainable techniques to consider within new development.

5. Preserving built heritage, cultural and natural resources

As an urban design principle, legacy is focused on the preservation and enhancement of built heritage, cultural features and landscapes, significant public views, and natural heritage systems and features.



The new Park and Civic Space will open the views toward the heritage district.

The adjacent Old Oakville Heritage Conservation District features early vernacular homes, nineteenth-century lakeside cottages, turn-of-the-century luxury houses and churches. Architectural styles are diverse and include 19th-century Georgian, Neo-Classical, Victorian and Classical Revival, many of which are a vernacular interpretation of the style. There is also an existing historic building on site - Oakville Trafalgar High School.

New development will achieve compatibility between old and new elements and it will strengthen community identity.

The new Park, Civic Space and the green linkage along the Community Centre will celebrate the heritage district by creating widely open views toward it. The new development will respect the built heritage not by imitating the historic elements; rather by creating built form that responds and supports the heritage structures by focusing on similar scale and proportionality, and on opening the views toward them.

6. Inspiring creativity and innovation

As Oakville continues to evolve, new development and redevelopment will contribute to and build upon the unique community features, attributes and distinct identity.

As an urban design principle, creativity encourages development that incorporates a range of inspired and innovative design solutions that positively respond to the scale and materiality of the local context.

New development will consist of a high-quality built environment, pedestrian-focused spaces, attractive streetscapes, enhanced views and large flexible gathering places which will all respond to their local surroundings and which will enhance the existing community.

DESIGN DIRECTION

Town's Livable by Design Manual sets the framework for desirable and compatible development. This document should be used for guidance for all new development. Following is additional high-level design direction for the specific areas within the Master Plan.

Low density residential area

The low density residential area along MacDonald Road and Allan Street is envisioned as a gentle transition from the existing single-detached housing toward denser uses on the site.

The existing homes along MacDonald Road and Allan Street are predominantly small, 1-1.5 storey in height with few 2-storey structures. The design is diverse and a large part of the character of the area is created by this diversity, as well as by the mature vegetation.

The low density development should reflect the existing houses in the area by including smaller, one-storey elements, incorporating second storey living spaces within the attic and recessing the garage behind the main wall. Corner units should address both streets.



New low density development should respect the existing character of the area by:

- Creating lot patterns similar to those existing in the area;

- Designing massing broken into smaller elements with one-storey components to better integrate with the existing context (refer to Town's Design Guidelines for Stable Residential Communities);
- Creating wide variety of the designs with no repetitions of the same models on one street;
- Designing garages setback from the main wall;
- Addressing corner lots with homes featuring the same level of detail on both fronting, as well as flanking elevations, and oriented towards both streets;
- Upgrading rear elevations of all units backing onto the park;
- Creating a rear yard / park relationship through innovative design solutions;
- Preserving mature trees; and
- Providing strategically placed and narrow driveways at the property line to allow for street trees which would complement the existing mature trees in the area.

Medium density residential area

The medium density residential area along new public street will frame the new park from the east side. It will have a high visibility and it should be designed to feature living spaces facing west to overlook the new street and the park.



The medium density development should frame the Park with visually interesting and varied built form. Strong focus should be placed on living spaces located at, or close to the ground level, overlooking the Park.

New medium density development will create attractive, pedestrian-friendly environment by:

- Framing the street with built form located parallel to the street;
- Creating strong visual connectivity with the park;
- Designing living spaces facing the park and functional porches open toward the street;
- Minimizing the driveways and garages;
- Creating distinctive architecture with varied façade planes, materials and colours to add interest to the built form; and
- Placing entrances at, or close to the grade level.

Community Centre

The new Community Centre will create a focal point of the neighbourhood. It should be inviting and open to its visitors and connected with the community. Following are strategies to achieve these goals:

- Community Centre should be located prominently on the site and where possible, create views which emphasize its community character and openness;
- To create a landmark within this community, the Community Centre should feature unique architecture and distinct identity;
- The building should be oriented to define the streetscape with interesting and permeable façades;
- Strong connections toward the Park, as well as the Civic Space must be created and accentuated;
- Main entrance(s) should be connected to municipal sidewalk with wide, easily accessible walkways; and
- An attractive gathering space in front of the building should be designed with a strong focus on pedestrian movement.

Preliminary rendering for the proposed Community Centre, south view.



Existing Parking Garage

The existing parking garage is a 4-storey structure in the central location of the site. It provides an important facility for the new Community Centre and potentially for the re-use of the historic Oakville Trafalgar High School building. The existing structure's façade is outdated and in a need of an upgrade.

Through redevelopment of the site, the garage could be either integrated within the new development, or a façade advancement which would complement the surrounding development should be proposed. If feasible, leasable spaces for retail/service uses should be incorporated along the ground floor facing public streets. Additional community-oriented uses for the uppermost deck of the structure should be also explored.

The façades of a parking garages should be:

- Providing architectural treatments which add visual interest; and
- Screening the cars behind by additional architectural features such as “second skin” elements and vertical landscape treatments with plantings.

Façade treatment to provide screening and to add visual interest should be designed through redevelopment of the former hospital site.



Existing Oakville Trafalgar High School Building

Key characteristics of this property which embody the physical, historical and contextual significance of the Oakville Trafalgar High School include the following attributes, as they relate to all four exterior elevations of the two-storey portion of the school building:

- The form and footprint of the building;
- The form of the overall roof which is defined by its three intersecting gable roofs with three stepped gables on the west elevation and two stepped gables on the east elevation;
- The red brick cladding in Stretcher Bond;
- Stone coping above the five gables;
- The above-grade portion of the lakestone foundation including stone lintels and sills for the basement windows;
- Placement of the doors and windows;
- Stone sills and lintels;
- Two attic air vents with stone sills and lintels on the west elevation;
- Two round attic openings with decorative brick and stone surrounds on the east elevation;
- Exposed wood eaves;
- Four red brick chimneys with stone coping;
- Stone marker on west elevation which reads “1909”;
- Stone marker on west elevation which reads “Oakville High School”;
- The historic and current orientation of the building with the front of the building facing Reynolds Street; and
- Views of the building from Reynolds Street.



Historic photograph of Oakville Trafalgar High School

The original 1909 building will be retained and restored as much as possible. The one-storey rear wing of the building is not considered to be a significant portion of the original building; the priority is the primary 2-storey school building. The windows have not been included as features since the original ones are long-gone or deteriorated. The intent is to replicate the original style of windows based on historical photographs, mostly 1/1 wood windows. Other non-wood materials could be contemplated. However, the original pane design is important to keep. The building has always had copper eavestroughs – ideally, these would be restored or replaced in kind. The roof material is asbestos cement tile in a fish scale pattern. From historical photographs, this appears to be original; a modern equivalent that suits the building while not looking too radically different from the historic cement tiles should be considered. Views from Reynolds Street will be maintained and enhanced.

The project team will work closely with the heritage architects and consultants to ensure that the proposed design respects the heritage features. Heritage Impact Assessment will be required to be submitted for the final design to show how the proposal respects the heritage features and a heritage permit will be required for the work.

Seniors-Oriented Housing

The future senior housing development will be accessible from Allan Street.

Composition of smaller massing elements is envisioned for the site to reflect both the small-scale housing along Allan Street, as well as the historic building on the west side. If an adaptive re-use of the Oakville Trafalgar High School could be contemplated for the seniors-oriented housing, the historic building might be incorporated into this development.



Lower form massing close to the historic building and along Allan Street might gradually transition into a higher form toward the centre of the site. Larger built form should be designed as a composition of smaller elements to respond to the character of the area.



This development will be designed to:

- Carefully frame existing heritage resource with a built form that responds to the historic structure's height and massing;
- Provide a lower form massing along Allan Street to gradually transition from the existing development on the east side of the street;
- Introduce landscaping along Allan Street to complement the existing landscaping in the area;
- Providing comfortable separation distance between living areas of the senior-oriented development and the existing parking garage (min. 25 metres); and
- Providing pedestrian connections toward Allan Street as well as toward the Civic Space.

Open Space System

There are three separate public spaces proposed on the site: Park, Civic Space and Open Space.

These areas will be designed with different functions, from active and passive recreational uses to more formal gathering space.

A variety of facilities such as walkways, pedestrian lighting, play and sport structures, seating, weather protection elements, informal and formal open landscaped areas and potential heritage garden (in front of the historic building) should be included in the design, based on the specific function of the area.

All three open spaces will be interconnected by strong and legible pedestrian linkages with the ultimate goal of creating a well-connected network of publicly accessible open spaces within surrounding neighbourhoods.

They will be open to the adjacent streets to achieve public views and wide access.

A civic Space will be located along Reynolds Street, in front of Oakville Trafalgar High School building and framed by the existing Parking Garage and the new Community Centre. This urban square will feature passive open area consisting of a larger hard surface area(s) balanced with formal landscaped areas.

A portion of this area will function as a main vehicular entrance to the parking structure and a drop-off area for the Community Centre. The design must provide enough flexibility to accommodate shared space for both vehicular movement and a safe pedestrian movement.

The Civic Space will be designed to create a successful gathering space by:

- Creating larger non-fragmented open area which would be flexible for a wide variety of social functions, such as small performances or community markets;
- Opening new development toward the square and framing it with active uses at the ground and enhanced entrances facing the square where feasible;
- Designing highly articulated façades facing the square;
- Encouraging active outdoor spaces, such as patios;

- Creating surfaces which are flush wherever possible to allow for fully accessible pedestrian movement;
- Opening the views toward the historic building and highlighting its heritage values with appropriate references through landscaping (such as heritage gardens) and/or plaques, public art, etc.;
- Providing coordinated furnishing including weather protection, pedestrian lighting, variety of seating in both sunny and shaded areas, movable furniture and other small-scale elements (e.g. planters, sculptures and water features) to create an interesting and welcoming environment; and
- Planting large stature trees in strategic locations to soften the hard surface area, create comfortable microclimate by mitigating winds and providing shade, and to create a memorable open space.



Successful gathering spaces are designed for a wide variety of social functions.



IMPLEMENTATION

The above principles and design direction for the Low and Medium Density Residential areas will be implemented through the use of Architectural Control established once the subdivision is draft approved, prior to the Building Permit stage. All of the other development on the former hospital site will be subject to the Rezoning and/or Site Plan process through which the town's staff will evaluate the proposal's compliance with this document. A Heritage Impact Assessment will be required for development of any property adjacent to, or in close proximity to the boundaries of a Heritage Conservation District. A Heritage Permit will be required for restoration of the Oakville Trafalgar High School.

Park & Open Space Concept Development



A New Park

B CC Entry Court / Plaza

C Civic Square

D Allan Street Open Space

E Wallace Park

F Brantwood Playground

Pedestrian Linkage

Community Centre Site

Civic Square Theme & Guiding Principles

Civic Square Theme

Civic Square is proposed to have a focus on **community heritage, celebrations and gatherings**. The space is envisioned to have strong connections to the proposed community centre and the surrounding existing and proposed residential areas. It is anticipated that park users will include patrons of the community centre, the local and larger Oakville community.

Guiding Principles

Three fundamental themes of principles have been developed for the site. They include high-level directions for:

- **Public Access**
- **Heritage**
- **Design**

Public Access

- Although part of the larger development site for a privately owned Seniors Oriented Housing Block, the town will require that the civic square be **designed to meet or exceed town standards for a public space** and that it be publicly accessible.

Civic Square Theme & Guiding Principles

Guiding Principles

Heritage:

- The site's **heritage** will be the **primary inspiration** of the square and landscape design with the heritage building forming the baseline for site layout and geometry. Site heritage interpretation features are to be included in the design.
- The **school building** shall **take precedence** over other new structures proposed on the site.
- The **west exterior façade** of the school building facing Reynolds Street is **to be restored** to its original form including the reconstruction of a single grand entrance, landings and steps. Although this façade is grand in appearance, it may not necessarily be the primary entrance to the ground floor of the building as it will not likely be barrier-free.
- The **north façade** of the building, as it has been significantly changed over time, **could be modified** to address the modern architecture and landscapes associated with the new community centre and to provide a barrier-free north facing main entrance to the plaza area.

Civic Square Theme

Civic Square is proposed to have a focus on **community heritage, celebrations and gatherings**. The space is envisioned to have strong connections to the proposed community centre and the surrounding existing and proposed residential areas. It is anticipated that park users will include patrons of the community centre, the local and larger Oakville community.

Civic Square Theme & Guiding Principles

Guiding Principles

Design:

- A **transition area is to be provided at the north edge** of the site to blend the community centre entry plaza with the Civic Square. The intent is that the two spaces will work together to create a larger civic precinct through the consistent application of materials and design elements.
- A **transition area is to be provided along the east side** of the site to blend Civic Square uses with the proposed Seniors Oriented Housing Block.
- Continue the **north-south 'Green Link' along Reynolds** Street through the Civic Square, however modified to preserve existing trees.
- Provide a diversity of spaces at different scales to **maximize gathering and meeting opportunities**.
- **Site accessibility and safety must be prioritized**. Ensure pedestrian and cycling access through and to the Civic Square is maximized and well connected within the larger formal hospital site.
- **Design should be flexible** to respond to the future building uses/occupants.

Civic Square Theme

Civic Square is proposed to have a focus on **community heritage, celebrations and gatherings**. The space is envisioned to have strong connections to the proposed community centre and the surrounding existing and proposed residential areas. It is anticipated that park users will include patrons of the community centre, the local and larger Oakville community.

Civic Square Concept



Civic Square Concept



Civic Square Concept



New Park / CC Entry Court & Plaza Design

Guiding Principles

- The block is adjacent to the Trafalgar Road Heritage Conservation District and contains the old Trafalgar High School building which is a significant heritage designated building. Site landscape design should **integrate heritage interpretive elements**.
- Landscape spaces are designed to be closely **related to the new community centre** uses and programs and will also service the **local neighbourhood**.
- Landscape is to be **well connected** to nearby parks, streets, transit, parking garage and to the proposed new development to the east and south.
- Provide a north-south “**Green Link**” **edge** along Reynolds Street.
- **Spill-out plaza spaces** are to be located immediately adjacent to the building to provide focused circulation and activity at the south and north main entrances.



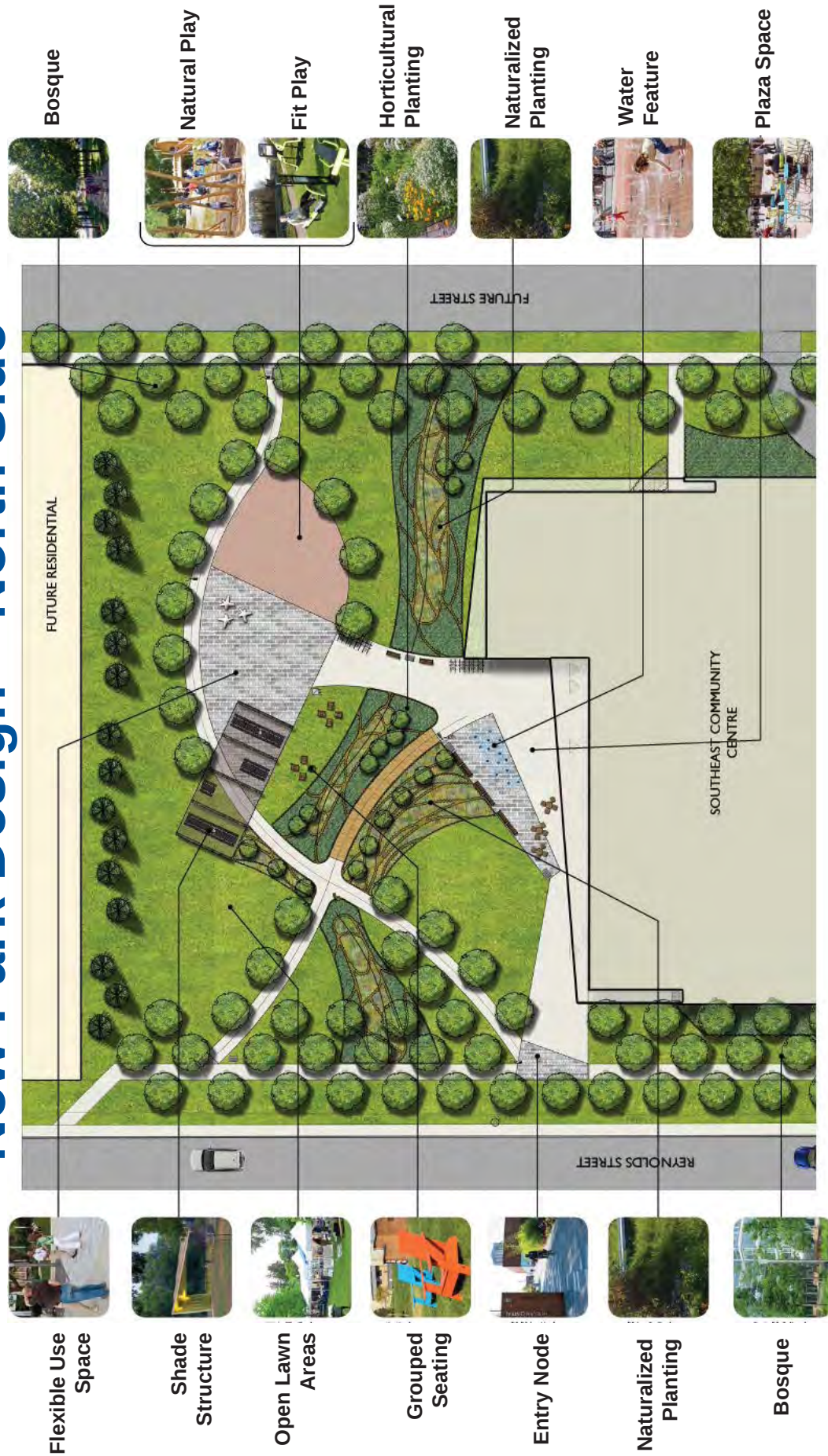
New Park / CC Entry Court & Plaza Design

Guiding Principles

- Park design is to provide a **variety of health and wellness features** such as gathering and flexible use areas, soft landscaping and theme gardens, heritage interpretation and play / exercise opportunities.
- New Park is to be designed to **accommodate storm water infiltration** through the use of naturalized planting and low maintenance planting.
- Incorporate a **buffer area at the north edge** to transition to proposed residential area.
- **Entry court is to be a pedestrian-priority area** allowing for vehicle access to the parking garage from Reynolds Street, drop-off and pick up functions and emergency servicing.



New Park Design – North Side



Entry Court & Plaza Design – South Side



Developing Parks & Open Space Profiles

Allan St Open Space

Passive recreation for the senior community

Civic Square

Community heritage, celebrations and gatherings

Wallace Park

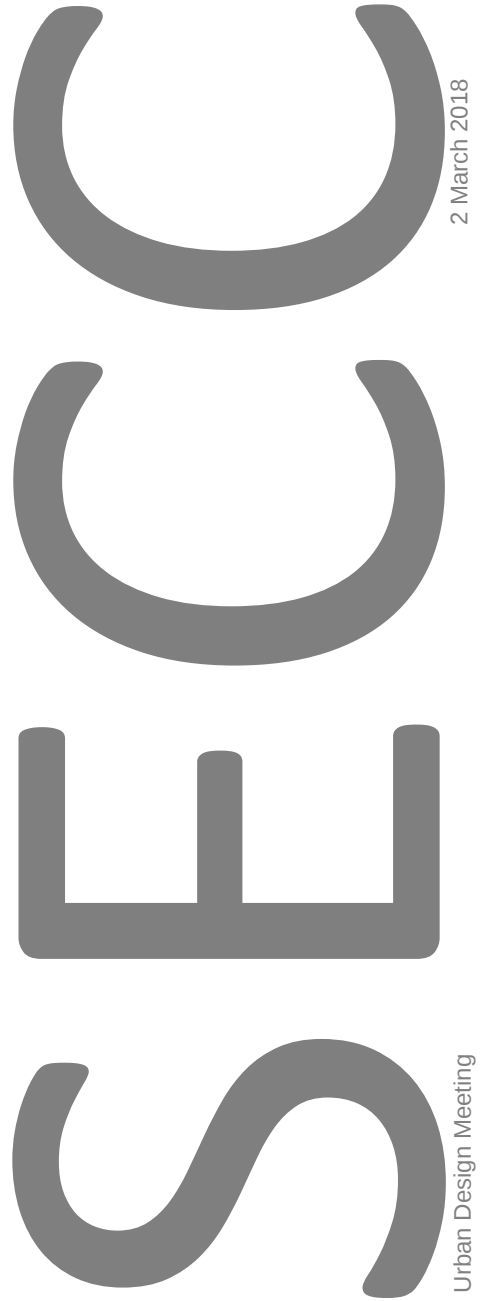
All season, active, skills development

Brantwood Playground

Scaled neighbourhood play ground

New Park / CC Entry Court & Plaza

SECC public realm is proposed to have a focus on **health, wellness, and community** and have strong connections to internal community centre uses and programs. It is anticipated that park users will include patrons of the community centre and people in the local neighbourhood.



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NOT FOR
CONSTRUCTION

ISSUED
 No. 5
 Date: Jan 12, 2018
 Description: SOUTH EAST COMMUNITY CENTRE

Diamond Schmitt Architects
 327 FERNHOLM STREET, OAKVILLE, ONTARIO L6H 6K2
 Tel: 416-882-8889 Fax: 416-882-5558 info@diamondschmitt.com www.diamondschmitt.com

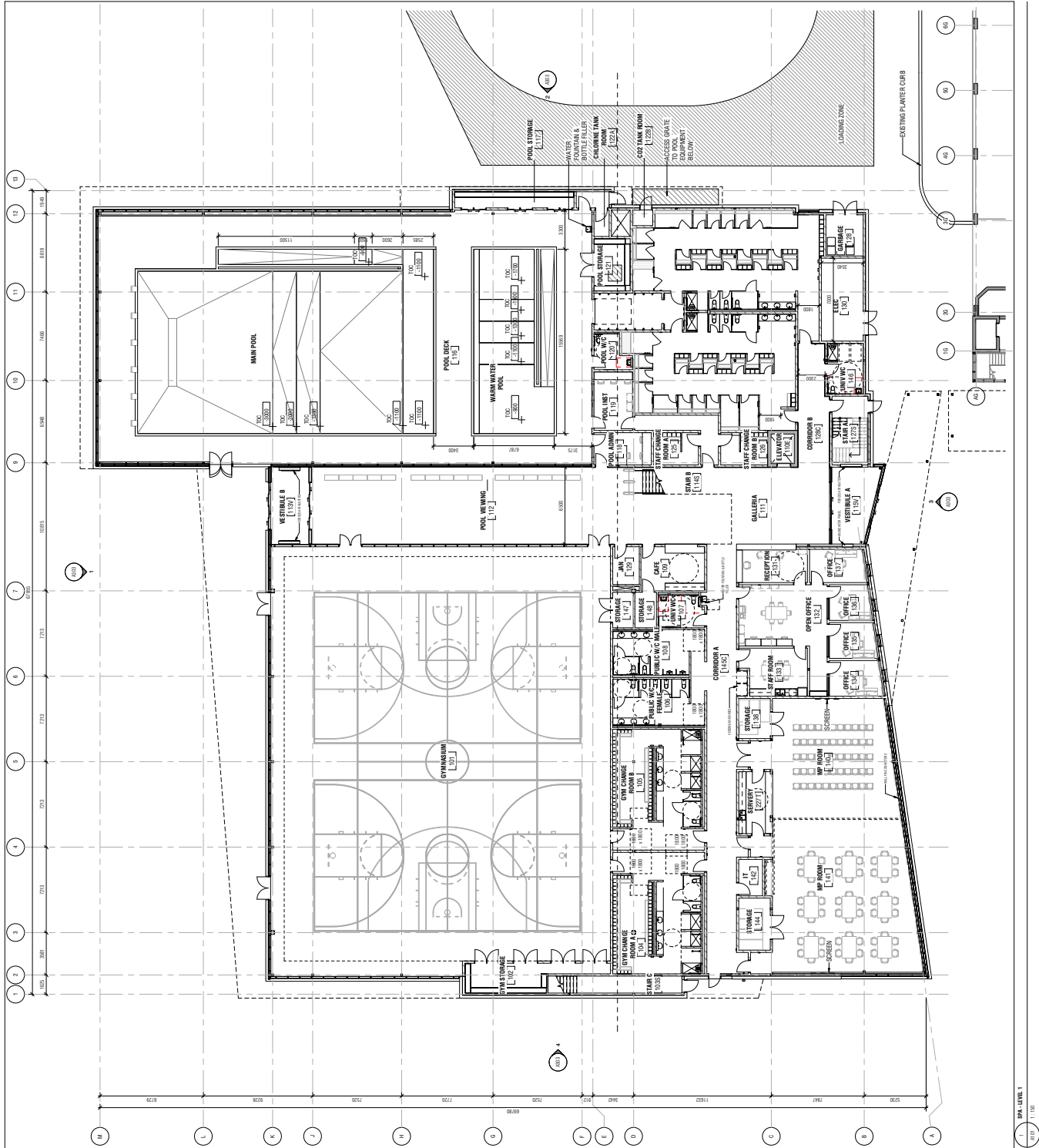
SOUTH EAST COMMUNITY CENTRE

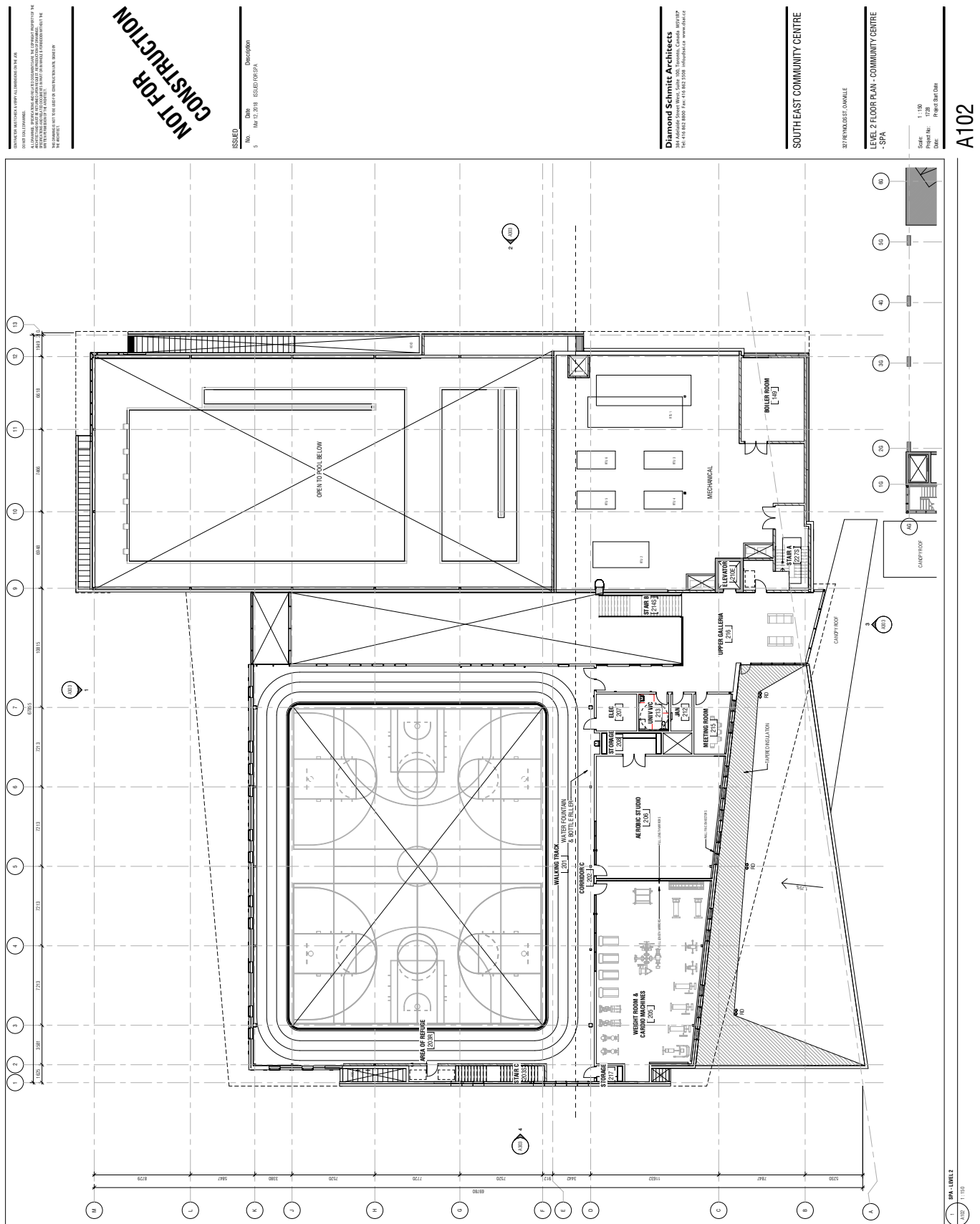
327 FERNHOLM STREET, OAKVILLE

LEVEL 1 FLOOR PLAN - COMMUNITY CENTRE
 -SJA

Scale: 1:100
 Date: 1/12/18
 Project No: 1728

A101





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CONSTRUCTION**

ISSUED	
No.	Description
5	Mar 12, 2018 ISSUED FOR SPA

Diamond Schmitt Architects
384 Adelaide Street West, Suite 100, Toronto, Canada
Tel: 416 862 8800 Fax: 416 862 5508 info@dsai.ca www.dsai.ca

SOUTHEAST COMMUNITY CENTRE

327 REYNOLDS ST, OAKVILLE

**LEVEL 2 FLOOR PLAN - COMMUNITY CENTRE
- SPA**

Scale: 1 : 150
Project No.: 1728
Date: Project Start Date:

A102

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CONSTRUCTION

ISSUED	DATE	DESCRIPTION
1	2018.03.14	ISSUED FOR PERMITTING
2	2018.03.14	ISSUED FOR PERMITTING
3	2018.03.14	ISSUED FOR PERMITTING
4	2018.03.14	ISSUED FOR PERMITTING
5	2018.03.14	ISSUED FOR PERMITTING
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8	2018.03.14	ISSUED FOR PERMITTING
9	2018.03.14	ISSUED FOR PERMITTING
10	2018.03.14	ISSUED FOR PERMITTING

LEGEND

the mbw group



SOUTH EAST COMMUNITY CENTRE

327 FERRIS ST. OAKVILLE

SECC
Landscape Render Plan

Scale: 1:200
Project No: 180400
Date: February 2018

L-1





block aerial | landscape



south aerial | landscape



north west aerial | landscape



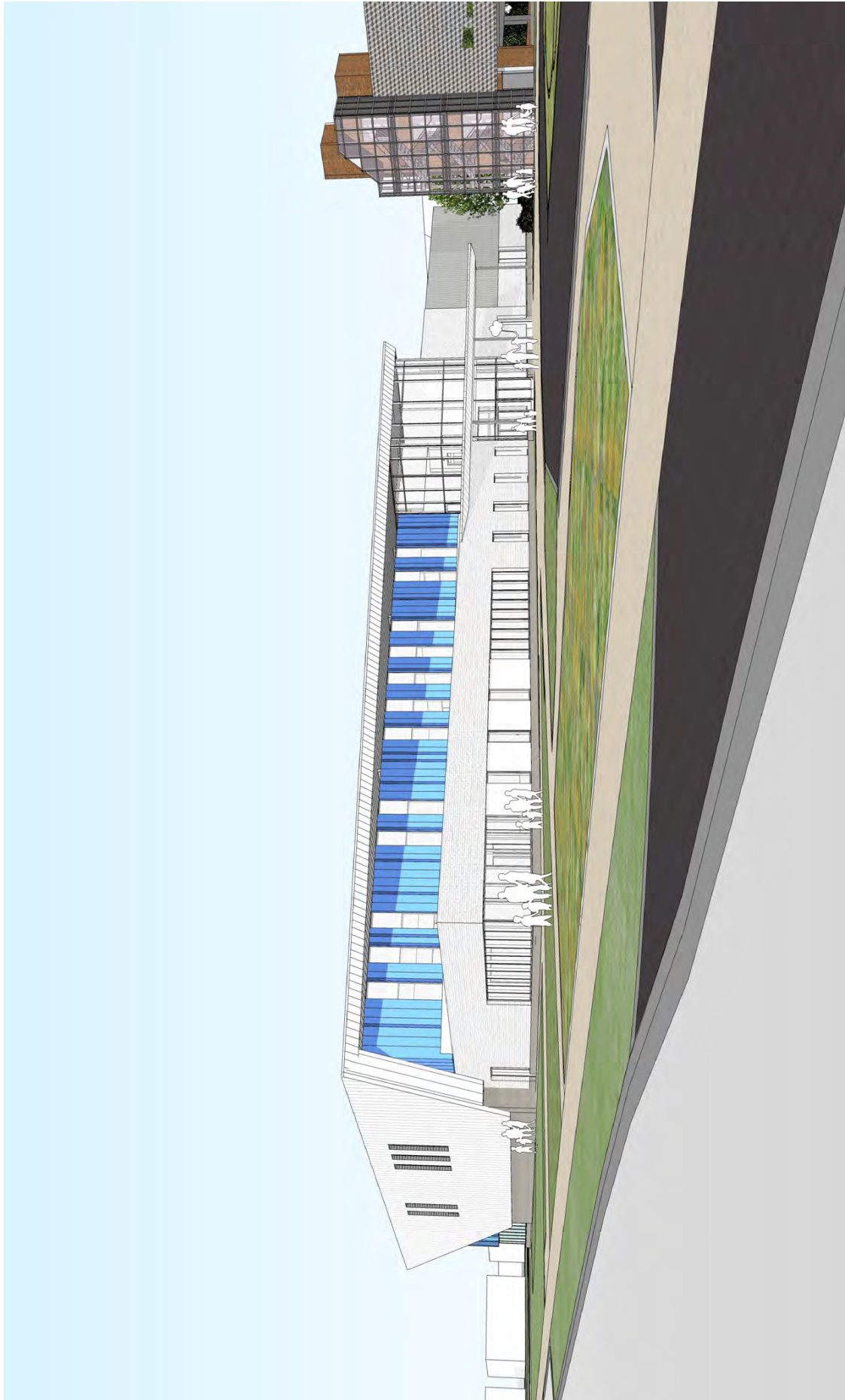
north aerial | landscape



south east aerial | landscape



south approach | landscape



south approach | no landscape

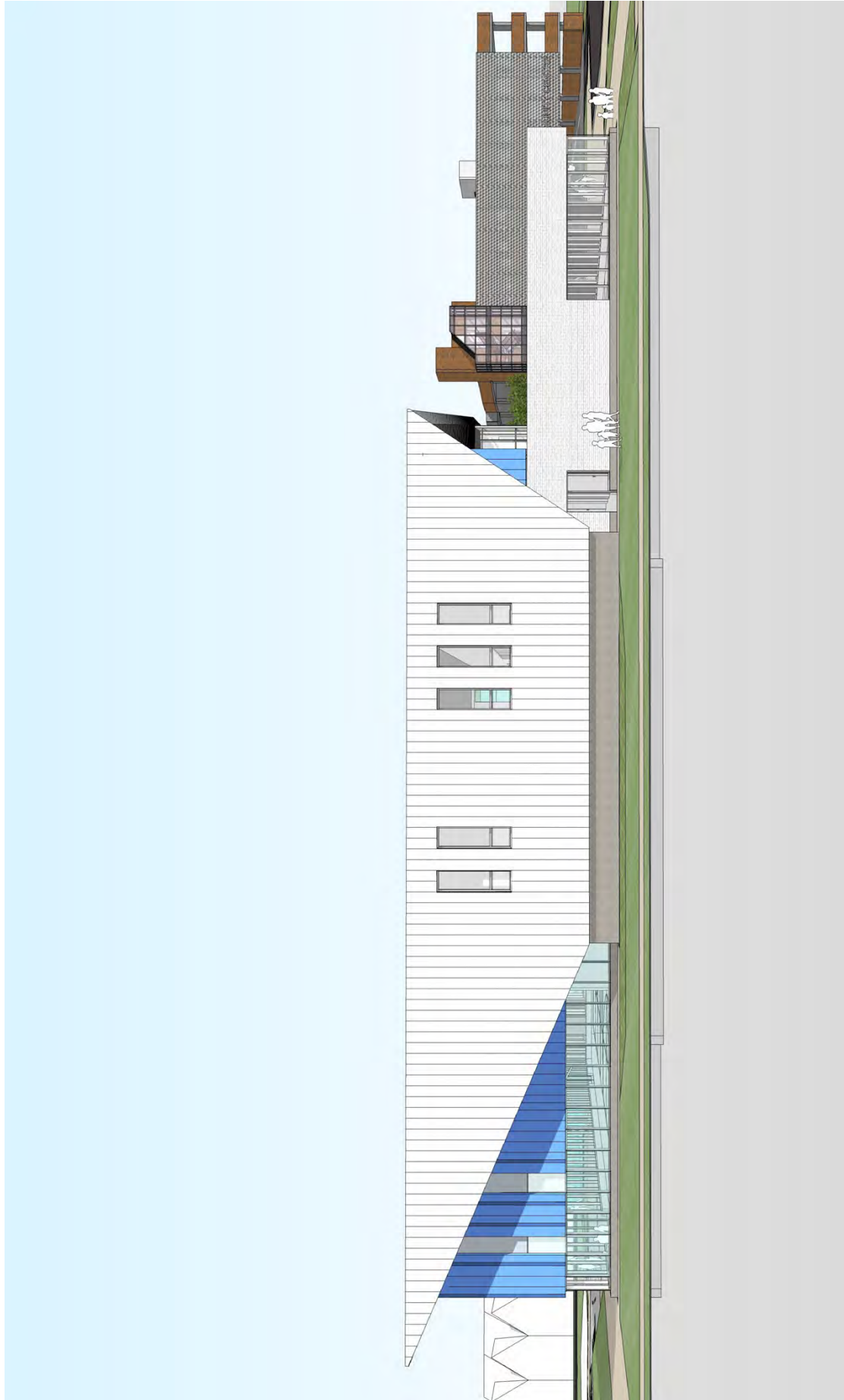




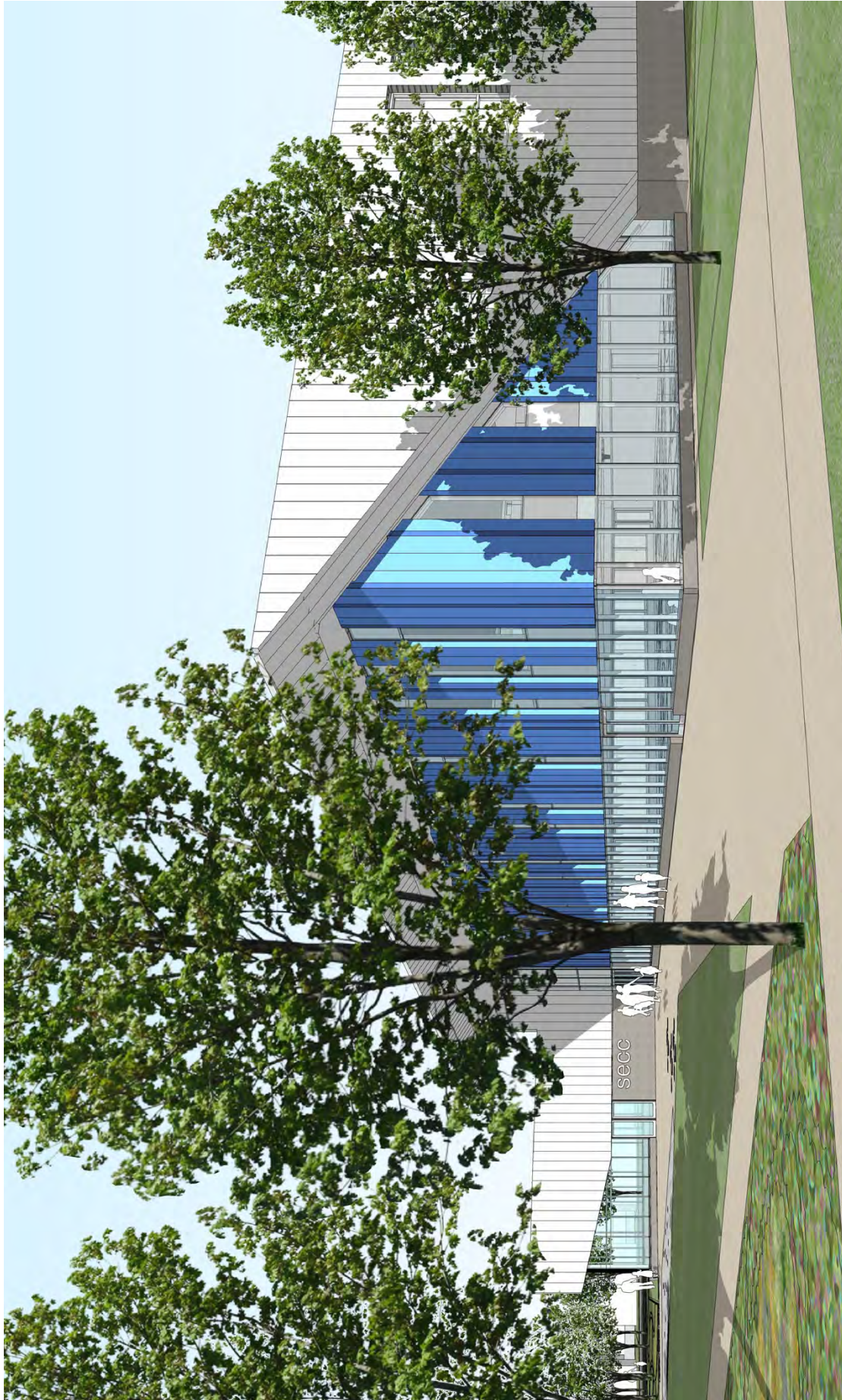




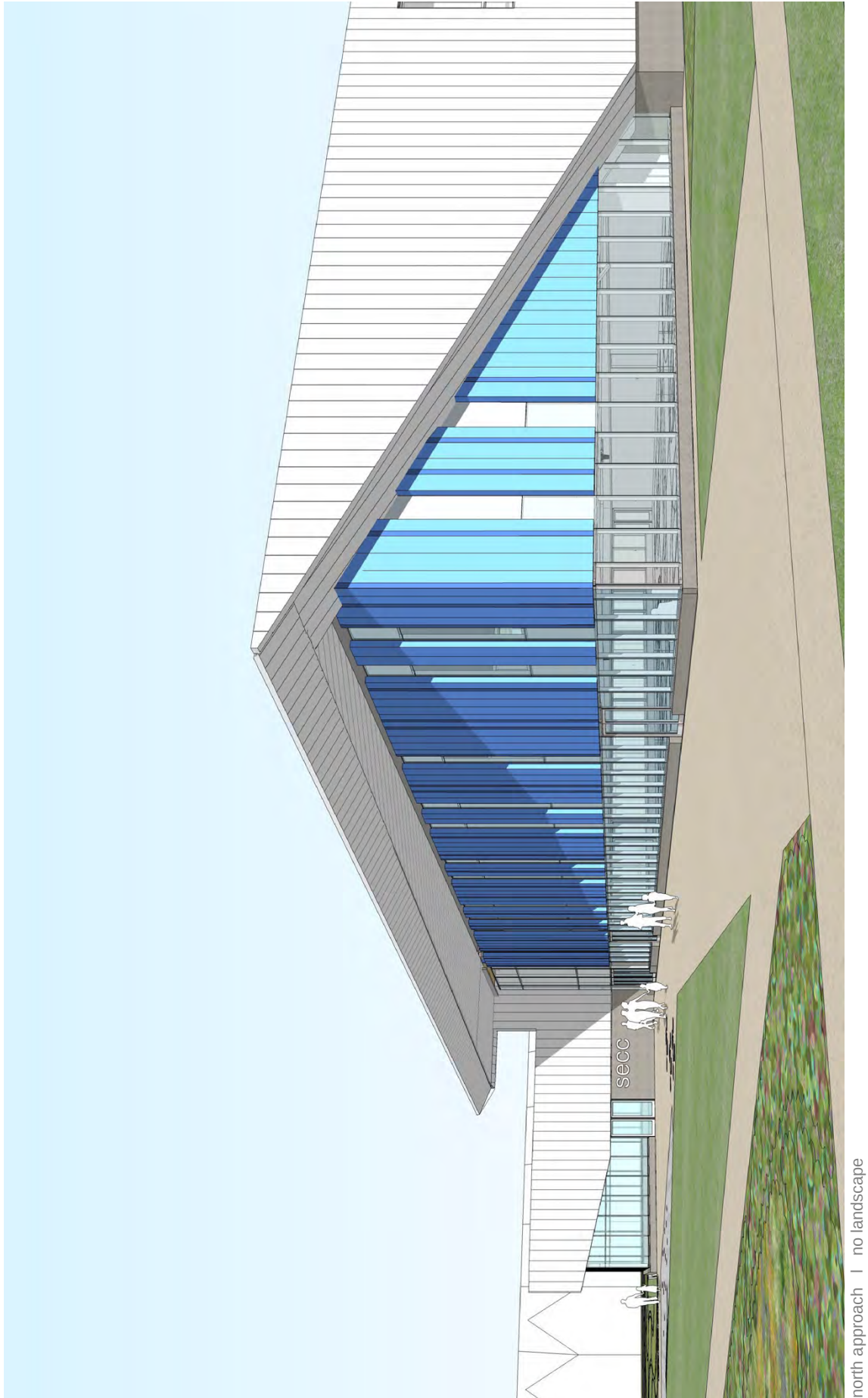
west elevation | landscape

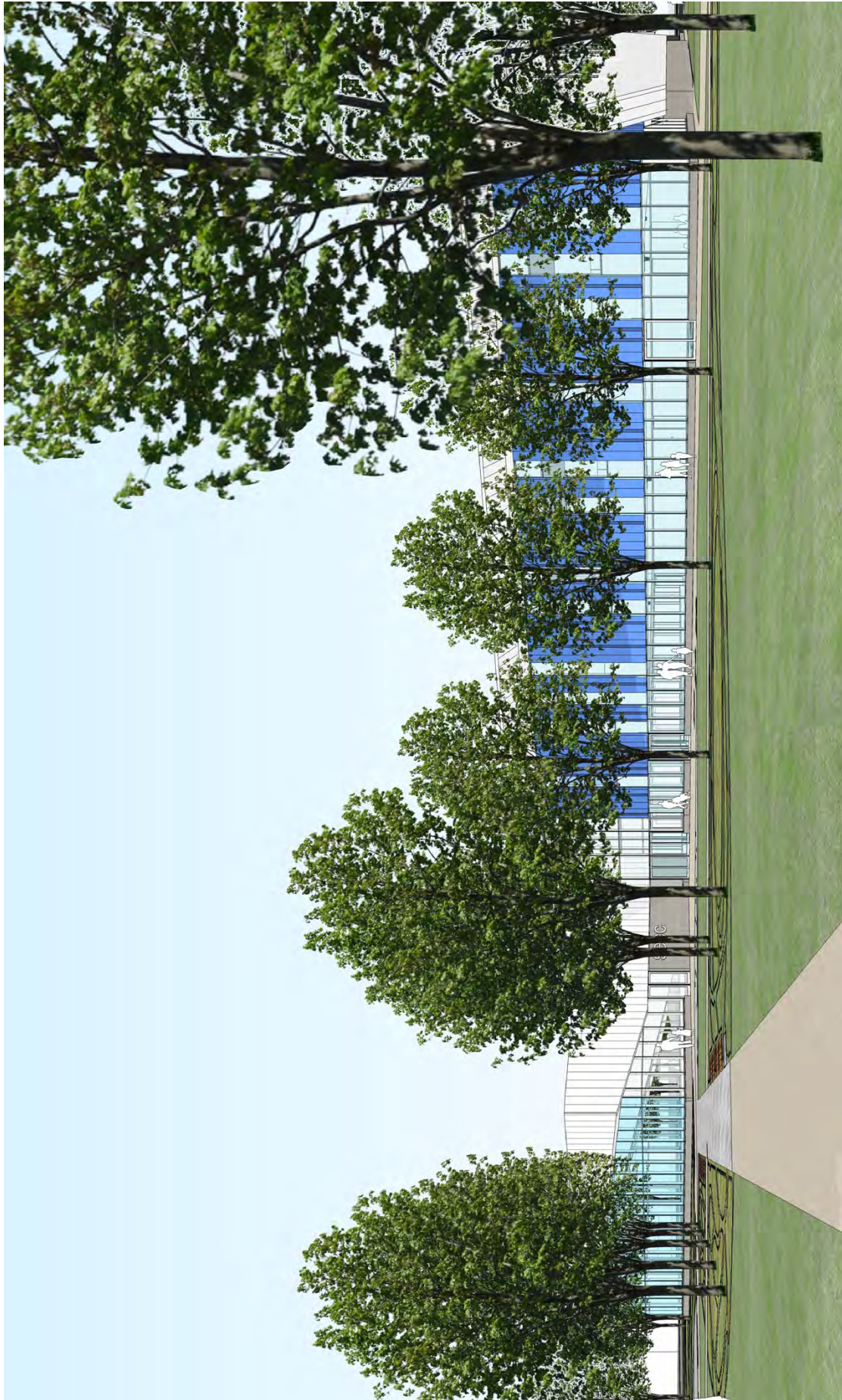


west elevation | no landscape

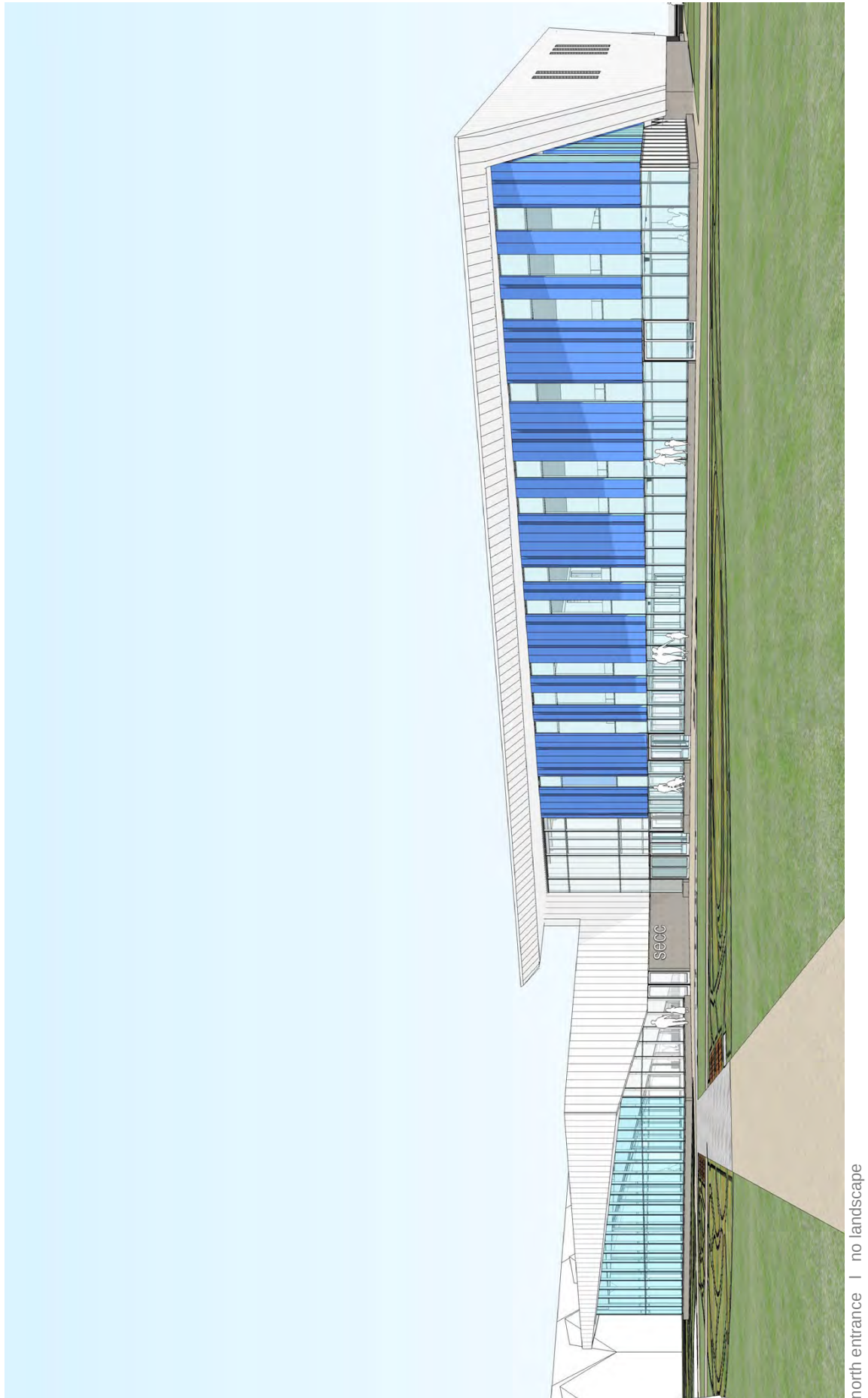


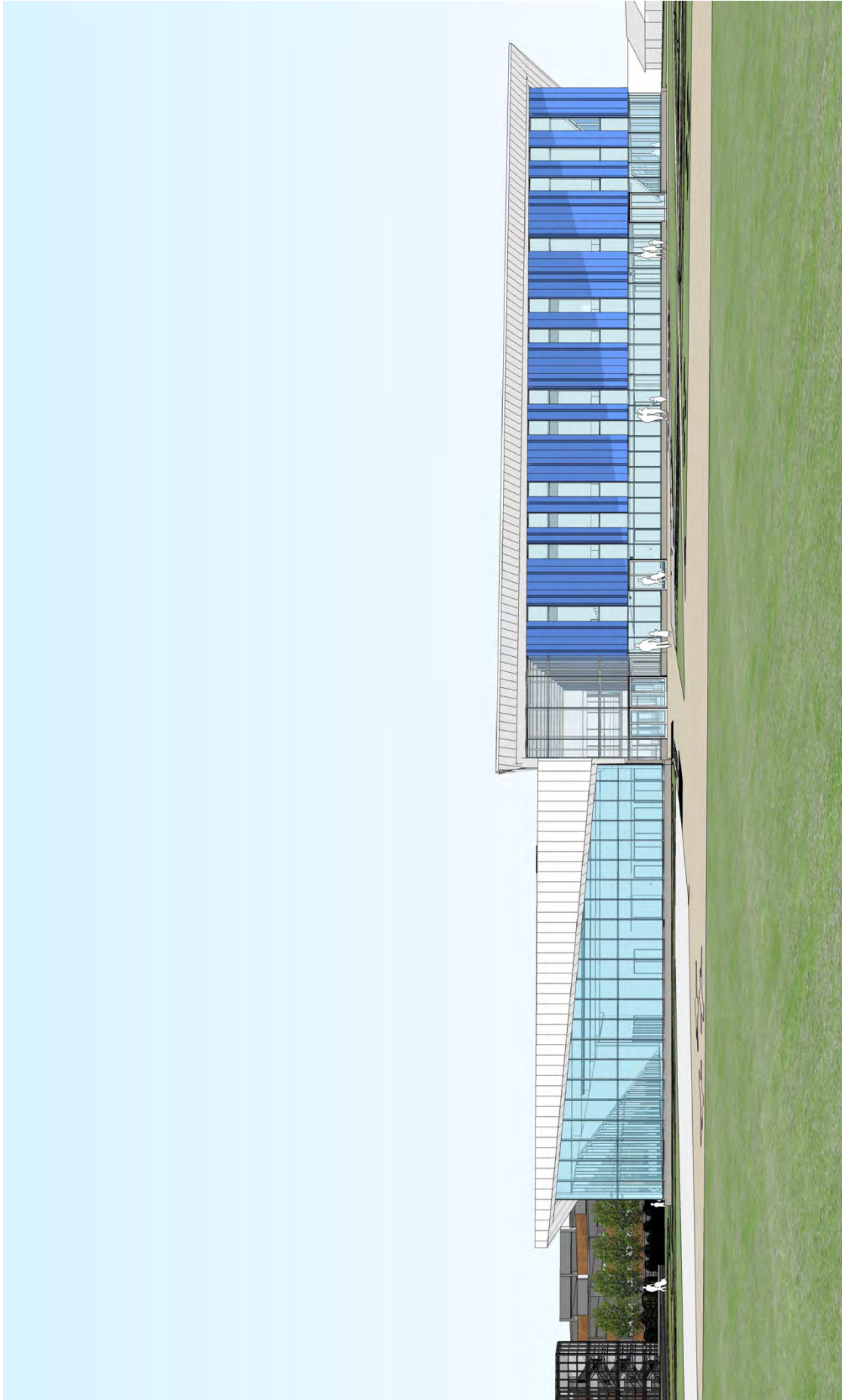
north approach | landscape





north entrance | landscape

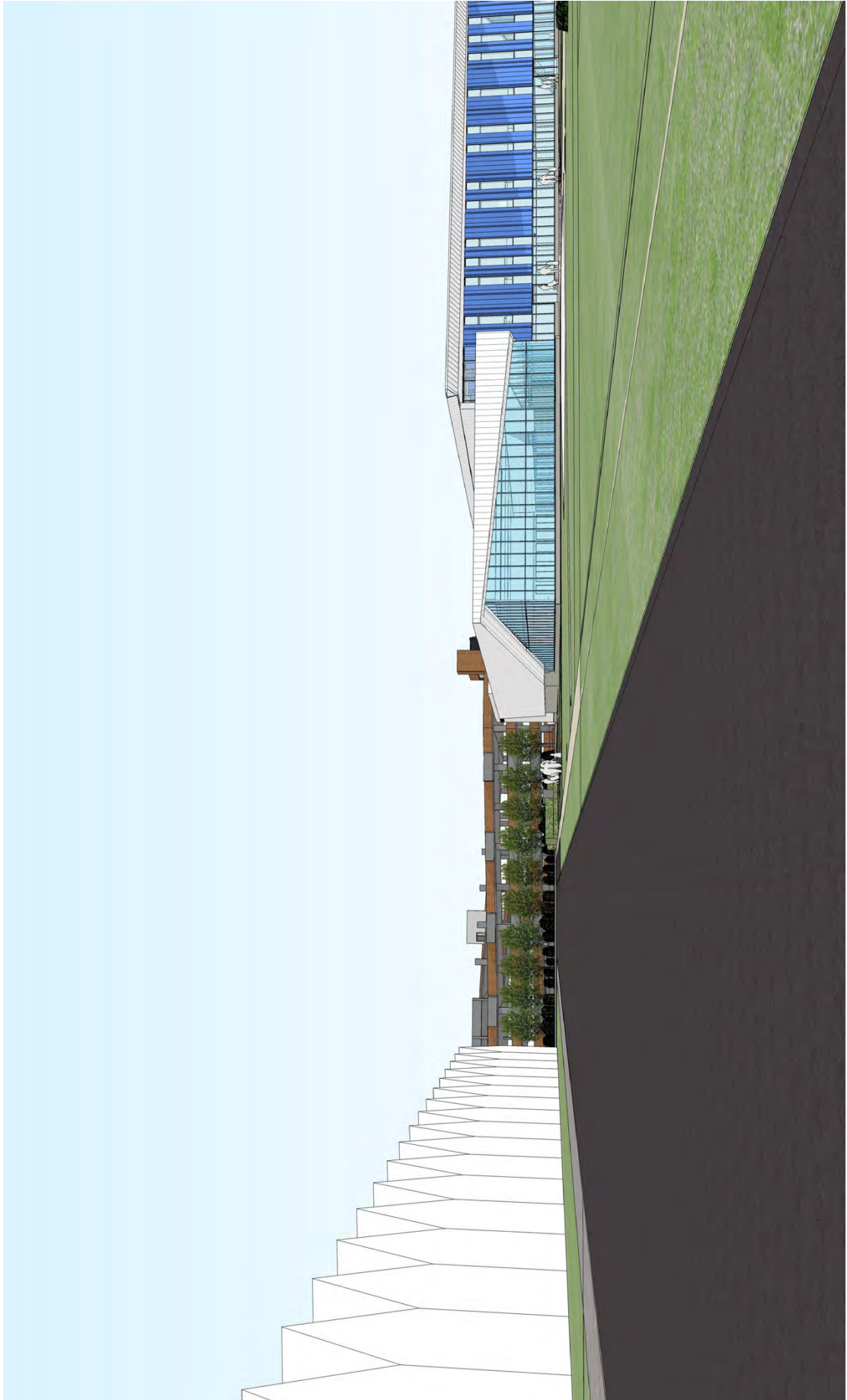




north elevation | no landscape



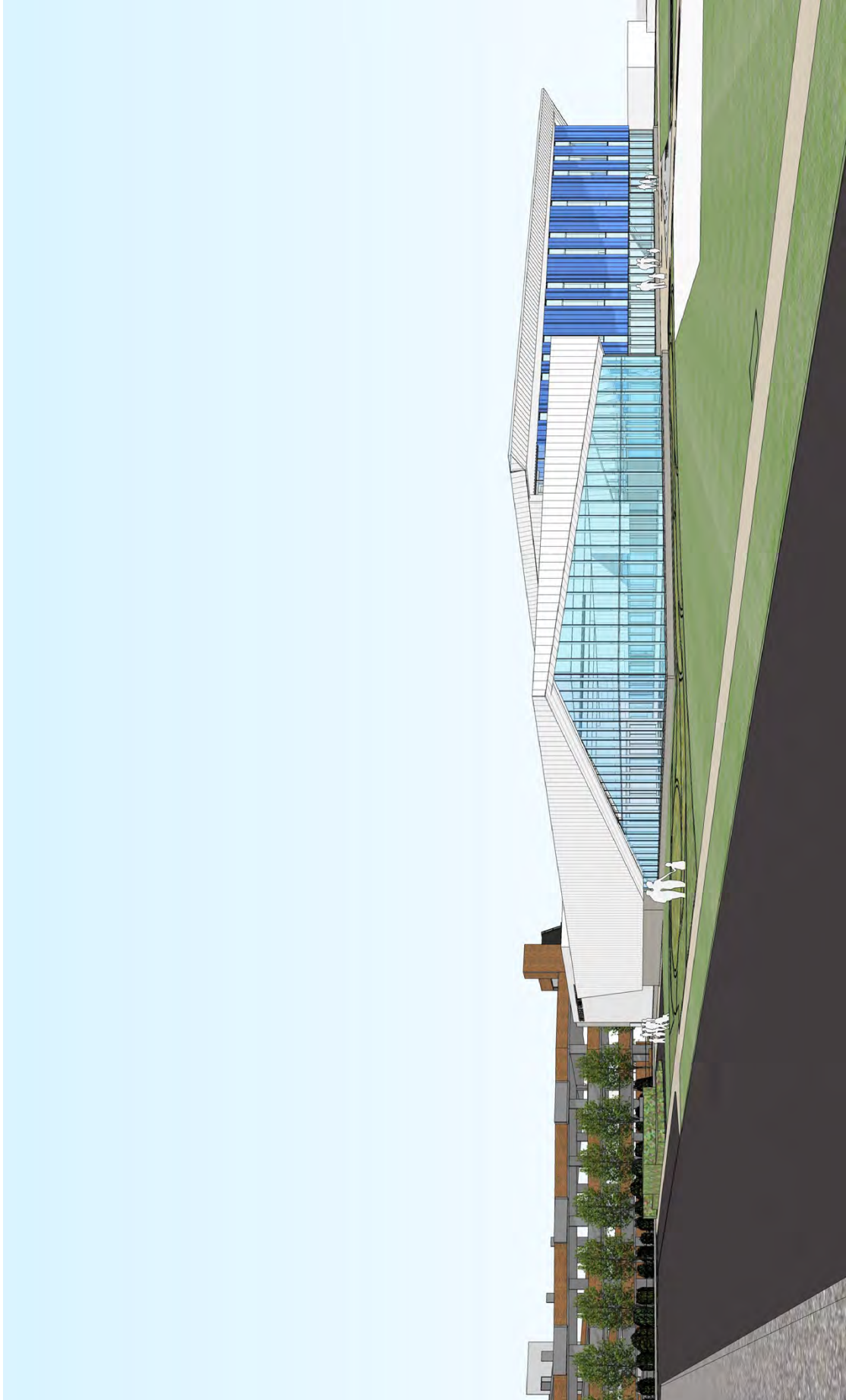
L street approach | landscape



L street approach | no landscape



L street view towards pool | landscape



L street view towards pool | no landscape



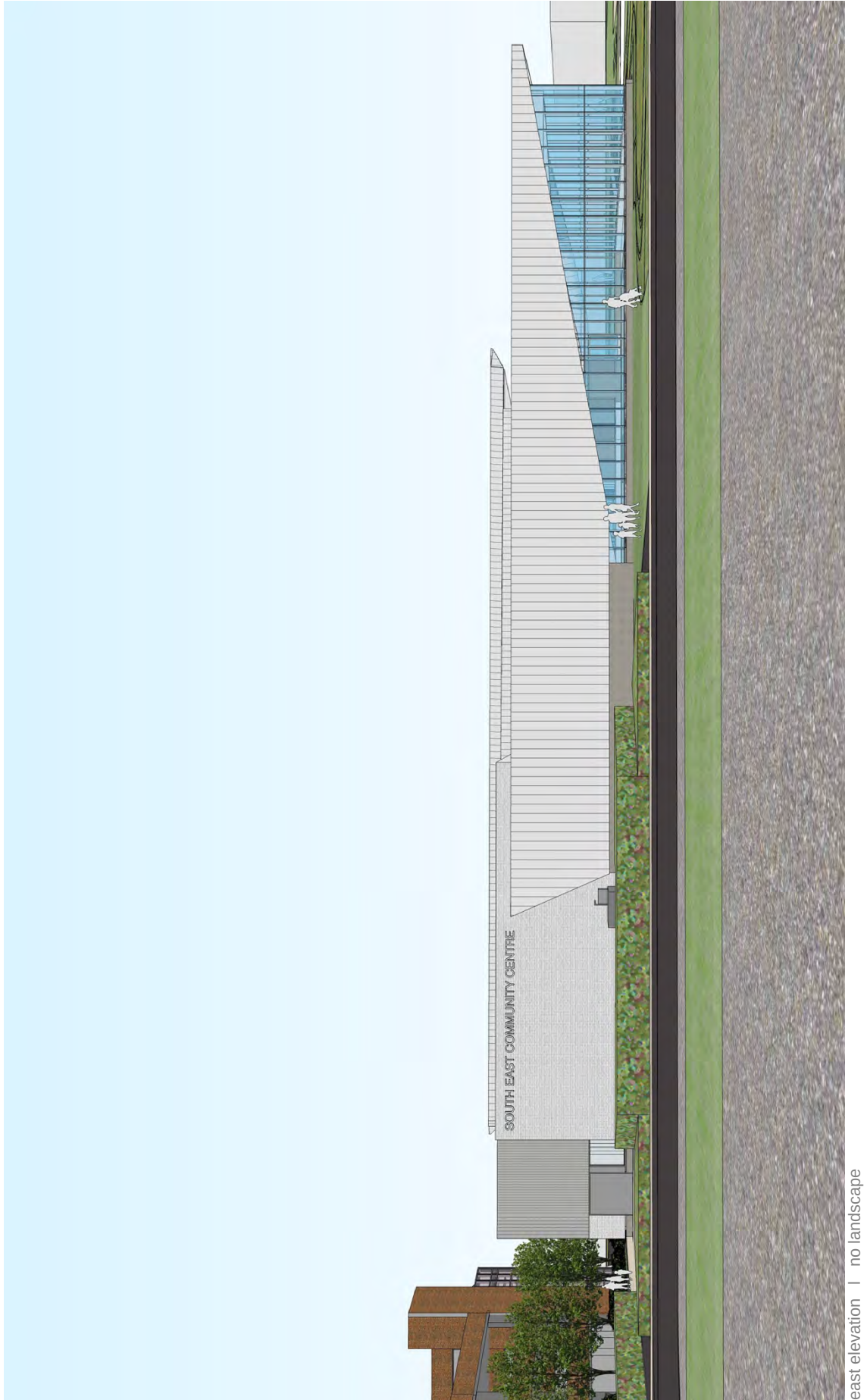
L street approach | landscape



L street approach | no landscape



east elevation | landscape





south east corner



L street approach from Allan



