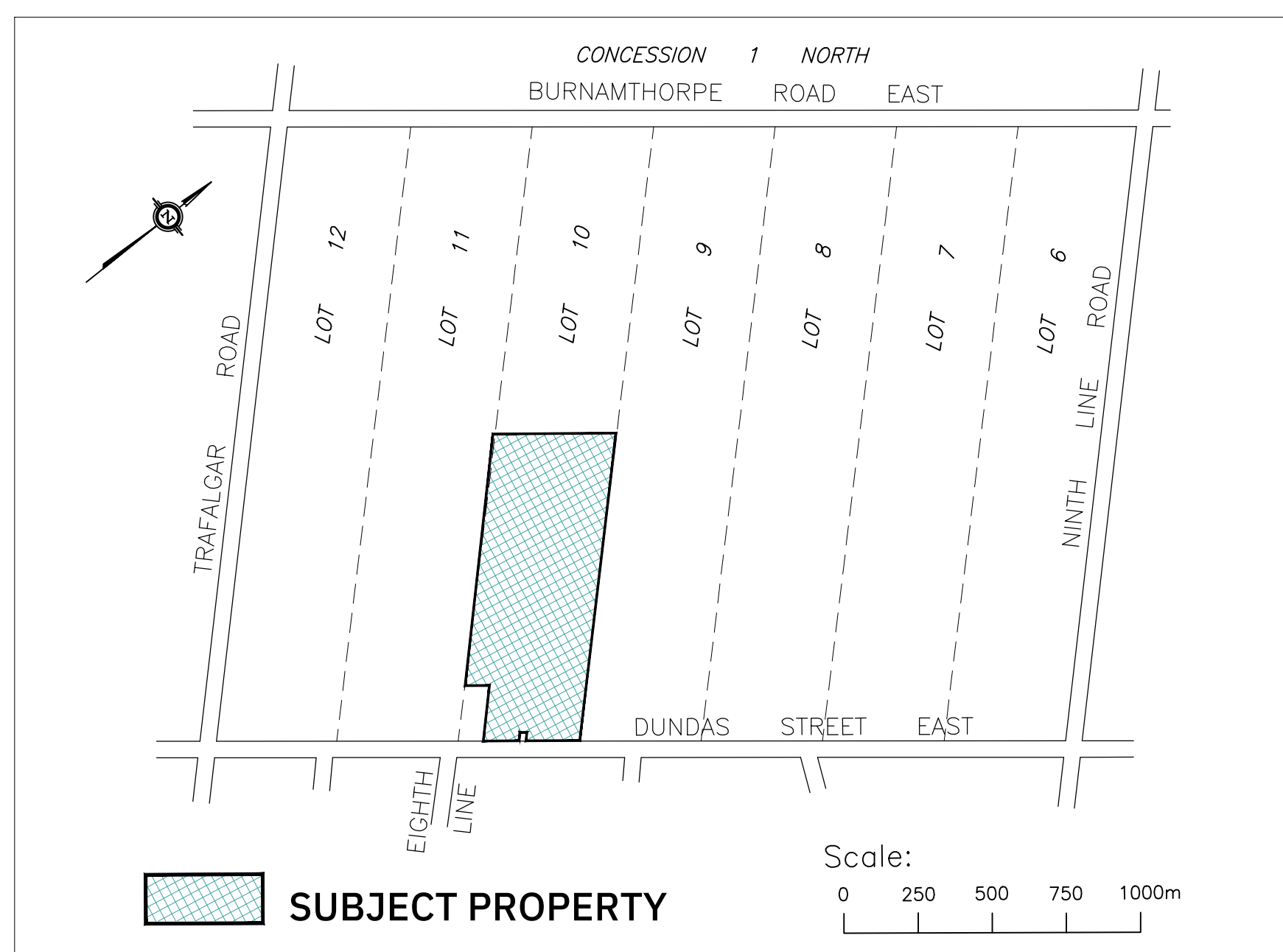


**KEY PLAN**



**SCHEDULE OF LAND USE**

Lot/Block	Land Use	Units	Area(ha)
Lots 1-116	Single Detached 11.0m (36x100ft) min.	58	3.84
Lots 117-138	Single Detached 8.5m (28x100ft) min.	58	3.01
Blks 139-158	Street Townhouse 6.1m (20x100ft) min.	144	3.01
Blks 159-165	Street Townhouse 5.5m (18x83.7ft) min.	122	1.99
Blks 166-189	Back to Back S.T.H 6.4m (21x44ft) min.	78	0.75
Block 190	Rear Lane S.T.H. 6.1m (20x56ft) min.	113	1.45
Block 191-195	Rear Lane Live Work 7.5m (24.6x83.7ft) min.	8	0.17
Blks 191-195	Future Development		0.27
Blks 196,197	Future Development	11	0.23
Blks 198,199	Dundas Street Urban Core		2.68
Blks 200,201	Village Square		0.60
Block 202	Storm Water Management Facility		0.64
Block 203	Open Space		0.01
Block 204	Natural Heritage System		17.79
Block 205	6.0m Walkway		0.02
Blks 206	Promenade		0.04
Blks 207,208	Dundas Road Widening		0.10
Blks 209-214	0.3m Reserves		0.01
Public Roads	22.0m ROW (543m) 17.0m ROW (3,014m) 11.0m ROW (192m) 7.50m ROW (129m)		7.01
<b>Total</b>		<b>592</b>	<b>40.61</b>

**OWNER'S AUTHORIZATION**

We, Redoak G & A Inc. and Capoak Inc. hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the Town of Oakville.

See Original March 25, 2020  
Kathleen Schofield A.S.O.  
NOTE: Town of Oakville owner authorization provided separately

**SURVEYOR'S CERTIFICATE**

I hereby certify that the boundaries of the lands to be subdivided as shown on this Plan and their relationship to the adjacent lands are accurately and correctly shown.

See Original March 26, 2020  
Ron Querubin, O.L.S., O.L.I.P.  
JD Barnes Limited

**ADDITIONAL INFORMATION**

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13(R.S.O. 1990).  
(a),(e),(f),(g),(j),(l) - As shown on the Draft Plan.  
(b),(c) - As shown on the Draft and Key Plan.  
(d) - Land to be used in accordance with the Schedule of Land Use.  
(i) - Soil is Clay Loam.  
(h),(k) - Full municipal services to be provided.  
  
NOTE: Contours relate to Canadian Geodetic Datum. Contour interval is 1m with .25m interpolated.

**DRAFT PLAN OF SUBDIVISION 24T-18005**

Part of Lot 10  
Concession 1  
North of Dundas Street  
(Geographic Township of Trafalgar)  
Town of Oakville  
Regional Municipality of Halton

Prepared For:  
Redoak G & A Inc.  
Capoak Inc.  
MGP File: 17-2651  
Date: April 14, 2021



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