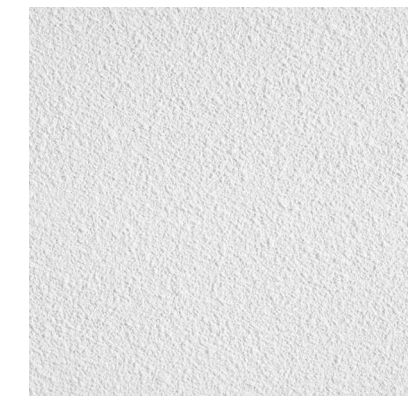
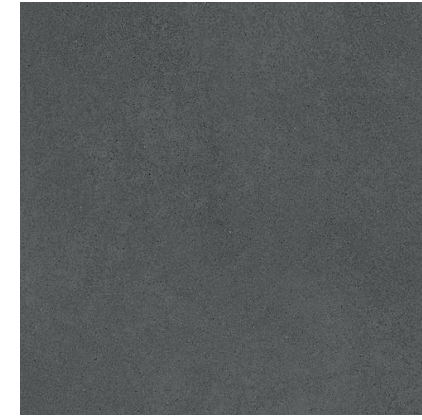


MATERIAL LEGEND



EF1 EIFS Stucco finish
Colour: Light Gray



EF3 FIBER CEMENT PANEL
Colour: Charcoal Gray



EF5 Thin Stone: 1" Thick, Echo Ridge Cultured Stone - Cobblefield, with half inch mortar joints



EF7 Modern Stone Panel (Stonitex Elemex or similar)
Colour: Cambrian Black



EF2 Modern Metal Cladding (Forma Plant or similar)
Colour: Red Cedar



EF4 Clay Bricks - Architectural Large
Colour: Light (Ash White)



EF6 Fiber Cement Panel
Colour: Dark Gray



EF8 Split Face Architectural Concrete Block
Colour: Dark Gray

TWO STOREY COMMERCIAL/ OFFICE (BUILDING - A)

Item	ONTARIO 2024 BUILDING CODE DATA MATRIX	OBC Reference																																																							
1	PROJECT NAME & LOCATION TWO STOREY COMMERCIAL/ OFFICE (Building A) Bronte Rd & Charles Cornwall Rd Oakville, ON	Part 3																																																							
2	MAJOR OCCUPANCY (S) Business and personal services occupancies - Group D Mercantile - Group E	3.1.2.1.(1)																																																							
3	BUILDING AREA Existing: N/A New: 2497 m2.	1.4.1.2.																																																							
4	GROSS FLOOR AREA Existing: N/A New: 4536.7 m2.	1.4.1.2.																																																							
5	NUMBER OF STOREYS Above Grade: 2 Storeys Below Grade: 0	1.4.1.2. & 3.2.1.1.																																																							
6	HEIGHT OF BUILDING 10.8 m. (Top of Roof deck)																																																								
7	NUMBER OF STREETS/ACCESS ROUTES One																																																								
7a	BUILDING CLASSIFICATION 3.2.2.63. Group D, up to 3 Storeys, Sprinklered 3.2.2.69. Group E, up to 3 Storeys, Sprinklered	3.2.2.54 3.2.2.60																																																							
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.54 3.2.2.60																																																							
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.4.(1)																																																							
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.1. (2)																																																							
11	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7																																																							
12	CONSTRUCTION PERMITTED <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both CONSTRUCTION ACTUAL <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both	3.2.2.54 3.2.2.60																																																							
13	OCCUPANT LOAD exact load to be determined on tenent fit out permit (approx 400)	3.1.17.1.(1)																																																							
14	MEZZANINE(S) area N.A.	3.2.1.1.(3)-(8)																																																							
15	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8.																																																							
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2.(1)&3.3.1.19(1)																																																							
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hour) floors 45 min. (or non-combustible const.) roof no rating hours mezzanine N/A hours FRR of Supporting Members floors 45 min. (or non-combustible const.) roof no rating hours mezzanine N/A hours	Listed Design No. or Description (D-2) 3.2.2.54 3.2.2.60 to be determined on BP																																																							
19	SPATIAL SEPARATION - Construction of Exterior Walls Tables 3.2.3.1.D & 3.2.3.7																																																								
	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area EBF (m2)</th> <th>L.D. (m)</th> <th>Area Unprotected opening (m2)</th> <th>Permitted Max % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (hours)</th> <th>Listed Design or Description</th> <th>Comb. Const.</th> <th>Comb.Const. Non-comb. Cladding</th> <th>Non-Comb.Const. Non-comb. Cladding</th> </tr> </thead> <tbody> <tr> <td>North - East</td> <td>95.0</td> <td>6.0</td> <td>35.0</td> <td>37%</td> <td>36.8%</td> <td>1 hr.</td> <td>TBD</td> <td>■</td> <td></td> <td></td> </tr> <tr> <td>North - West</td> <td>179.0</td> <td>3.0</td> <td>0</td> <td>12%</td> <td>0%</td> <td>2 hr.</td> <td>TBD</td> <td></td> <td>■</td> <td></td> </tr> <tr> <td>South - West</td> <td>175</td> <td>> 15</td> <td><175</td> <td>100%</td> <td><100%</td> <td>no rating</td> <td></td> <td>■</td> <td></td> <td></td> </tr> <tr> <td>South - East</td> <td>107</td> <td>14.0</td> <td><107</td> <td>100%</td> <td><100%</td> <td>no rating</td> <td></td> <td>■</td> <td></td> <td></td> </tr> </tbody> </table>	Wall	Area EBF (m2)	L.D. (m)	Area Unprotected opening (m2)	Permitted Max % of Openings	Proposed % of Openings	FRR (hours)	Listed Design or Description	Comb. Const.	Comb.Const. Non-comb. Cladding	Non-Comb.Const. Non-comb. Cladding	North - East	95.0	6.0	35.0	37%	36.8%	1 hr.	TBD	■			North - West	179.0	3.0	0	12%	0%	2 hr.	TBD		■		South - West	175	> 15	<175	100%	<100%	no rating		■			South - East	107	14.0	<107	100%	<100%	no rating		■			
Wall	Area EBF (m2)	L.D. (m)	Area Unprotected opening (m2)	Permitted Max % of Openings	Proposed % of Openings	FRR (hours)	Listed Design or Description	Comb. Const.	Comb.Const. Non-comb. Cladding	Non-Comb.Const. Non-comb. Cladding																																															
North - East	95.0	6.0	35.0	37%	36.8%	1 hr.	TBD	■																																																	
North - West	179.0	3.0	0	12%	0%	2 hr.	TBD		■																																																
South - West	175	> 15	<175	100%	<100%	no rating		■																																																	
South - East	107	14.0	<107	100%	<100%	no rating		■																																																	

Note: for spatial separation calculation, worst fire compartment is considered in the table.

ONE STOREY COMMERCIAL (BUILDING - B)

Item	ONTARIO 2024 BUILDING CODE DATA MATRIX	OBC Reference																																																							
1	PROJECT NAME & LOCATION TWO STOREY COMMERCIAL (Building B) Bronte Rd & Charles Cornwall Rd Oakville, ON	Part 3																																																							
2	MAJOR OCCUPANCY (S) Mercantile - Group E	3.1.2.1.(1)																																																							
3	BUILDING AREA Existing: N/A New: 649.0 m2.	1.4.1.2.																																																							
4	GROSS FLOOR AREA Existing: N/A New: 649.0 m2.	1.4.1.2.																																																							
5	NUMBER OF STOREYS Above Grade: 1 Storey Below Grade: 0	1.4.1.2. & 3.2.1.1.																																																							
6	HEIGHT OF BUILDING 5.8m. (Top of Roof deck)																																																								
7	NUMBER OF STREETS/ACCESS ROUTES Two																																																								
7a	BUILDING CLASSIFICATION 3.2.2.70. Group E, up to 2 Storeys	3.2.2.54 3.2.2.60																																																							
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.61																																																							
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.4.(1)																																																							
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4.1. (2)																																																							
11	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7																																																							
12	CONSTRUCTION PERMITTED <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both CONSTRUCTION ACTUAL <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both	3.2.2.61																																																							
13	OCCUPANT LOAD exact load to be determined on tenent fit out permit (approx 100)	3.1.17.1.(1)																																																							
14	MEZZANINE(S) area N.A.	3.2.1.1.(3)-(8)																																																							
15	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8.																																																							
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2.(1)&3.3.1.19(1)																																																							
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hour) floors no rating hours roof no rating hours mezzanine N/A hours FRR of Supporting Members floors no rating hours roof no rating hours mezzanine N/A hours	Listed Design No. or Description (D-2) 3.2.2.61																																																							
19	SPATIAL SEPARATION - Construction of Exterior Walls Tables 3.2.3.1.C & 3.2.3.7																																																								
	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area EBF (m2)</th> <th>L.D. (m)</th> <th>Area Unprotected opening (m2)</th> <th>Permitted Max % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (hours)</th> <th>Listed Design or Description</th> <th>Comb. Const.</th> <th>Comb.Const. Non-comb. Cladding</th> <th>Non-Comb.Const. Non-comb. Cladding</th> </tr> </thead> <tbody> <tr> <td>North - East</td> <td>114.5</td> <td>10.1</td> <td>39.2</td> <td>40%</td> <td>34.2%</td> <td>1 hr.</td> <td></td> <td></td> <td>■</td> <td></td> </tr> <tr> <td>North - West</td> <td>180</td> <td>> 70</td> <td><180</td> <td>100%</td> <td><100%</td> <td>no rating</td> <td></td> <td>■</td> <td></td> <td></td> </tr> <tr> <td>South - West</td> <td>B-2 B-1</td> <td>53.5 51.4</td> <td>6.0 6.0</td> <td>13.4 12.6</td> <td>27% 28%</td> <td>27% 28%</td> <td></td> <td></td> <td>■</td> <td></td> </tr> <tr> <td>South - East</td> <td>37.1</td> <td>11.6</td> <td>1.70</td> <td>100%</td> <td><100%</td> <td>no rating</td> <td></td> <td>■</td> <td></td> <td></td> </tr> </tbody> </table>	Wall	Area EBF (m2)	L.D. (m)	Area Unprotected opening (m2)	Permitted Max % of Openings	Proposed % of Openings	FRR (hours)	Listed Design or Description	Comb. Const.	Comb.Const. Non-comb. Cladding	Non-Comb.Const. Non-comb. Cladding	North - East	114.5	10.1	39.2	40%	34.2%	1 hr.			■		North - West	180	> 70	<180	100%	<100%	no rating		■			South - West	B-2 B-1	53.5 51.4	6.0 6.0	13.4 12.6	27% 28%	27% 28%			■		South - East	37.1	11.6	1.70	100%	<100%	no rating		■			
Wall	Area EBF (m2)	L.D. (m)	Area Unprotected opening (m2)	Permitted Max % of Openings	Proposed % of Openings	FRR (hours)	Listed Design or Description	Comb. Const.	Comb.Const. Non-comb. Cladding	Non-Comb.Const. Non-comb. Cladding																																															
North - East	114.5	10.1	39.2	40%	34.2%	1 hr.			■																																																
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South - East	37.1	11.6	1.70	100%	<100%	no rating		■																																																	

Note: for spatial separation calculation, worst fire compartment is considered in the table.

3	Revision - SPA Comments	2025-12-02
2	Revision - SPA Comments	2025-07-14
1	SITE PLAN APPROVAL	2024-12-19

Rev	By	Description	Date YY-MM-DD
Revision / Issue Schedule			

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.



17 Newcastle Cres. Brampton Ontario L6S3Z1
Tel: 905-965-1546 e-mail: kb@kba-architect.ca
www.kba-architect.ca



PROJECT
OAKVILLE COMMERCIAL PLAZA (SHELL ONLY)

N/E of Bronte Rd & Charles Cornwall Rd
Oakville, ON L6M 4G3

DRAWING TITLE

Elevation Material Legend & OBC Matrix

BY CS | CHECK KB | ISSUED FOR Revision - SPA Comments

PROJECT NO.: 24-022 SHEET NO.:

SCALE: 1:48
DATE: 2025-12-02

A301

PLOT DATE: 2025-12-01 4:28:52 PM



1 NORTH-EAST ELEVATION
A302 1 : 150



2 SOUTH-EAST ELEVATION
A302 1 : 150

MATERIAL LEGEND

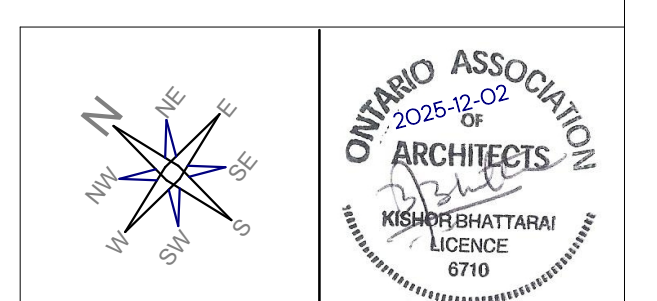
- EF1 EIFS Stucco finish
Colour: Light Gray
- EF2 Modern Metal Cladding (Forma Plant or similar)
Colour: Red Cedar
- EF3 FIBER CEMENT PANEL
Colour: Charcoal Gray
- EF4 Clay Bricks - Architectural Large
Colour: Light (Ash White)
- EF5 Thin Stone: 1" Thick, Echo Ridge
Cultured Stone - Cobblefield, with half inch mortar joints
- EF6 Fiber Cement Panel
Colour: Dark Gray
- EF7 Modern Stone Panel (Stonitex Elemex or similar)
Colour: Cambrian Black
- EF8 Split Face Architectural Concrete (Block)
Colour: Dark Gray

3	Revision - SPA Comments	2025-12-02
2	Revision - SPA Comments	2025-07-14
1	SITE PLAN APPROVAL	2024-12-19

Rev	By	Description	Date
Iss.			YY-MM-DD
Revision / Issue Schedule			

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KBA INC. KISHOR BHATTARAI & ASSOCIATES (KBA) INC.
 17 Newcastle Cres, Brampton Ontario L6S3Z1
 Tel: 905-965-1546 e-mail: kb@kba-architect.ca
 www.kba-architect.ca

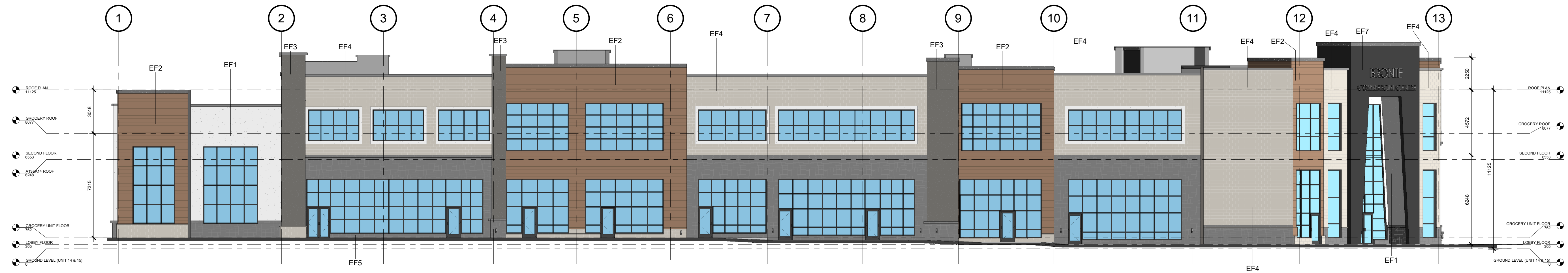


PROJECT
OAKVILLE COMMERCIAL PLAZA (SHELL ONLY)
 N/E of Bronte Rd & Charles Cornwall Rd
 Oakville, ON L6M 4G3

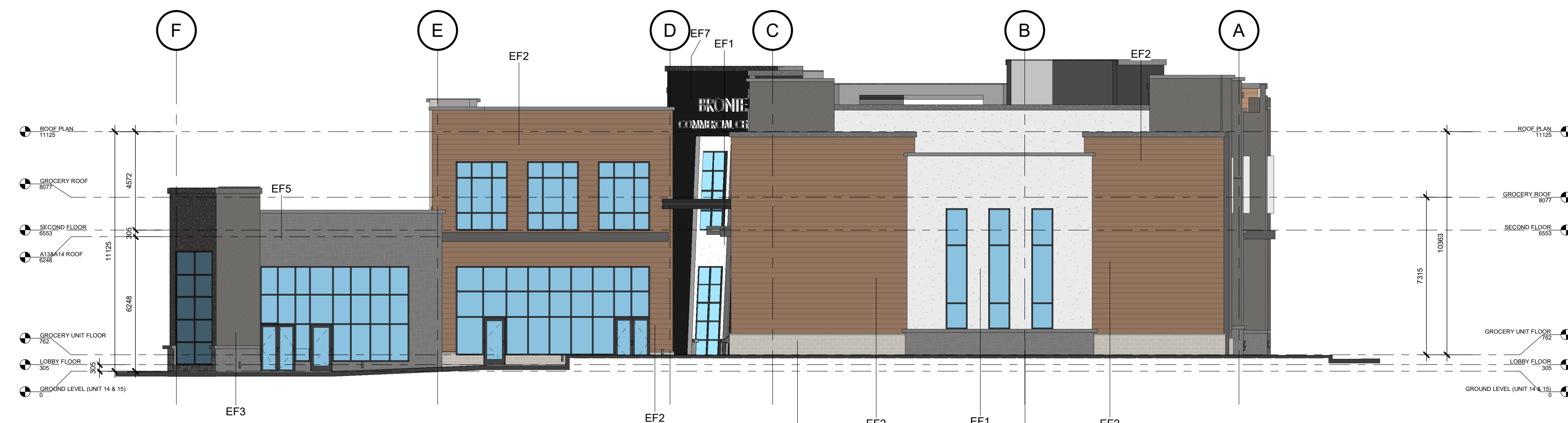
DRAWING TITLE
EXTERIOR ELEVATION I - BLDG A

BY	CHECK	ISSUED FOR
CS	KB	Revision - SPA Comments
PROJECT NO.:	24-022	
SCALE:	1 : 150	
DATE:	2025-12-02	
	SHEET NO.:	A302

PLOT DATE: 2025-12-01 4:11:44 PM



1 SOUTH-WEST ELEVATION
A303 1 : 150



2 NORTH-WEST ELEVATION
A303 1 : 150

MATERIAL LEGEND

EF1	EIFS Stucco finish Colour: Light Gray
EF2	Modern Metal Cladding (Forma Plant or similar) Colour: Red Cedar
EF3	FIBER CEMENT PANEL Colour: Charcoal Gray
EF4	Clay Bricks - Architectural Large Cultured Stone - Cobblefield, with half inch mortar joints
EF5	Thin Stone: 1" Thick, Echo Ridge Cultured Stone - Cobblefield, with half inch mortar joints
EF6	Fiber Cement Panel Colour: Dark Gray
EF7	Modern Stone Panel (Stonitex Elemex or similar) Colour: Cambrian Black
EF8	Split Face Architectural Concrete (Block) Colour: Dark Gray

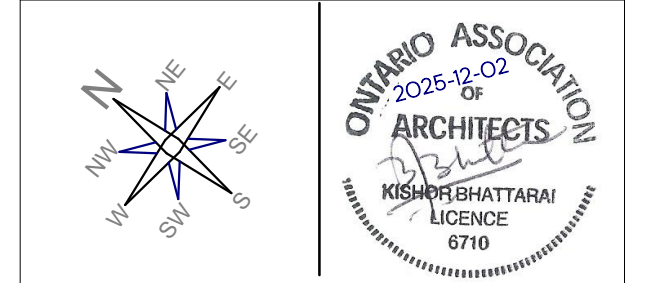
3	Revision - SPA Comments	2025-12-02
2	Revision - SPA Comments	2025-07-14
1	SITE PLAN APPROVAL	2024-12-19

Rev	By	Description	Date YY-MM-DD
Revision / Issue Schedule			

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PROJECT
OAKVILLE COMMERCIAL PLAZA (SHELL ONLY)

N/E of Bronte Rd & Charles Cornwall Rd
Oakville, ON L6M 4G3

DRAWING TITLE
EXTERIOR ELEVATION II - BLDG A

BY	CHECK	ISSUED FOR
CS	KB	Revision - SPA Comments
PROJECT NO.:	24-022	SHEET NO.:
SCALE:	1 : 150	
DATE:	2025-12-02	

A303

PLOT DATE: 2025-12-01 4:11:50 PM



2 SOUTH-EAST ELEVATION
A301 1 : 64



1 NORTH-EAST ELEVATION
A301 1 : 64

MATERIAL LEGEND

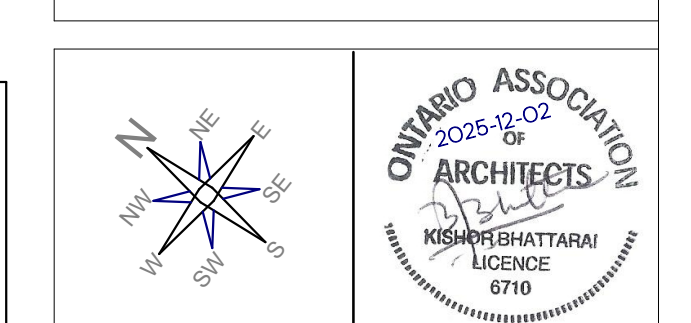
EF1	EIFS Stucco finish Colour: Light Gray
EF2	Modern Metal Cladding (Forma Plant or similar) Colour: Red Cedar
EF3	FIBER CEMENT PANEL Colour: Charcoal Gray
EF4	Clay Bricks - Architectural Large Colour: Light (Ash White)
EF5	Thin Stone: 1" Thick, Echo Ridge Cultured Stone - Cobblefield, with half inch mortar joints
EF6	Fiber Cement Panel Colour: Dark Gray
W2	WALL LIGHT - AS PER ELECTRICAL

3	SITE PLAN RESUBMISSION	2025-12-02
2	Revision - SPA comments	2025-07-14
1	SITE PLAN APPROVAL	2024-12-19

Rev	By	Description	Date
Iss.			YY-MM-DD
Revision / Issue Schedule			

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PROJECT
OAKVILLE COMMERCIAL PLAZA (SHELL ONLY)
 Bronte Rd & Charles Cornwall Rd
 Oakville, ON L6M 4G3

DRAWING TITLE
EXTERIOR ELEVATION I - BLDG B

BY	CHECK	ISSUED FOR
CS	KB	SITE PLAN RESUBMISSION
PROJECT NO.:	24-022	SHEET NO.:
SCALE:	1 : 64	
DATE:	2025-12-02	

A304

PLOT DATE: 2025-12-01 4:08:40 PM



2 NORTH-WEST ELEVATION
A302 1:64



1 SOUTH-WEST ELEVATION
A302 1:64

MATERIAL LEGEND

EF1	EIFS Stucco finish Colour: Light Gray
EF2	Modern Metal Cladding (Forma Plant or similar) Colour: Red Cedar
EF3	FIBER CEMENT PANEL Colour: Charcoal Gray
EF4	Clay Bricks - Architectural Large Colour: Light (Ash White)
EF5	Thin Stone: 1" Thick, Echo Ridge Cultured Stone - Cobblefield, with half inch mortar joints
EF6	Fiber Cement Panel Colour: Dark Gray
W2	Lighting: WL-LED101 Finish: White

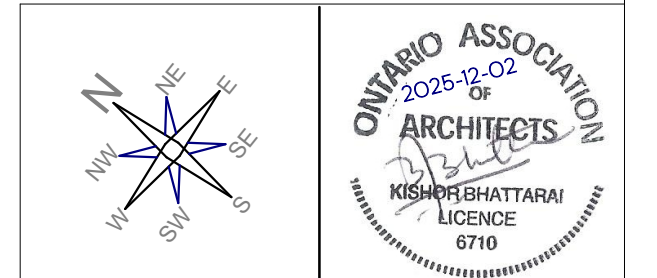
3	SITE PLAN RESUBMISSION	2025-12-02
2	Revision - SPA comments	2025-07-14
1	SITE PLAN APPROVAL	2024-12-19

Rev	By	Description	Date
Iss.			YY-MM-DD
Revision / Issue Schedule			

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PROJECT
OAKVILLE COMMERCIAL PLAZA (SHELL ONLY)

Bronite Rd & Charles Cornwall Rd
Oakville, ON L6M 4G3

DRAWING TITLE
EXTERIOR ELEVATION II -- BLDG B

BY	CHECK	ISSUED FOR
CS	KB	SITE PLAN RESUBMISSION
PROJECT NO.:	24-022	
SCALE:	1:64	
DATE:	2025-12-02	
		A305

PLOT DATE: 2025-12-01 4:08:42 PM