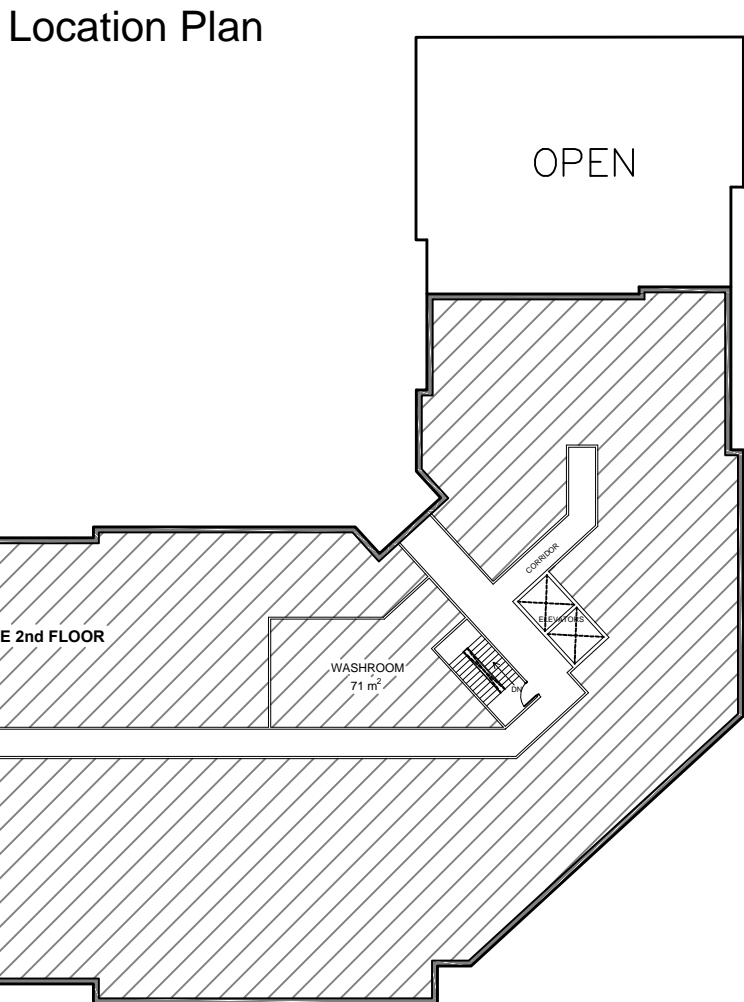
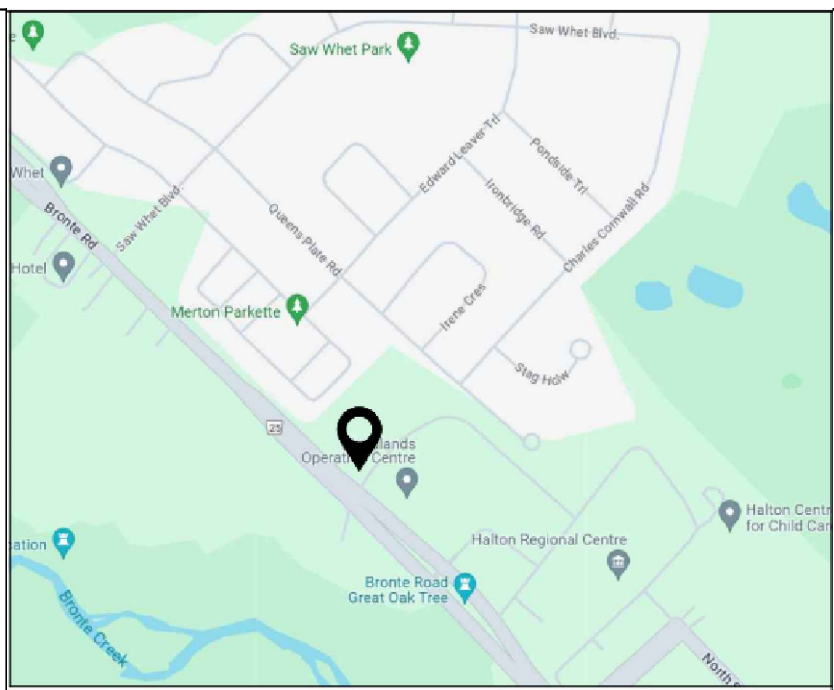


SURVEYOR'S INFORMATION:
BLOCK 473
REGISTERED PLAN 20M-1223
AND
PART OF LOT 30, CONCESSION 2
SOUTH OF DUNDAS STREET
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

PREPARED BY:
R.S. QUERUBIN, OLS
J.D. BARNES LIMITED
DATE: 2024-12-03



BUILDING A
PROPOSED SECOND FLOOR
Gross Area: 1810 sq. m.

REFER TO LANDSCAPE DRAWINGS FOR
LANDSCAPE INFORMATION
REFER TO CIVIL DRAWINGS FOR CIVIL
INFORMATION.

SURVEY LEGEND		
CB	DENOTES SINGLE CATCHBASIN	
SCIB	DENOTES SIDE INLET CATCHBASIN	
DICB	DENOTES DITCH INLET CATCHBASIN	
GK	DENOTES GAS KEY	
HMH	DENOTES HYDRO MANHOLE	
MH	DENOTES MANHOLE	
SAN MH	DENOTES SANITARY MANHOLE	
STM MH	DENOTES STORM MANHOLE	
HP	DENOTES HYDRO POLE	
LS	DENOTES LIGHT STANDARD	
TP	DENOTES TELEPHONE POLE	
WV	DENOTES WATER VALVE	
SIGN	DENOTES SIGN	
SP	DENOTES STAND PIPE	
PED	DENOTES TELEPHONE PEDESTAL	
TJB	DENOTES TELEPHONE JUNCTION BOX	
MF	DENOTES METAL FENCE	
TL	DENOTES TRAFFIC SIGNAL	
OC	DENOTES OVERHEAD CABLE	
TL	DENOTES DECIDUOUS SAPLING TREE	
TL	DENOTES CONIFEROUS SAPLING TREE	
STOP SIGN	DENOTES STOP SIGN	

Parking calculation is based on Net Floor Area.

Floor Area (net) means the total area of all floors of a building measured from the interior faces of the exterior walls or demising walls, but does not include the area of stair wells, elevators, escalators, ventilating shafts, attics, concourses, washrooms, attached enclosed and covered loading docks and related enclosed corridors used for loading purposes, above and below grade parking structures, storage rooms, rooms for garbage containment, and mechanical rooms.

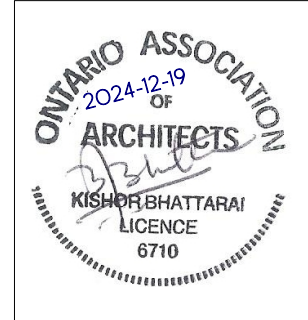
ZONE: NEIGHBOURHOOD COMMERCIAL - 'C1'		
TWO STOREY COMMERCIAL BUILDING		
STANDARD	REQUIRED	PROPOSED
LOT AREA (MIN.)	0.2 ha	1 ha (10063.9 sq. m.)
LOT FRONTAGE (MIN.)	30 m	104.72 m
MAXIMUM COVERAGE AREA	50 %	33.4% (Total)
MAXIMUM FLOOR AREA	3,500 sq. m.	3,343.6 sq. m. (Bldg A = 2666.6 sq. m., Bldg B = 677 sq. m.)
FRONT YARD (MAX.)	3.0 m	2.74 m
FLANKAGE YARD (MAX.)	3.0 m	2.90m
REAR YARD (MIN.)	7.5 m	3 m (Variance Required)
INTERIOR SIDE YARD (MIN.)	0.0 m	N/A
BUILDING HEIGHT MIN.	7.0 m	9.8m (Top of Roof)
BUILDING HEIGHT MAX.	12.0 m	
LANDSCAPE REQUIREMENT:		
	REQUIRED	PROPOSED
MIN. LANDSCAPED OPEN SPACE	10%	10.5%
1006.38 sq. m.		1055.5 sq. m.
FLOOR AREA CALCULATION:		
FLOOR	REQUIRED	PROPOSED
GROUND FLOOR	2666.6 sq. m. (bldg A) + 677sq. m. (bldg B)	
SECOND FLOOR	1810 sq. m. (bldg A)	
GROSS TOTAL AREA	4476.6 sq. m. (bldg A), 677 sq. m. (bldg B)	
LOT COVERAGE:		
STANDARD	ALLOWED	PROPOSED
TOTAL FOOTPRINT	3500 m²	3,363.9 m²
FOOTPRINT IN %	50 %	33.2% (Total)
PARKING CALCULATION:		
STANDARD	REQUIRED	PROPOSED
COMMERCIAL/ RETAIL (for 3,099 sq. m. Net Area)	140.86 SPACES	
2476 sq. m. (bldg A), 623 sq. m. (bldg B) (81 SPACES / 22 m²)		
OFFICE USE ON 2ND FLOOR (1590 sq. m. Net Area) (40% of Bldg A - Commercial below 990.4 sq.m. do not require parking REF: 15.376.16 (d))	27.25 SPACES	
Parking for 299.6 sq.m Office Use (81 SPACES / 22 m²)		
TOTAL PARKING	169 SPACES	147 SPACES (Variance Required)
Barrier-free Parking (1, plus 5% of the total number of parking spaces in the parking area)	5.41 SPACES	6 SPACES

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for additions or alterations to the project or any other project without the Architect's permission in writing.

The Contractor shall check and verify all existing conditions on site and shall also check and verify all dimensions on the drawings and report any inconsistencies to the Architect before proceeding with the work.

DRAWINGS NOT TO BE SCALED

REVISION SCHEDULE		
REVISION #	Description	DATE
1	Pre-consultation application	2024-07-09
2	Site Plan Approval	2024-12-19
3		



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WWW.KBA-ARCHITECT.CA

RETAIL/ COMMERCIAL PLAZA

Bronte Rd & Charles Cornwall Rd
Oakville,
ON L6M 4G3

Site Plan

Date	2024-12-06	Drawn By	CS	Project #	24-022
Scale	1 : 250	Checked By	KB	Drawing #	ASP-01