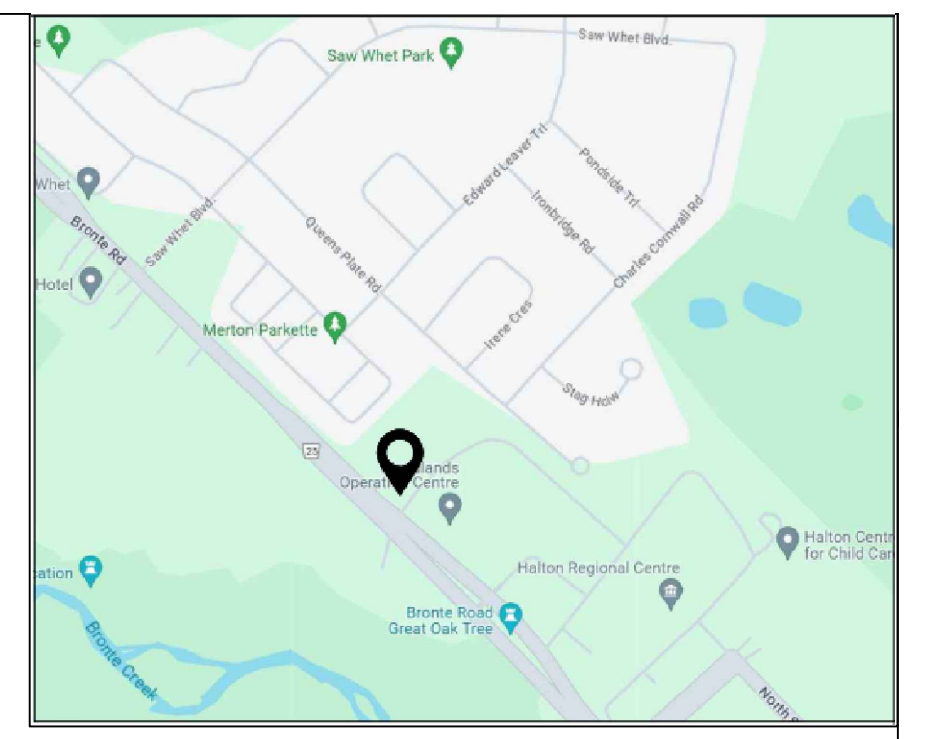
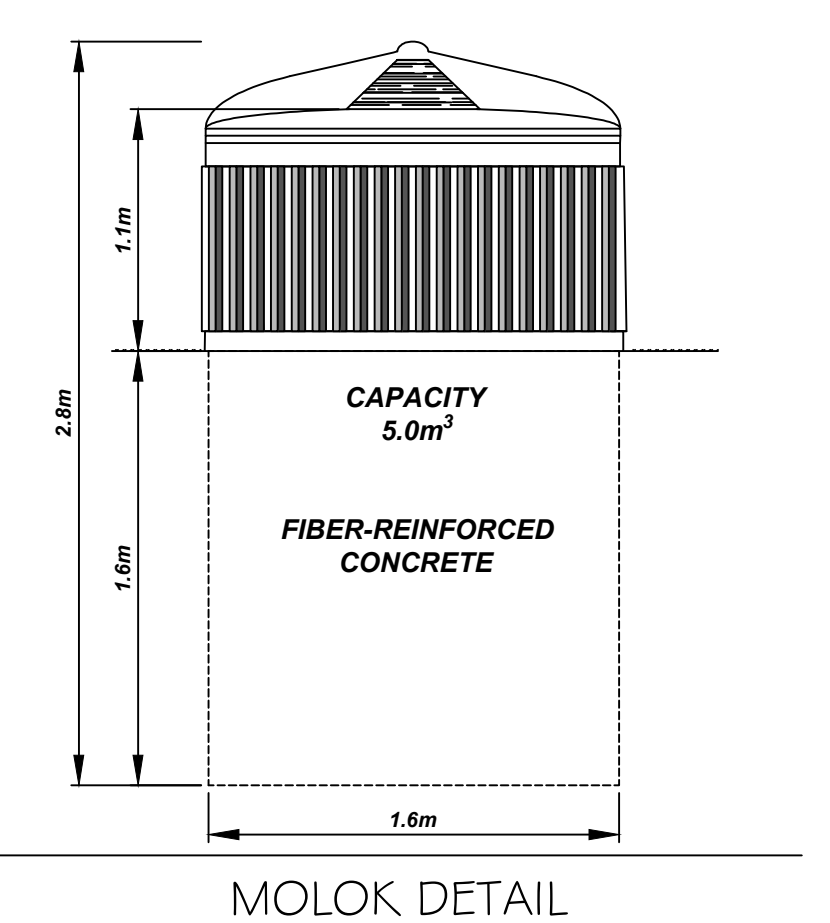


SURVEYOR'S INFORMATION:
 BLOCK 473
 REGISTERED PLAN 20M-1223
 AND
 PART OF LOT 30, CONCESSION 2
 SOUTH OF DUNDAS STREET
 (GEOGRAPHIC TOWNSHIP OF TRAFALGAR)
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON
 PREPARED BY:
 R.S. QUERUBIN, OLS
 J.D. BARNES LIMITED
 DATE: 2024-12-03

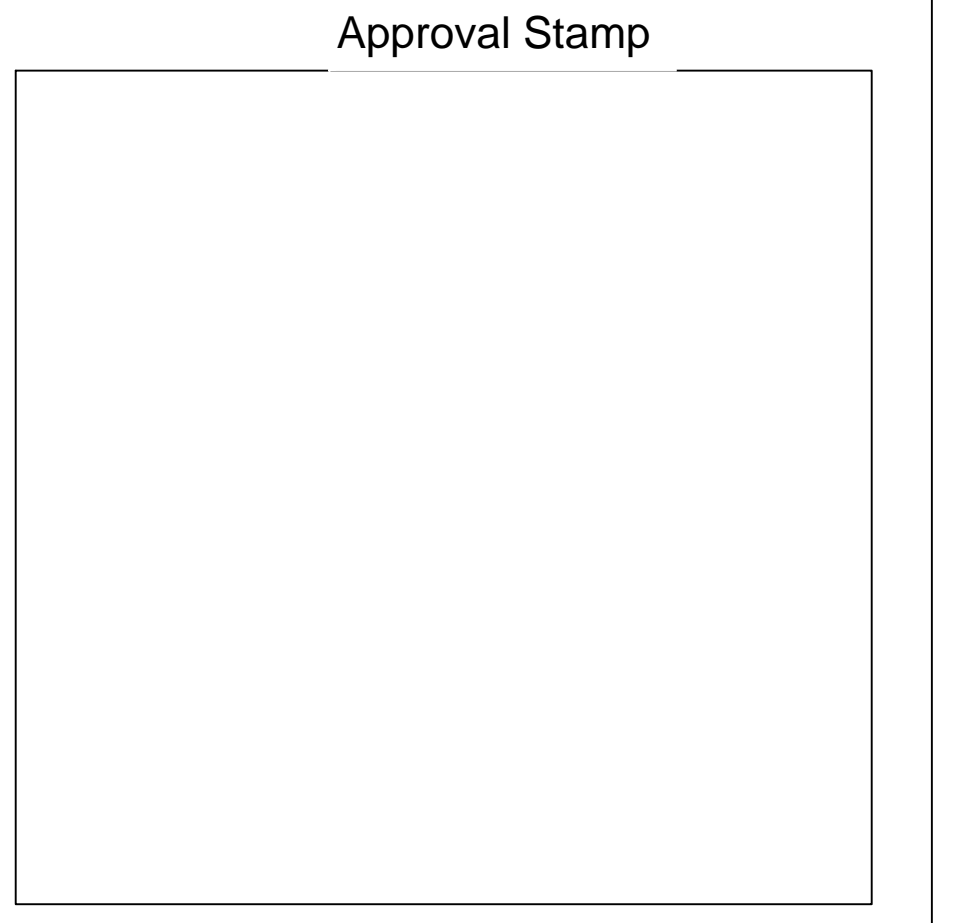
REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE INFORMATION.
 REFER TO CIVIL DRAWINGS FOR CIVIL INFORMATION.



Location Plan



MOLOK DETAIL



Approval Stamp

STAIR, HANDRAIL & GUARD NOTES:
 1. PROVIDE 1070mm HIGH GUARD (AS PER OBC 3.1.1.B), WHERE LEVEL THE DIFFERENCE IN ELEVATION BETWEEN TWO ADJACENT SURFACES IS MORE THAN 600mm.
 2. STEP DIMENSIONS:
 Max. Riser = 180mm
 Min. Tread = 280mm

SURVEY LEGEND

□ CB	DENOTES SINGLE CATCHBASIN
□ SCIB	DENOTES SIDE INLET CATCHBASIN
□ DICB	DENOTES DITCH INLET CATCHBASIN
● GK	DENOTES GAS KEY
○ MH	DENOTES HYDRO MANHOLE
○ MH	DENOTES MANHOLE
○ SAN MH	DENOTES SANITARY MANHOLE
○ STM MH	DENOTES STORM MANHOLE
● HP	DENOTES HYDRO POLE
● LS	DENOTES LIGHT STANDARD
● TP	DENOTES TELEPHONE POLE
● WV	DENOTES WATER VALVE
● SIGN	DENOTES SIGN
□ SP	DENOTES STAND PIPE
□ PED	DENOTES TELEPHONE PEDESTAL
□ TJB	DENOTES TELEPHONE JUNCTION BOX
● MF	DENOTES METAL FENCE
● TL	DENOTES TRAFFIC SIGNAL
○ OC	DENOTES OVERHEAD CABLE
○	DENOTES DECIDUOUS SAPLING TREE
○	DENOTES CONIFEROUS SAPLING TREE
○	STOP SIGN

Parking calculation is based on Net Floor Area.
 Floor Area (net) means the total area of all floors of a building measured from the interior faces of the exterior walls or demising walls, but does not include the area of stair walls, elevators, escalators, ventilating shafts, attics, concourses, washrooms, attached enclosed and covered loading docks and related enclosed corridors used for loading purposes, above and below grade parking structures, storage rooms, rooms for garbage containment, and mechanical rooms.

ZONE: NEIGHBOURHOOD COMMERCIAL - 'C1-376'

TWO STOREY COMMERCIAL BUILDING

STANDARD	REQUIRED/ ALLOWED	PROPOSED
LOT AREA (MIN.)	0.2 ha	0.984 ha (9841.481 sq. m.)
LOT FRONTAGE (MIN.)	30 m	104.72 m
MAXIMUM COVERAGE AREA	50 %	31.96% (total)
MAXIMUM NET FLOOR AREA (retail and service commercial uses)	3,500 sq. m. (max.)	2835.51 sq. m. (Bldg A = 2237.37 sq. m., Bldg B = 598.14 sq. m.)
FRONT YARD (MAX.)	3.0 m	2.85 m
FLANKAGE YARD (MAX.)	3.0 m	3.0 m
REAR YARD (MIN.)	7.5 m	3 m (Variance Required)
INTERIOR SIDE YARD (MIN.)	0.0 m	N/A
BUILDING HEIGHT	MIN. 7.0 m MAX. 12.0 m	Bldg A 10.8m Bldg B 5.8 m (Variance Required)

LANDSCAPE REQUIREMENT:

	REQUIRED	PROPOSED
MIN. LANDSCAPED OPEN SPACE	10%	10%

FLOOR AREA CALCULATION:

FLOOR	PROPOSED
GROUND FLOOR	2496.68 sq. m. (bldg A), 649.0 sq. m. (bldg B)
SECOND FLOOR	2040.03 sq. m. (bldg A)
TOTAL BUILDING AREA	4536.7 sq. m. (bldg A), 649.0 sq. m. (bldg B)

LOT COVERAGE:

STANDARD	ALLOWED	PROPOSED
TOTAL FOOTPRINT	3500 sq. m.	3145.68 sq. m.
FOOTPRINT IN %	50 %	31.96 % (total)

PARKING CALCULATION:

STANDARD	REQUIRED	PROPOSED
COMMERCIAL/ RETAIL (Net Area)		
Bldg A - Ground floor area = 2237.37 sq. m., 2237.37 x 40% = 894.95 sq. m.		
Bldg A - Second floor area = 1600.00 sq. m., 1600 - 894.95 = 705.05 sq. m., Bldg A total = 2237.37 + 705.05 = 2942.42 sq. m.		
(@ 1SPACE / 22 m²)		133.74 (= 134 SPACES)
Bldg B - Ground floor = 598.14 sq. m., (@ 1SPACE / 22 m²)	27.19 SPACES (= 28 SPACES)	
TOTAL PARKING	162 SPACES	145 SPACES (Variance Required)
Barrier-free Parking (1.0% of the total number of parking spaces in the parking area)	6 SPACES	6 SPACES

This drawing is an instrument of service and shall remain the property of the Architect. It shall not be used for additions or alterations to the project or any other project without the Architect's permission in writing.
 The Contractor shall check and verify all existing conditions on site and shall also check and verify all dimensions on the drawings and report any inconsistencies to the Architect before proceeding with the work.
DRAWINGS NOT TO BE SCALED

REVISIONS

REVISION #	REVISION SCHEDULE	DATE
1	Pre-consultation application	2024-07-09
2	Site Plan Approval	2024-12-19
3	Respond to SPA comments	2025-07-14
4	Minor Variance	2025-10-29
5	Respond to SPA comments	2025-12-02



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 Ontario L6S3Z1
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 WWW.KBA-ARCHITECT.CA

Project Title
 RETAIL/ COMMERCIAL PLAZA
 Bronte Rd & Charles Cornwall Rd
 Oakville,
 ON L6M 4G3

Drawing Title
 Site Plan
Date 2025-12-02
Drawn By CS
Checked By KB
Project # 24-022
Drawing # ASP-01

Scale 1 : 250