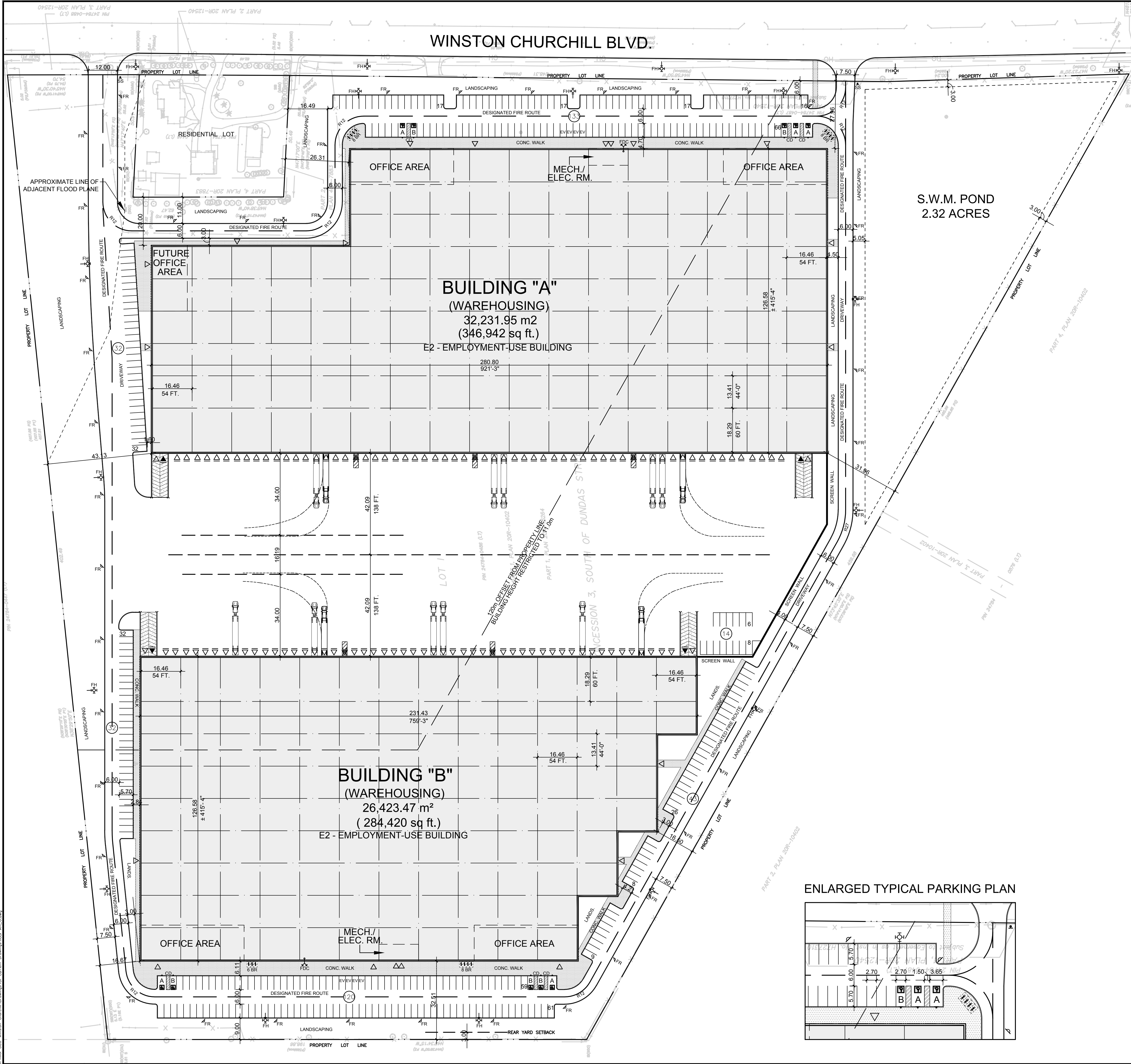
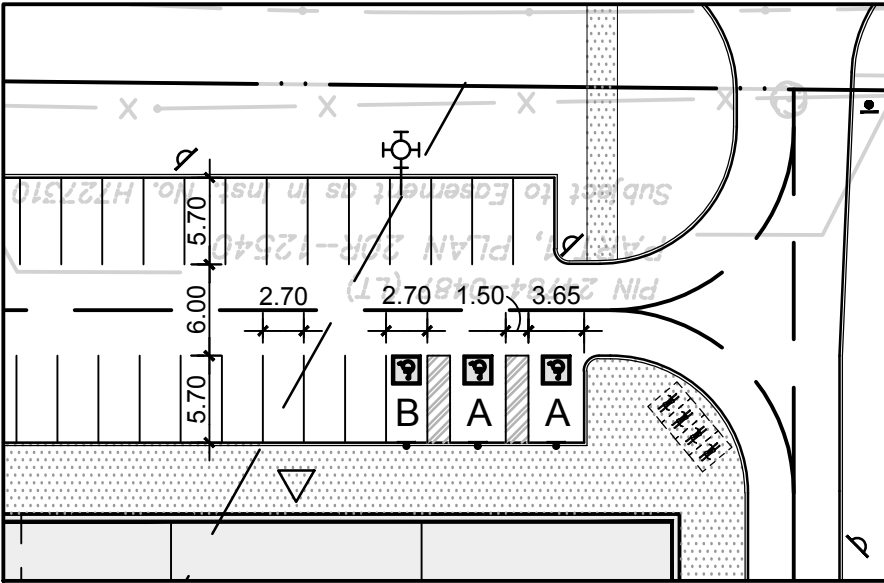




ENLARGED TYPICAL PARKING PLAN



KEY PLAN

TOWN OF OAKVILLE N.T.S.

SUBJECT SITE

LEGAL DESCRIPTION

TOPOGRAPHIC SURVEY OF
PART OF LOT 1 :
CONCESSION 3
(FORMERLY TOWNSHIP OF TRAFALGAR,
COUNTY OF HALTON)
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE
SPEIGHT, VAN NOSTRAND & GIBSON LIMITED

TRUE NORTH
PROJECT NORTH

SITE STATISTICS

SITE AREA	129,311.39 m2	or	31.95 Acres
ZONING	E2		
LOT AREA	2,000 m2 (MIN)	129,311.39 m2	
LOT FRONTAGE	WINSTON CHURCHILL BLVD.	30.0 m (MIN)	460.41 m
FRONT YARD (EAST)	WINSTON CHURCHILL BLVD.	3.0 m (MIN)	27.96 m
REAR YARD (WEST)		3.0 m (MIN)	32.51 m
INTERIOR SIDE (NORTH)		3.0 m (MIN)	16.67 m
INTERIOR SIDE (SOUTH)		3.0 m (MIN)	16.50 m

SETBACKS

BUILDING 'A'		
WAREHOUSE	30,411.53 m2	or 327,347 sqft
OFFICE	1,295.92 m2	or 13,949 sqft
FUTURE OFFICE	4,406 sqft	or 4,406 sqft
MECH./ELEC. BLDG. GFA	115.21 m2	or 1,240 sqft
BUILDING 'B'		
WAREHOUSE	25,012.34 m2	or 269,231 sqft
OFFICE	1,295.92 m2	or 13,949 sqft
MECH./ELEC. BLDG. GFA	115.21 m2	or 1,240 sqft
	26,423.47 m2	or 284,420 sqft

GROSS FLOOR AREAS (GFA)

TOTAL GFA	58,655.41 m2	or 631,362 sqft
TOTAL SITE COVERAGE	58,655.65 m2	or 45.36 %
TOTAL LANDSCAPED AREA	32,315.69 m2	or 24.99 %
TOTAL PAVED AREA	38,340.29 m2	or 29.65 %

PARKING REQUIRED

BUILDING HEIGHT	11.0 m (MAX)	11.0 m
WAREHOUSE		
1 per 100 m2 GFA, up to 7,500 m2	75 spaces	
@ 7,500 m2		
1 per 200m2 GFA, additional area	256 spaces	
@ 51,155.42 m2		
TOTAL PARKING	331 spaces	374 spaces
TOTAL ACCESSIBLE PARKING	10 spaces	10 spaces
2 PLUS 2% OF TOTAL PROVIDED		
TOTAL ELECTRIC VEHICLE PARKING	N/A	8 spaces
2% OF ALL PARKING SPACES PROVIDED		
BICYCLE PARKING	30 spaces	30 spaces
2 PLUS 0.25 PER 1,000 m2 GFA (NOT EXCEEDING 30)		

SYMBOL LEGEND

- MAN DOOR LOCATIONS
- LOADING DOCK LOCATIONS
- DRIVE-IN OVERHEAD DOORS
- HYDRANT + VALVE
- CATCH BASIN
- DOUBLE CATCH BASIN
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- LIGHT STANDARD
- BICYCLE RACK (FLO by LANDSCAPE FORMS | 2-3 BIKES)
- PARKING COUNT
- ACCESSIBLE PARKING SPACE (4.6m x 7.3m)
- 3 STREAM WASTE / RECYCLE RECEPTACLE - SEE LANDS. DWGS
- GAS METERS
- CURB DEPRESSION / RAMP
- CONC. FILLED STEEL BOLLARD
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE SIGN PER MUNICIPAL BY-LAW
- SEATING
- FIRE ROUTE SIGN
- STOP SIGN
- HYDRO TRANSFORMER
- SNOW STORAGE ±2% OF SITE AREA
- MOLOK IN-GROUND WASTE STORAGE BINS - SEE DETAIL BELOW
- ELECTRIC VEHICLE CHARGING STATION

No.	ISSUED	DATE
1	ISSUED FOR REVIEW & COORDINATION	JUNE 10 2019
2	ISSUED FOR SPA	JUNE 12 2019
3	ISSUED FOR COORDINATION	JUNE 18 2019
4	ISSUED FOR COORDINATION	JULY 3 2019
5	ISSUED FOR COORDINATION	JULY 8 2019
6	ISSUED FOR SPA	JULY 11 2019

No.	REVISION	DATE
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560 WINSTON
CHURCHILL BLVD.

OAKVILLE, ONTARIO

SITE PLAN

DATE:
NOV. 2018

DRAWN BY:
L.Y.

CHECKED:
L.Y.

SCALE:
1:750

PROJECT No.

1851

DRAWING No.

A-1.0