



SITE STATISTICS

PARENT BY-LAW ZONING BY-LAW 2018-085, AMENDED 2020-113
PROPOSED ZONING DESIGNATION: DUC WITH EXCEPTIONS

1.0 SITE STANDARDS

| SITE AREA | APPROX. 21,347.13 sqm (5,28 ac) [2.14 ha] |
|--------------------------|--|
| BUILDING AREA | TOTAL BUILDING AREA: 9,180 sqm BLOCK 1: 1,100 sqm (24 UNITS) BLOCK 2: 1,100 sqm (24 UNITS) BLOCK 3: 1,100 sqm (24 UNITS) BLOCK 4: 1,100 sqm (24 UNITS) BLOCK 5: 1,100 sqm (24 UNITS) BLOCK 6: 1,100 sqm (24 UNITS) BLOCK 7: 1,100 sqm (24 UNITS) BLOCK 8: 1,100 sqm (24 UNITS) BLOCK 9: 1,100 sqm (24 UNITS) BLOCK 10: 1,100 sqm (24 UNITS) BLOCK 11: 1,100 sqm (24 UNITS) BLOCK 12: 1,100 sqm (24 UNITS) BLOCK 13: 1,100 sqm (24 UNITS) BLOCK 14: 1,100 sqm (24 UNITS) |
| NUMBER OF DWELLING UNITS | 306 |
| PROPOSED DENSITY | 306 units / 5,28 ac = 57.95 units per acre (ac) 306 units / 2.14 ha = 143 units per hectare (ha) |
| GROSS FLOOR AREA (GFA) | TOTAL GFA: 33,410 sqm BLOCK 1: 3,341 sqm (24 UNITS) BLOCK 2: 3,341 sqm (24 UNITS) BLOCK 3: 3,341 sqm (24 UNITS) BLOCK 4: 3,341 sqm (24 UNITS) BLOCK 5: 3,341 sqm (24 UNITS) BLOCK 6: 3,341 sqm (24 UNITS) BLOCK 7: 3,341 sqm (24 UNITS) BLOCK 8: 3,341 sqm (24 UNITS) BLOCK 9: 3,341 sqm (24 UNITS) BLOCK 10: 3,341 sqm (24 UNITS) BLOCK 11: 3,341 sqm (24 UNITS) BLOCK 12: 3,341 sqm (24 UNITS) BLOCK 13: 3,341 sqm (24 UNITS) BLOCK 14: 3,341 sqm (24 UNITS) |
| PROPOSED FAR | 33,410 sqm / 21,347 sqm = 1.56 |

2.0 LOT STANDARDS

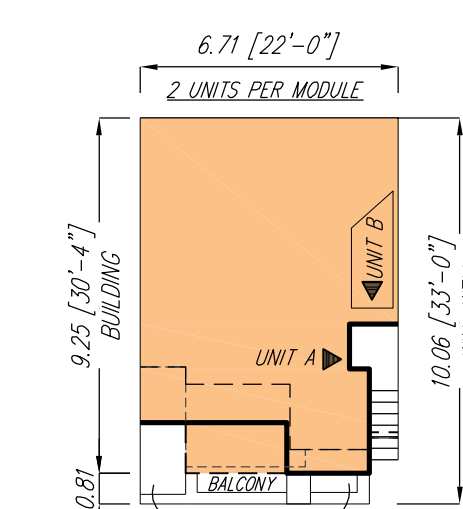
| | REQUIRED | PROPOSED |
|------------------------------|-----------|------------|
| MINIMUM LOT FRONTAGE | N/A | N/A |
| MINIMUM BUILDING HEIGHT | 5 STOREYS | 3 STOREYS |
| MAXIMUM LOT COVERAGE | N/A | APPROX 43% |
| FLOOR SPACE INDEX | N/A | 1.57 |
| 20' (6.10) FRONT YARD | 0 m | 2.5 m |
| INT. SIDE YARD | 7.5 m | 4.0 m |
| INT. SIDE YARD | 0 m | 3.0 m |
| REAR YARD | 2.5 m | 2.5 m |
| MINIMUM LANDSCAPE OPEN SPACE | N/A | 21% |

3.0 SITE CIRCULATION

| ZONING STANDARD | REQUIRED | PROPOSED |
|---|---------------------------|--------------------------------------|
| VEHICULAR PARKING REQUIREMENTS | | |
| STACKED TOWNHOUSE DWELLING | 1 / UNIT | 1.2 / UNIT |
| TOTAL PARKING SPACE | 306 (1 UNIT) | 306 SPACES (201 (1 UNIT) + 105 (UG)) |
| VISITOR PARKING | N/A | 16 (GRADE) + 4 (UG) |
| ACCESSIBLE PARKING (INCLD IN TOTAL) | N/A | 2 (GRADE) + 6 (UNDERGROUND) |
| MINIMUM PARKING SPACE WIDTH | 2.6 m | 2.6 m |
| MINIMUM PARKING SPACE LENGTH | 5.2 m | 5.2 m |
| MINIMUM DRIVE AISLE WIDTH | 7.0 m | 7.0 m |
| BICYCLE PARKING (MIN. 0.6m x 1.8m) | | |
| BUILDINGS MORE THAN 20 UNITS: BLOCK 3, 4, 5, 8, 9, 10, 12, 13 & 14, TOTAL 210 UNITS | | |
| SHORT TERM BIKE | 53 (0.25 / UNIT) | 50 (0.25 / 200 SP) |
| LONG TERM BIKE | 158 (0.75 / UNIT) | 188 (0.94 / 200 SP) |
| PROPOSED PARKING AREA: | 13,113 sqm / 141,147 sqft | |

4.0 SNOW STORAGE

| | REQUIRED | PROPOSED |
|---------------------------|--------------------|----------------------|
| AREA OF HARD SURFACE AREA | Approx. 5,800 sqm. | |
| AREA OF SNOW STORAGE | 870 sqm (15%) | Approx. 500 sqm (7%) |
| MIN. SNOW STORAGE AREA | 4.5m x 1.5m | COMPLY |



UNIT A (LOWER UNIT)

2 STOREY (LOWER LEVEL & GROUND FLOOR)
BACK TO BACK - STACKED TOWNHOUSE

6.7m x 9.3m
+/- 1185sqft (110sqm)

UNIT B (UPPER UNIT)

2 STOREY (2ND & 3RD FLOOR)
BACK TO BACK - STACKED TOWNHOUSE

6.7m x 9.3m
+/- 1185sqft (110sqm)

UNIT MODULE

SCALE: 1:250

SITE PLAN

SCALE: 1:350

APPLICATION NUMBER:

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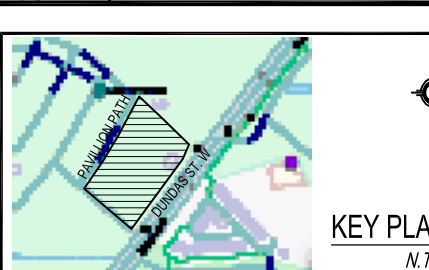
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.
THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE, AND MUST NOTIFY 4 ARCHITECTURE INC. OF ANY VARIATION FROM THE SUPPLIED INFORMATION.

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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.

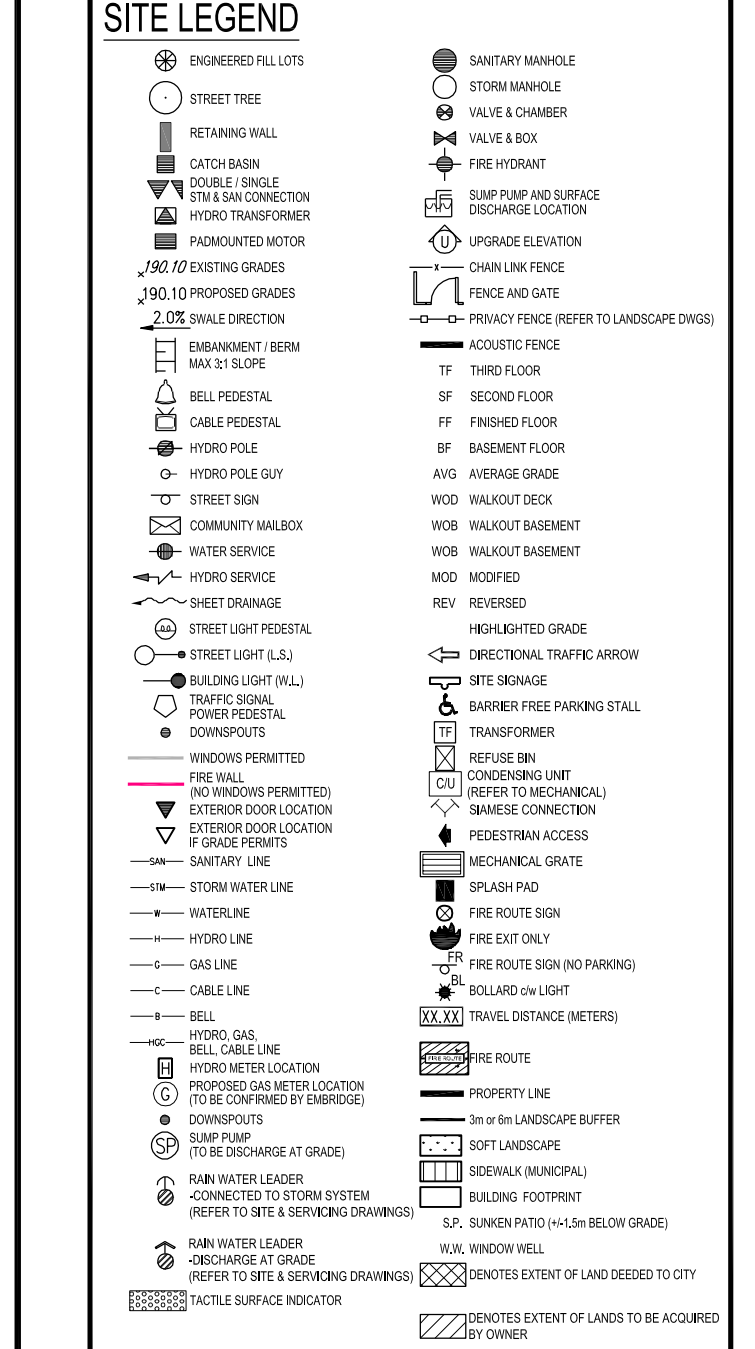
DRAWINGS ARE NOT TO BE SCALED.

OWNER INFORMATION
4 ARCHITECTURE INC. (TREASURE HILL)
1000 DUNDAS STREET WEST
SUITE 300, OAKVILLE, ONTARIO L6H 6C6
BLOCK 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100



LEGAL DESCRIPTION OF PROPERTY:
PART OF LOT 24, CONCESSION, NORTH OF DUNDAS STREET
TOWN OF OAKVILLE, ONTARIO

SITE LEGEND

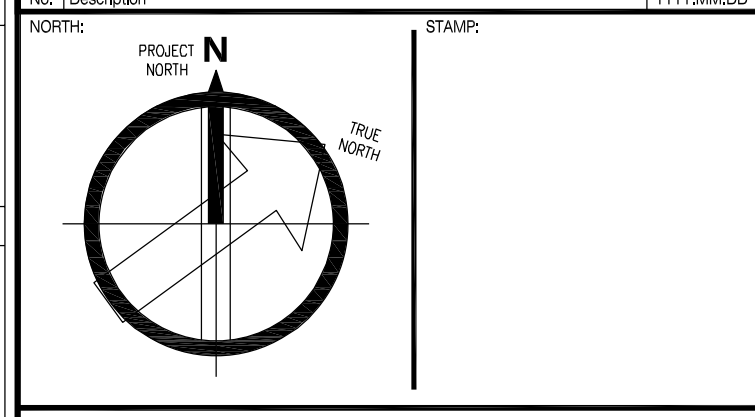


REVISIONS

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------------------|------------|----|
| 1. | ISSUED FOR COORDINATION | 2025.11.12 | SL |
| 2. | ISSUED FOR COORDINATION | 2025.11.27 | SL |
| 3. | ISSUED FOR SPA | 2025.12.05 | SL |

SUBMITTALS

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------------------|------------|----|
| 1. | ISSUED FOR COORDINATION | 2025.11.12 | SL |
| 2. | ISSUED FOR COORDINATION | 2025.11.27 | SL |
| 3. | ISSUED FOR SPA | 2025.12.05 | SL |



4 ARCHITECTURE INC.
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8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7
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425015 - TREASURE HILL
Marlborough
1359 Dundas St W,
OAKVILLE

SITE PLAN
2025.12.05

NOTED AS SUEM

425015WS01.dwg

Building Permit Issuance

The City of Oakville requires that all drawings submitted to the Building Division as part of an application for the issuance of a Building Permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Oakville.

Damages

All damaged areas are to be reinstated with asphalt and sod prior to the release of securities.

All damaged or disturbed areas within municipal right-of-way are to be reinstated at the applicant's expense.

All landscaping and grading within close proximity to the proposed access points is to be designed to ensure that adequate sight distances are available for all approaching and exiting motorists and pedestrians.

The portion of the driveway within the municipal boulevard is to be paved by the applicant.

Driveway accesses shall maintain a 1.5m setback from aboveground features such as utilities and trees.

Any above ground utilities located within 1.5m of a proposed access are to be relocated at the applicant's expense.

Signage

Signage shown on the site development plan is for information purposes only. All signs will be subject to the provisions of the signage By-law and a separate sign application will be required through the Building Division.

Acoustical Consultant

The Acoustical Consultant shall certify to the Planning and Building Department that the proposed buildings, mechanical equipment, and ventilation systems for buildings on site and the off-site Stationary Noise Sources are in compliance with the acoustical report as prepared for the particular building and in compliance with the Ministry of Environment (MOE) guidelines for Stationary Noise Sources.

Grading and Servicing

Site grading and site servicing plans are to be associated with the site plan.

Grades will be met within a 33% maximum slope at the property lines and within the site.

Hoarding

The owner will make satisfactory arrangements for the erection and maintenance of hoarding adjacent to all adjoining properties throughout all phases of construction. All Utility Companies will be notified for locations prior to the installation of the hoarding that lies within the limits of the City boulevard area.

Existing and Proposed Walkways

a) pedestrian walkways must be raised approximately 15 cm from vehicular traffic to provide definition and protection for pedestrian traffic; b) standard minimum width of a pedestrian walkway is 1.5 m; c) standard minimum width of a pedestrian walkway adjacent to the end of parking spaces is 1.8 m (6.0 ft).

Transportation

The applicant will be responsible for ensuring that all plans conform to Transportation and Planning Canada's restrictions.

Fencing

Any fencing adjacent to municipal lands is to be located 15m (6.0 ft) inside the property line.

Retaining Walls

The structural design of any retaining wall over 0.6m in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by the Consulting Engineer for the project.

Exterior Stairs and Handrails

All exterior stairs and handrails shall be designed per OBC requirements and V.1.3 of the Oakville Standards.

Exterior Lighting

All exterior lighting will be directed onto the site and shall not infringe upon the adjacent properties.

All portions of exterior accessible routes shall be equipped to provide a level of illumination in accordance with the Illuminating Engineering Society of North America (IESNA) standards.

All exterior lighting shall meet the Oakville, By-Law and City Standards for Design Criteria.

Roof Leaders and additional notes

1. The roof leaders are located in accordance with Transportation and Planning Canada's restrictions.

2. The roof leaders are not permitted to discharge into the driveways and walkways.

3. The lowest floor elevation and/or catchbasin(s) within the site are situated at least 1.0m above the abutment of the adjacent municipal storm sewer system.

4. The roof leaders will not be connected directly to the storm sewer system for all units. Roof leaders will discharge into the lots with the use of approved by the Consulting Engineer for the project.

5. The rear yard swales will drain this runoff to the rear lot catchbasins and the front downspouts will drain, where possible, by use of sodded areas to the road.

Roof Top Units

All roof top mechanical units shall be screened from view by the applicant.

NOTE: There are no roof top units for this development.

Roadway, driveway & parking surface

Roadway, driveway & parking areas surface materials, refer to site grading and landscape drawings for material finishes.

Fire Access Route

Fire Access Route will be designated as per Oakville City By-law. The Fire Access Route will be designed to support a load of not less than 11,363 kg per axle and have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15m.

Accessible Routes

All accessible routes shall have a running slope of not more than 1:25 and a cross slope not more than 1:50.

The clear width of accessible routes shall be 1220mm minimum.

Where exterior barrier-free paths of travel lead to a vehicular route and where the pedestrian route is not separated by a curb or other element, a tactile attention indicator shall be installed in accordance with Section IV-4.8 Detectable Warning Surfaces.

Surface drainage

All surface drainage will be self contained collected and discharged at a location approved by the City of Oakville.

Portions of the driveway within the municipal boulevard will be paved by the applicant. At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.

Utilities

The applicant will be responsible for the location of all utilities relocations necessitated by the Site plan.

Concrete Curb

Continuous 152 mm high (or greater) barrier type poured concrete curb will be required in the following areas: a) vehicular access from roads; b) landscaped traffic islands; c) between all driveways and service areas.

Concrete Edging (Accessible Routes)

A 75mm concrete edge is required where the change in level from the roadway is 100mm to 600mm below the roadway. The edge shall be installed with a colour contrasting curb (refer to Figure IV-1.4.4). Where the change in level is greater than 600mm, a guard shall be installed per OBC and Brampton Standards.

Concrete Edging Diagram

Concrete Edging Diagram

OWN NOTE:

Concrete pad for community mailboxes as per Canada post specifications - pad to be at level of sidewalk and be wheelchair accessible.

THE HYDRO TRANSFORMER

Ultimate location to be coordinated with electrical / utility consultants.

SNOW STORAGE

In the case of heavy snow falls, over capacity of the snow storage space provided and available on the truck snow off the site of the site local off-site owner.

FIRE ROUTE

Future road is constructed to support expected load imposed by fire trucks. The fire route can only be asphalt or concrete.

Disabled Parking Signs

Parking spaces reserved for people with disabilities must comply to the current By-Law and Legislation and must be identified by a sign installed at the applicant's expense, in accordance with the design specifications in the City of Oakville Accessibility Standards.

500 mm

200 mm

75 mm

200 mm

200 mm

200 mm

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GENERAL SITE NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS TAKEN FROM PLAN PROVIDED BY THE APPLICANT.

2. REFER TO THE CITY OF OAKVILLE ACCESSIBILITY STANDARDS FOR ALL BUILDINGS.

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NOTES:

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