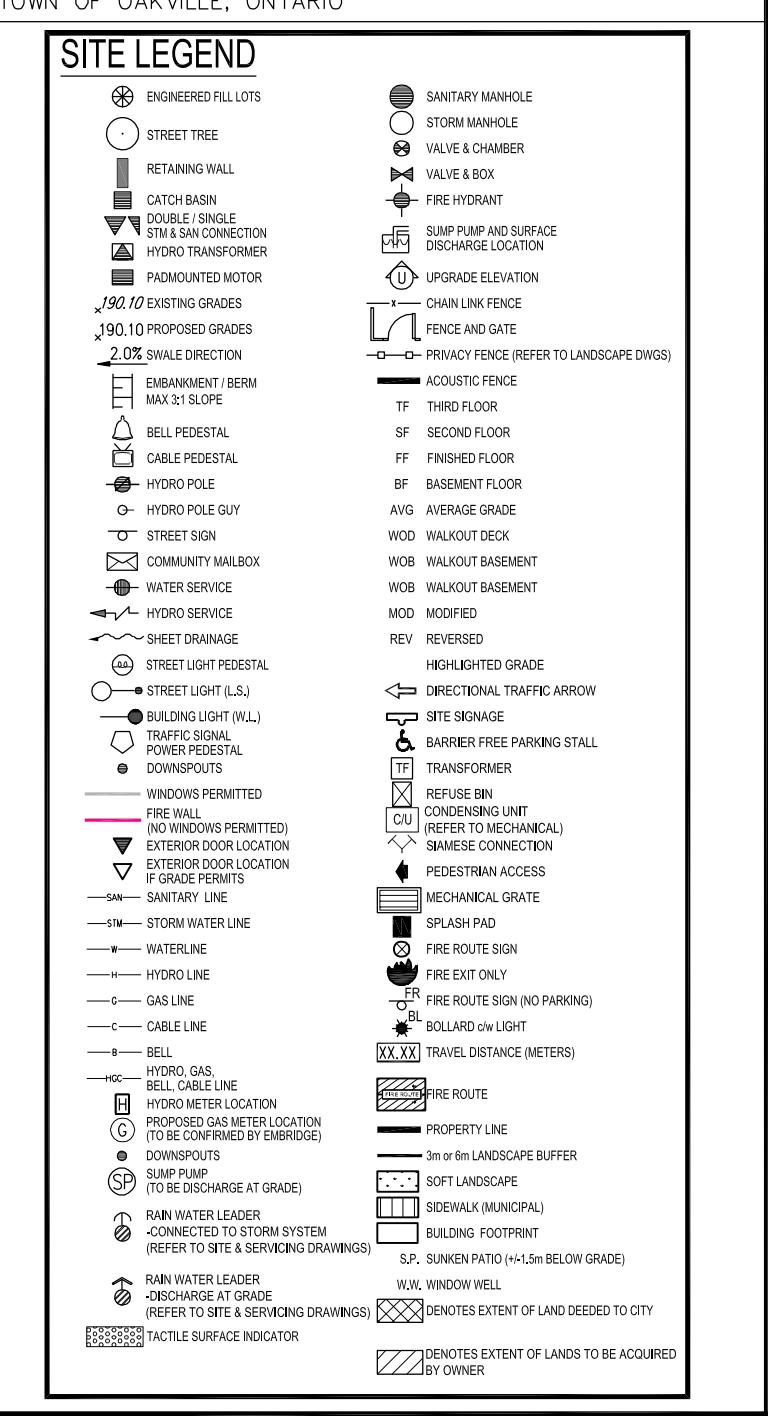




SITE STATISTICS		
DRAWINGS REFLECT PARENT BY-LAW REQUIREMENTS UNLESS DENOTED OTHERWISE. PARENT BY-LAW: ZONING BY-LAW 2009-185 AMENDED 2020-113 PARENT BY-LAW: ZONING BY-LAW 2009-185 AMENDED 2020-113 PROPOSED ZONING DESIGNATION: DUC WITH EXCEPTIONS		
1.0 SITE STANDARDS		
SITE AREA APPROX. 21,347.13 sq.m (2.14 ha)		
BUILDING AREA TOTAL BUILDING AREA: 5,180 sq.m		
BLOCK 1 (20 UNITS) BLOCK 2 (20 UNITS) BLOCK 3 (20 UNITS) BLOCK 4 (20 UNITS) BLOCK 5 (20 UNITS) BLOCK 6 (20 UNITS) BLOCK 7 (20 UNITS)		
600 sq.m. 480 sq.m. 720 sq.m. 680 sq.m. 600 sq.m. 600 sq.m. 600 sq.m.		
BLOCK 8 (20 UNITS) BLOCK 9 (20 UNITS) BLOCK 10 (20 UNITS) BLOCK 11 (20 UNITS) BLOCK 12 (20 UNITS) BLOCK 13 (20 UNITS) BLOCK 14 (24 UNITS)		
720 sq.m. 660 sq.m. 720 sq.m. 690 sq.m. 720 sq.m. 690 sq.m. 720 sq.m.		
NUMBER OF DWELLING UNITS 306		
PROPOSED DENSITY 306 units / 5.28 ac = 57.95 units per acre (ac)		
306 units / 2.14 ha = 143 units per hectare (ha)		
GROSS FLOOR AREA (GFA) TOTAL GFA: 33,410 sq.m.		
BLOCK 1 (20 UNITS) BLOCK 2 (20 UNITS) BLOCK 3 (20 UNITS) BLOCK 4 (20 UNITS) BLOCK 5 (20 UNITS) BLOCK 6 (20 UNITS) BLOCK 7 (20 UNITS)		
2200 sq.m. (175 sq.m. 2610 sq.m. 2450 sq.m. 2610 sq.m. 2200 sq.m. 2200 sq.m. 2200 sq.m.)		
BLOCK 8 (20 UNITS) BLOCK 9 (20 UNITS) BLOCK 10 (20 UNITS) BLOCK 11 (20 UNITS) BLOCK 12 (20 UNITS) BLOCK 13 (20 UNITS) BLOCK 14 (24 UNITS)		
2610 sq.m. 240 sq.m. 2610 sq.m. 230 sq.m. 2200 sq.m. 240 sq.m. 2610 sq.m. 2610 sq.m.		
PROPOSED FAN 33,410 sq.m. / 21,347.13 sq.m. = 1.56		
2.0 LOT STANDARDS		
ZONING STANDARD REQUIRED PROPOSED		
MINIMUM LOT FRONTAGE N/A 5 STOREYS 3 STOREYS		
MINIMUM BUILDING HEIGHT N/A APPROX 43%		
MAXIMUM LOT COVERAGE N/A 1.57		
FLOOR SPACE INDEX N/A		
TOWERS/ROOFS 12 1.5M 0m 2.5m		
INT. SIDE YARD (BACK) 7.5m 4.0m		
INT. SIDE YARD (WEST) 0m 3.0m		
REAR YARD (REVOLVING PATH) 2.5m 2.5m		
MINIMUM LANDSCAPE OPEN SPACE N/A 21%		
3.0 SITE CIRCULATION		
ZONING STANDARD REQUIRED PROPOSED		
VEHICULAR PARKING REQUIREMENTS 1/UNIT 1/2 UNIT		
STACKED TOWNSHOUSE DWELLING 306 370		
TOTAL PARKING SPACE 306 SPACES (UG) (1/UNIT) 64 (0.2/UNIT)		
RESIDENT PARKING 306 (1/UNIT) 306 SPACES (UG) (1/UNIT)		
VISITOR PARKING 64 (0.2/UNIT) 16 (GRADE + 4G (UG))		
ACCESIBLE PARKING (INCLD IN TOTAL) N/A 2 (GRADE) + 6 (UNDERGROUND)		
MINIMUM PARKING SPACE WIDTH 2.6m 2.6m		
MINIMUM PARKING SPACE LENGTH 5.2m 5.2m		
MINIMUM EGRESS MECH. WIDTH 7.0m 7.0m		
BICYCLE PARKING (MIN. 0.8m x 1.8m) 1.5M X 1.8M 1.5M X 1.8M		
BUILDING MORE THAN 20 UNITS: BLOCK 3, 4, 5, 6, 9, 10, 12, 13 & 14, TOTAL 210 UNITS		
SHORT TERM BIKE 53 (0.25/UNIT) OR MAX. 200 158 (0.75/UNIT) LONG TERM BIKE 50 (0.25/200 SP) TOTAL 168 (0.94/200 SP) 235		
PROPOSED PARKING AREA: 13,113 sq.m. / 141,147 sq.ft.		
4.0 SNOW STORAGE		
AREA OF HARD SURFACE AREA REQUIRED PROPOSED		
Approx. 5,800 sq.m. (INCLUDING RAMPS, PARKING, DRIVE AISLES & SIDEWALK) 670 sq.m. (15%) Approx. 300 sq.m. (5%)		
AREA OF SNOW STORAGE MIN. SNOW STORAGE AREA 4.5m X 1.5m COMPLY		

APPLICATION NUMBER: 4 ARCHITECTURE INC.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF 4 ARCHITECTURE INC.
THE CONTRACTOR IS RESPONSIBLE AND MUST NOTIFY 4 ARCHITECTURE INC. OF ANY VARIATION FROM THE DRAWING.
4 ARCHITECTURE INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. ENGINEERING INFORMATION SHOWN ON THIS DRAWING.
REFER TO THE PROPER ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
ALL ARCHITECTURAL SYMBOLS INDICATED ARE GRAPHIC REPRESENTATIONS ONLY.
DRAWINGS ARE NOT TO BE SCALED.
OWNER INFORMATION: Martilac Exco Inc. (TREASURE HILL) DUNDAS URBAN CORE 1359 Dundas St. W. BLOCK 251, 2084-2055
KEY PLAN N.T.S.
SUL: Friday, December 05, 2025 2:09 PM F:\2025\2050\151\TH-DAVYLLE SITE DRAWINGS\5 CURRENT SITE PLAN\425015WSWP01.DWG



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