



AREA DESIGN PLAN

Delmanor West Oak

1280 Dundas Street West
Town of Oakville

Date:

November 2020

Prepared for:

Delmanor West Oak Inc.

Prepared by:

MacNaughton Hermsen Britton Clarkson
Planning Limited (MHBC)

442 Brant Street, Suite 204

Burlington, ON L7R 2G4

T: 905 639 8686 x 225

F: 905 761 5589

Our File 17411A

Table of Contents

1.0 INTRODUCTION.....	1
2.0 SITE DESCRIPTION AND CONTEXT.....	3
2.1 Site Description.....	3
3.0 AREA DESIGN CONSIDERATIONS.....	4
3.1 Description of the Proposal.....	4
3.2 Land Use.....	4
3.3 Zoning.....	6
3.4 Transportation and Connectivity Review.....	7
3.4.1 Road Network Option 1.....	7
3.4.2 Road Network Option 2.....	7
3.4.3 Pedestrian Circulation Plan.....	8
3.5 Servicing Review.....	9
3.6 Environmental Review.....	10
3.6.1 Constraints and Identification of Buffers and or Vegetation Protection Zones.....	10
3.6.2 Impact Assessment and Mitigation.....	10
4.0 SUMMARY & CONCLUSIONS.....	12

List of Figures

Figure 1	St. Volodymyr’s Landholdings and Subject Lands
Figure 2	Town of Oakville Official Plan Schedule H
Figure 3	Town of Oakville Official Plan Schedule B
Figure 4	Town of Oakville Official Plan Schedule C
Figure 5	Town of Oakville Official Plan Schedule D
Figure 6	Town of Oakville Zoning By-law
Figure 7	Zoning By-law Amendment Schedule
Figure 8	Road Network Option 1
Figure 9	Road Network Option 2 - 1
Figure 10	Road Network Option 2 - 2
Figure 11	Pedestrian Circulation Plan
Figure 12	Site Servicing Plan
Figure 13	Environmental Limits and Site Plan Overlay

1.0 INTRODUCTION

MacNaughton Hermsen Britton Clarkson Planning Limited (“MHBC”) has been retained by Delmanor West Oak Inc. (the “Applicants”) to assist with planning applications to redevelop a portion of the property municipally addressed as 1280 Dundas Street West in the Town of Oakville (the “St. Volodymyr’s Landholdings”). The portion proposed for redevelopment is referred to as the “Subject Lands” for the purposes of this Area Design Plan. The Area Design Plan has been prepared on behalf of the Applicants in support of the proposed Zoning By-law Amendment (“ZBA”) application.

The proposal is for senior citizens’ housing consisting of an 8 storey building with 315 units and approximately 27,930 square metres of total gross floor area, and 27 independent living units in the form of 7 blocks, with a total gross floor area of 3,615 square metres. The entire development, with a total gross floor area of 31,545 square metres, will provide a ‘continuum of seniors care’ including memory care suites, assisted living suites and independent living suites. All suites will be rental in tenure.

At the pre-consultation meeting with Staff on April 29, 2020, an Area Design Plan was requested in order to:

- address the comprehensive development/redevelopment of the entirety of the St. Volodymyr lands, including the possible requirement for a comprehensive, public road system, which may include but not be limited to the extension of Glenayr Gate, improvements to the Fourth Line Road allowance and its intersection with Dundas Road West, improvements to and/or the necessitate to re-locate the north-south leg of the Fourth Line road allowance that provides access to the existing “heritage house” given its proximity within the stable top-of-bank of Sixteen Mile Creek.
- address the lands identified as the Natural Heritage System, to the satisfaction of Conservation Halton (in consultation with Halton Region and the Town) and the necessitate to demarcate these as separate blocks for conveyance purposes.

With regards to the comprehensive development/redevelopment of the entirety of the St. Volodymyr lands and review of the public road system, this Area Design Plan has been structured to satisfy the Town requirements listed above in order to provide the following:

- A summary of the site description and surrounding context to provide an overview of the current use of the lands and surrounding uses;
- A description of the proposal to summarize how the current proposal operates independent to and does not impact the existing use of the St. Volodymyr Centre or the cemetery lands, and how the proposal does not impact the remnant parcels from a land use or zoning perspective;
- A transportation review summarizing the potential improvements to be made to the road network to accommodate the potential extension of Glenayr Gate as well as the continued operation of the separate uses for the St. Volodymyr Centre and the proposed seniors community. The transportation review determined that improvements to the Fourth Line Road allowance and improvements to the intersection with Dundas Road West were not required or recommended;
- A servicing review summarizing how the proposed development of the Subject Lands can be serviced which does not hinder the extension of municipal services to service the remainder of the St. Volodymyr’s Landholdings should St. Volodymyr choose to develop;

- An environmental review of the Natural Heritage System to the south and east and a summary of the delineated feature limits that will ultimately be zoned appropriately to ensure their long term protection; and,
- A summary of key findings and conclusions.

2.0 SITE DESCRIPTION AND CONTEXT

The following sections address the current site and surrounding physical context.

2.1 SITE DESCRIPTION

The St. Volodymyr's Landholdings are municipally addressed as 1280 Dundas Street West and legally defined as Part of Lot 23, Concession 1 in the Town of Oakville. The St. Volodymyr's Landholdings are known as the St. Volodymyr Cultural Centre lands and are located to the south of Dundas Street West with Fourth Line providing access to Dundas Street, running parallel to Dundas Street to the north of the site and perpendicular to the Dundas Street to the east of the site, wrapping around the northern and eastern limits of the property. The Subject Lands represent the lands to the east of the St. Volodymyr Cultural Centre which are currently vacant and are proposed for development (**Figure 1**). Fourth Line provides access to the St. Volodymyr Cultural Centre lands and the Subject Lands and accommodates significant grade changes related to Dundas Street West's bridge over the Sixteen Mile Creek. To the northwest of the Subject Lands, Fourth Line turns north to meet Dundas Street West at a signalized intersection.

The Subject Lands are surrounded by the St. Volodymyr Cultural Centre to the west, natural heritage lands and cemetery lands to the south, Fourth Line to the east and Fourth Line and Dundas Street West to the north. The Subject Lands are approximately 4.62 hectares (11.42 acres) with approximately 435 metres of frontage along Fourth Line to the north and east.

The Subject Lands are currently vacant with the exception of a small wooden shed. The Subject Lands are proposed to be severed as a separate development block from the St. Volodymyr Cultural Centre with the St. Volodymyr Cultural Centre and the St. Volodymyr's Cemetery lands to the south remaining as one parcel as shown in Figure 1.

Trees are scattered throughout the property, with a more substantial cluster running north-south approximately midway through the property which contains a depressed area. A small feeder creek to the Sixteen Mile Creek lies directly to the south of the Subject Lands, with the St. Volodymyr Ukrainian Cemetery beyond. Beyond the cemetery lies a residential neighbourhood primarily consisting of single detached dwellings.

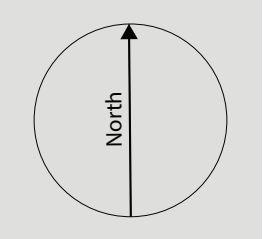
Fourth Line is directly north of the Subject Lands. Fourth Line wraps from the north along the eastern edge of the Subject Lands, terminating in a Cul-de-sac towards the southern end of the Subject Lands. Fourth Line then continues south as an un-opened municipal road allowance and provides access to the heritage house south of the cul-de-sac. Beyond Fourth Line are valleylands associated with Sixteen Mile Creek. The St. Volodymyr Cultural Centre to the west of the Subject Lands consists of a two storey cultural centre with surface parking to the north along Fourth Line. An access driveway runs along the western edge of the Subject Lands, allowing vehicular access to the cultural centre's parking lot and to the Cemetery to the south. Further west is a neighbourhood primarily consisting of single detached dwellings and townhouses



Figure 1
 Landholdings and Subject Lands
 1280 Dundas Street West
Oakville, Ontario

Legend

- Subject Lands
- St. Volodymyr's Landholdings



DATE: July 31, 2020

SCALE: N.T.S

MHBC PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE
 442 Brant Street, Suite 204 | Burlington | ON | L7R 2G4
 T 905 639 8686 | F 905 761 5589 | www.mhbcplan.com

3.0 AREA DESIGN CONSIDERATIONS

3.1 Description of the Proposal

The proposal is for senior citizens' housing consisting of an 8 storey building with 315 suites and approximately 27,930 square metres of total gross floor area, and will provide a 'continuum of seniors care' including independent living units, memory care suites and assisted living suites. An additional 27 independent living units are also proposed in four blocks, with a total gross floor area of 3,615 square metres. Combined, the entire development is proposed to consist of 342 units and 31,545 square metres of gross floor area. All suites will be rental in tenure.

The proposed development has been designed as a partial development of the St. Volodymyr lands that will cause no impact to the remainder of the lands or their possible future development given that the St. Volodymyr centre to the west will still maintain its existing access and operations and the cemetery lands to the south will still maintain its existing access and operations.

3.2 Land Use

The St. Volodymyr's Landholdings and Subject Lands are designated as being within the Residential Areas in Schedule A1 – Update Structure and within the Built Boundary in Schedule A2 – Built Boundary and Urban Growth Centre. Schedule H – West Land Use specifically designates the St. Volodymyr's Landholdings as Private Open Space with a Natural Area bisecting the lands south of the St. Volodymyr Centre. The Subject Lands are designated as Private Open Space with the Natural Area located to the south (**Figure 2**). The Subject Lands are also subject to a special exception (Policy 27.3.2) allowing for senior citizens' housing. The proposal will allow for the implementation of the Town's vision for the Subject Lands for senior citizens' housing.

The Natural Area bisecting the St. Volodymyr's Landholdings is also designated as Environmentally Sensitive Areas, Area of Natural and Scientific Interest, Woodlands, Valleylands and Floodplain in Schedule B – Natural Features and Hazard Lands. The Subject Lands are partially designated as Woodlands in the centre of the site and are also identified as Valleylands associated with the tributary to Sixteen Mile Creek to the south and the Sixteen Mile Creek to the east (**Figure 3**).

The Livable Oakville Official Plan identifies Dundas Street as a Major Arterial and Busway Corridor in Schedule C - Transportation (**Figure 4**) with Dundas Street also identified as having a Multi-Use Trail and Fourth Line to the east of the site having a Signed Bike Route per Schedule D – Active Transportation Master Plan (**Figure 5**).




















From a land use perspective, the proposal implements senior citizens' housing, a use permitted by the Official Plan, and does not seek to amend the Official Plan designation or policies and therefore the entirety of the St. Volodymyr's Landholdings will maintain their existing designations and uses. Therefore, the

Figure 2

Schedule H
West Land Use

1280 Dundas Street West
Oakville, Ontario

Legend

-  SUBJECT LANDS
-  St. Volodymyr's Landholdings
-  BUILT BOUNDARY SCHEDULE
-  AREA BOUNDARY
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  HIGH DENSITY RESIDENTIAL
-  NEIGHBOURHOOD COMMERCIAL
-  COMMUNITY COMMERCIAL
-  CORE COMMERCIAL
-  OFFICE EMPLOYMENT
-  BUSINESS COMMERCIAL
-  NATURAL AREA
-  PARKWAY BELT
-  PARKWAY BELT - OVERLAY
-  PARKS AND OPEN SPACE
-  PRIVATE OPEN SPACE
-  UTILITY
-  GROWTH AREA*
-  GREENBELT**
-  RAILWAY

* Refer to Part E, Growth Area Policies
** Refer to Part E, Special Policy Areas
⊙ Refer to Part E, Exceptions

DATE: July 31, 2020

SCALE: N.T.S

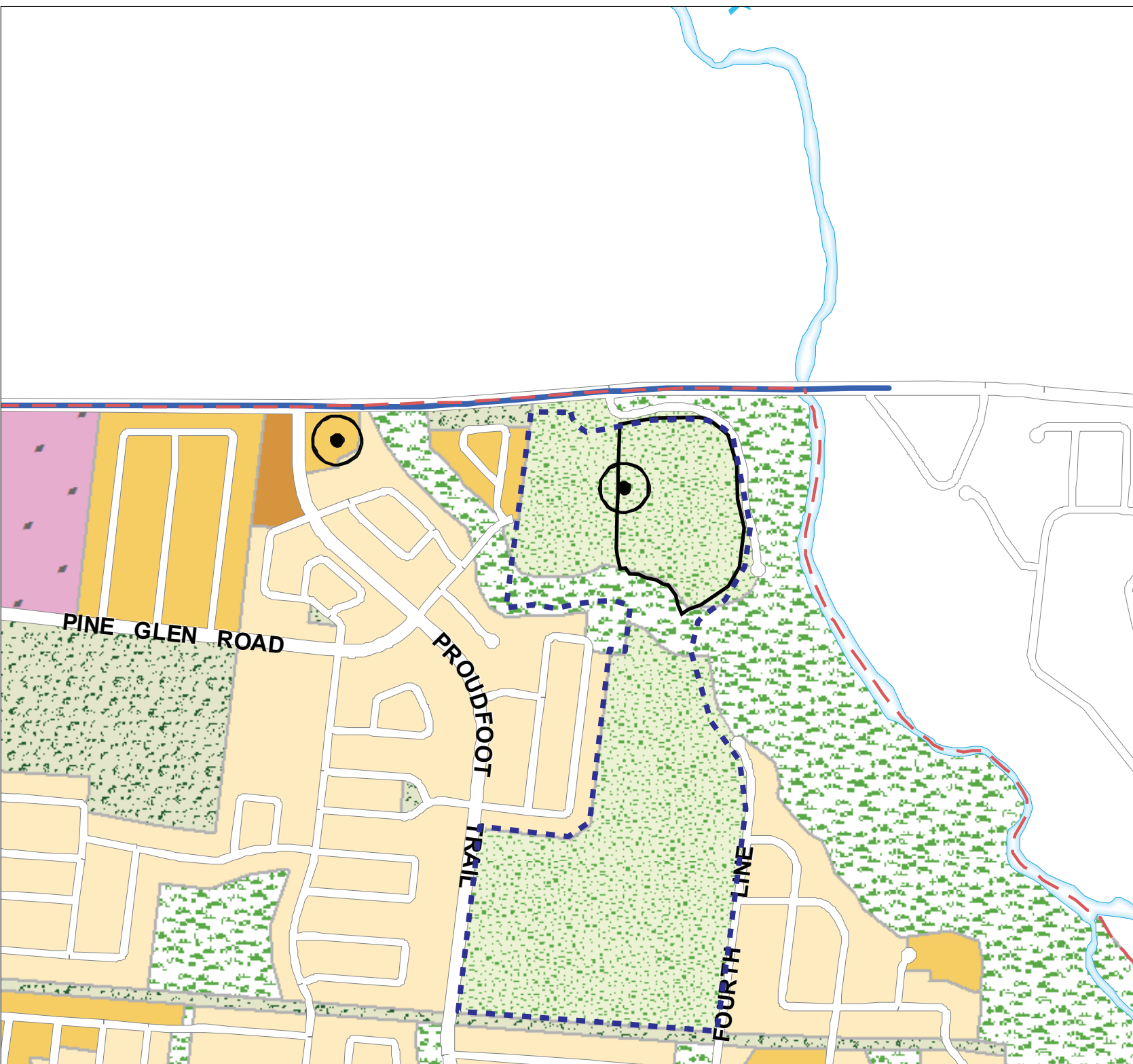
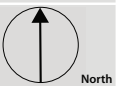


Figure 3












Schedule B

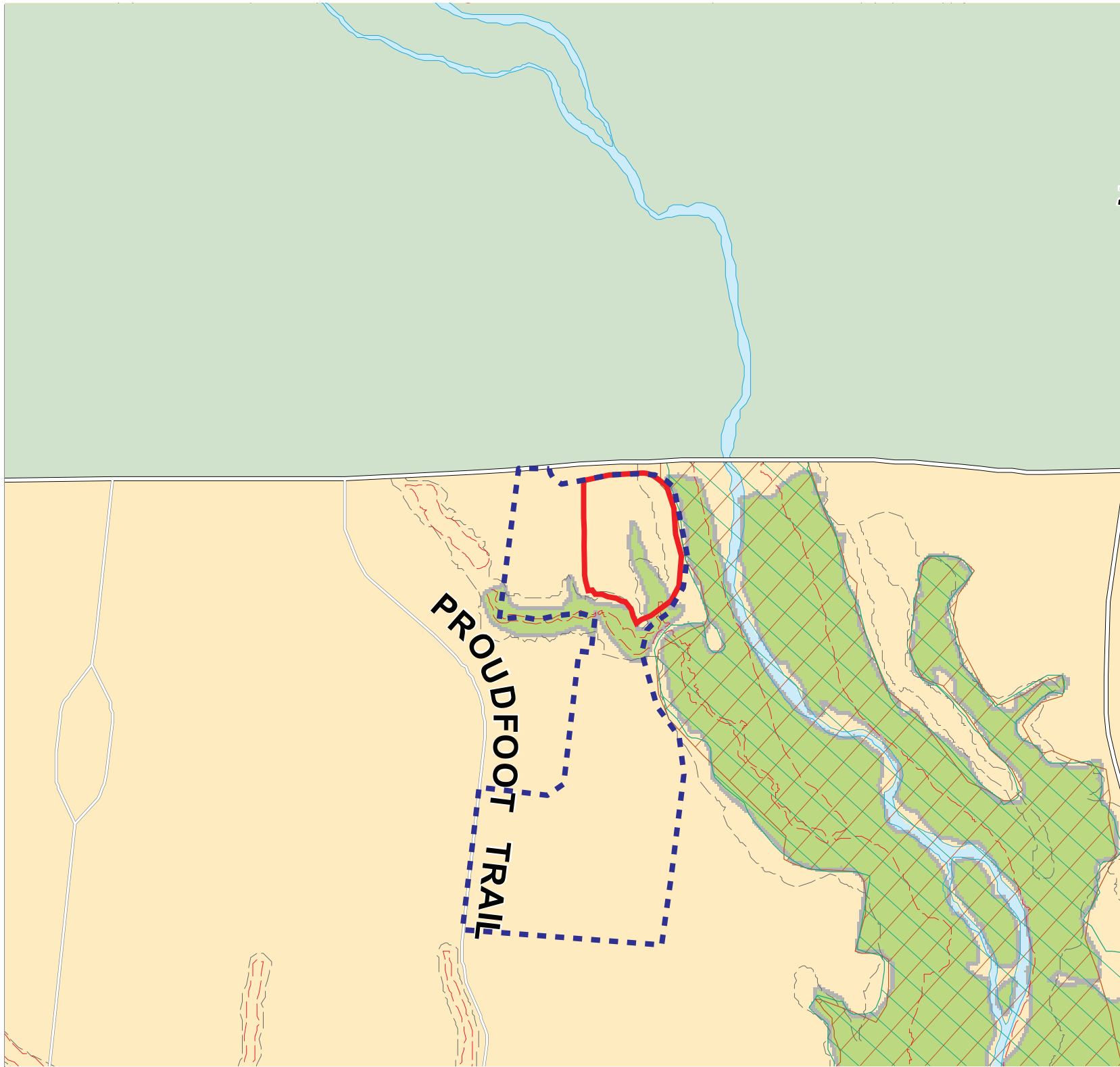
Natural Features & Hazard Lands

1280 Dundas Street West

Oakville, Ontario

Legend

-  Subject Lands
-  St. Volodymyr's Landholdings
-  FLOODPLAIN
-  SHORELINE FLOOD LIMIT
-  VALLEYLANDS
-  SIGNIFICANT WILDLIFE HABITAT
-  AREA OF NATURAL AND SCIENTIFIC INTEREST
-  ENVIRONMENTALLY SENSITIVE AREAS
-  WETLANDS
-  WOODLANDS
-  LANDS NOT SUBJECT TO THE POLICIES OF THIS PLAN



DATE: July 31, 2020

SCALE: N.T.S.

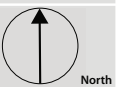


















Figure 4
Schedule C
Transportation Plan

1280 Dundas Street West
Oakville, Ontario

Legend

-  Subject Lands
-  St. Volodymyr's Landholdings
-  PROVINCIAL HIGHWAY
-  MAJOR ARTERIAL
-  MULTI-PURPOSE ARTERIAL
-  MINOR ARTERIAL
-  INDUSTRIAL ARTERIAL
-  MAJOR COLLECTOR
-  MINOR COLLECTOR
-  PROPOSED ROADS
-  QEW GRADE SEPARATION/ TRANSITWAY
-  TRANSITWAY
-  BUSWAY CORRIDOR
-  RAILWAY LINE
-  MAJOR TRANSIT STATION
-  LANDS NOT SUBJECT TO THE POLICIES OF THIS PLAN

DATE: July 31, 2020

SCALE: N.T.S

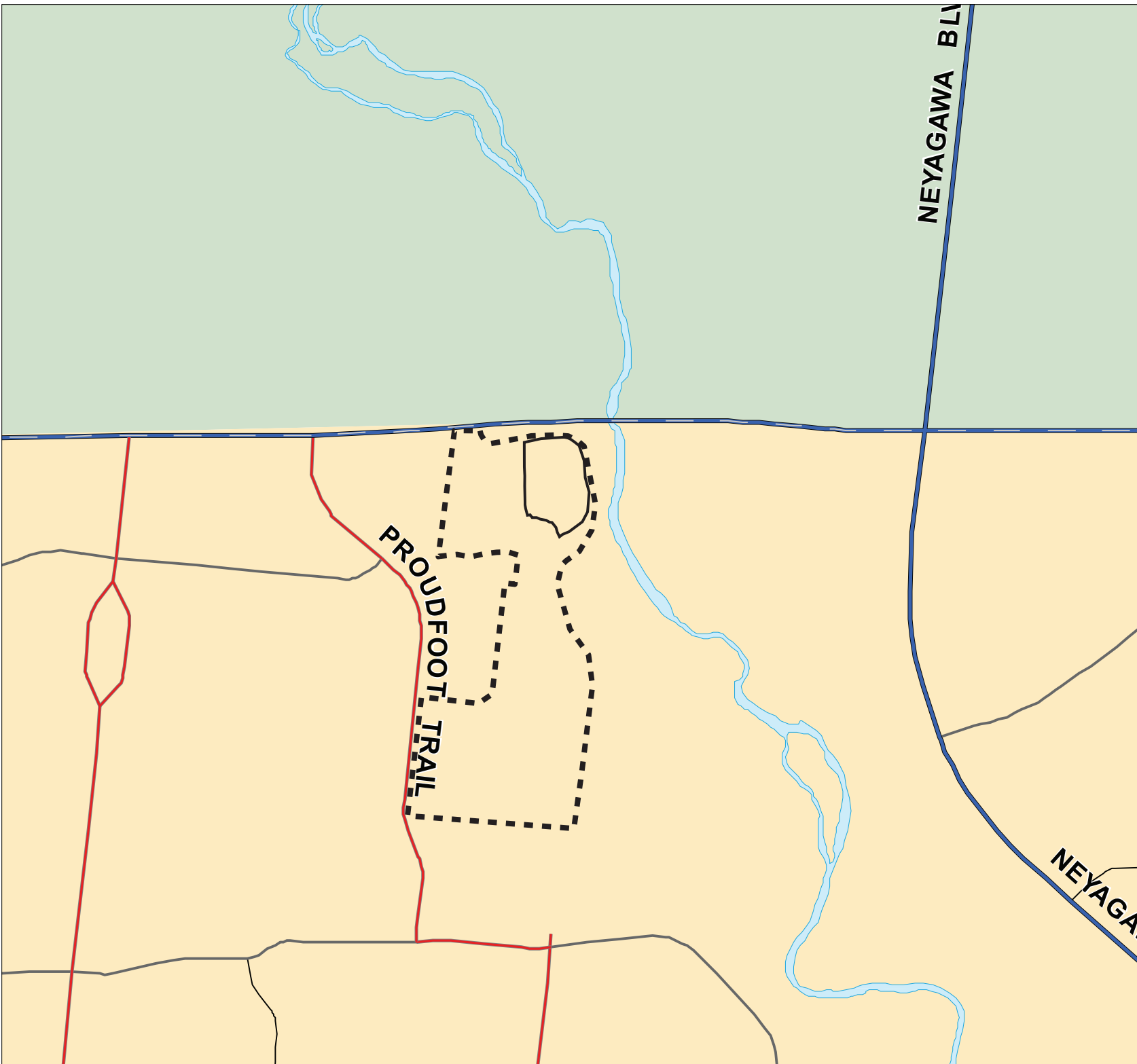
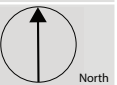
















Figure 5

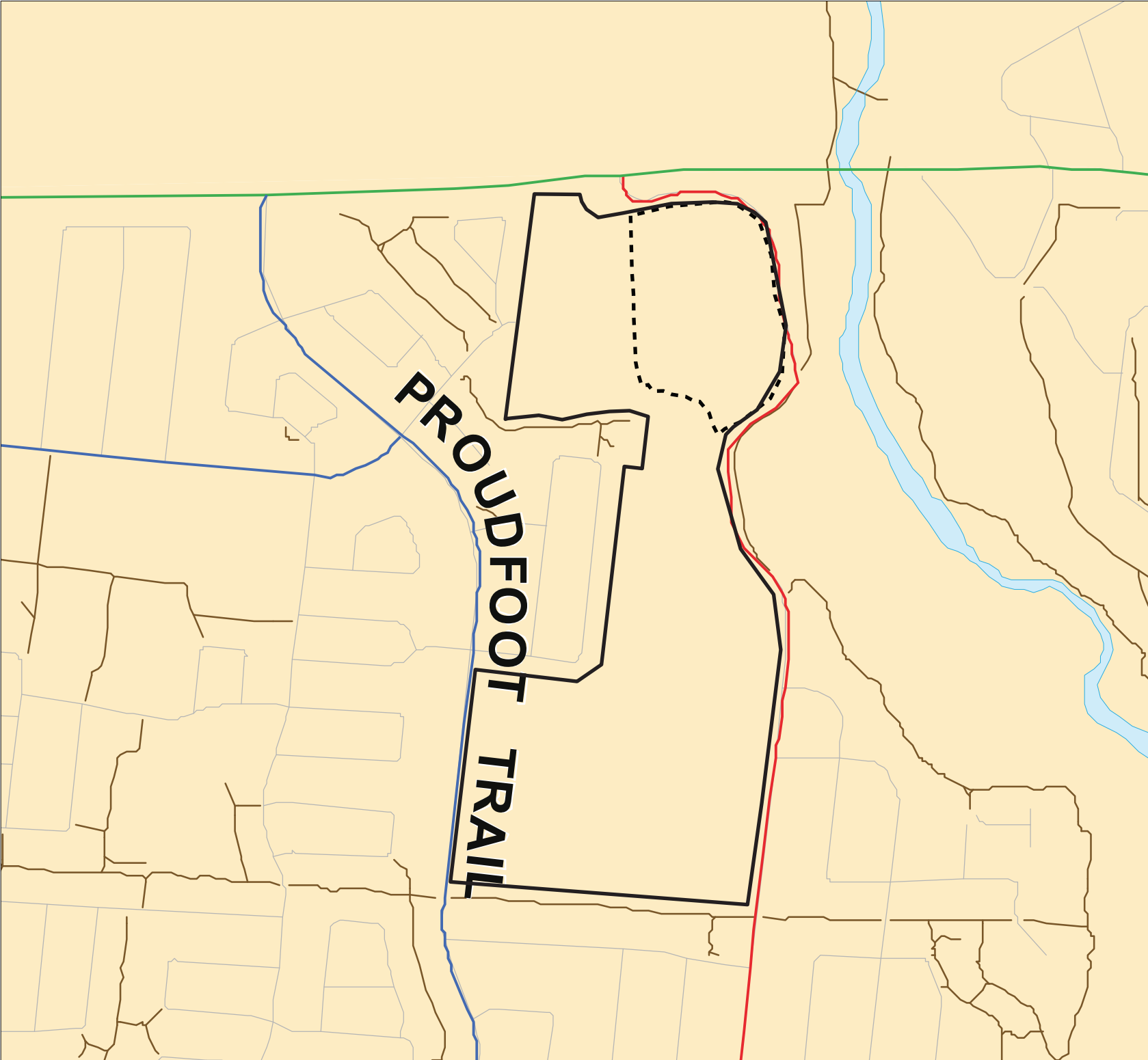
Schedule D
Active Transportation Master Plan

1280 Dundas Street West
Oakville, Ontario

Legend

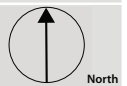
-  Subject Lands
-  St. Volodymyr's Landholdings

<i>Existing</i>	<i>Proposed</i>	
		BIKE LANE
		SIGNED BIKE ROUTE
		MULTI-USE TRAIL
		BUFFERED BIKE LANE
	<i>NA</i>	PAVED SHOULDER
		TOWN TRAIL
<i>NA</i>		FACILITY ON A REGIONAL ROAD



DATE: July 31, 2020

SCALE: N.T.S



proposed development does not hinder the current use or redevelopment potential of the St. Volodymyr's Landholdings.

From an environmental perspective, the Environmental Impact Study prepared by SLR has delineated the limits of the Woodland and Valleyland central to the Subject Lands and has confirmed the limits of the Natural Area along the southern limit of the Subject Lands. The Zoning By-law Amendment schedule will define these limits as further discussed below and in Section 3.3.

From a transportation perspective, there are no road network improvements required to serve the proposed development, and therefore, the proposal seeks to maintain the existing transportation network and does not impact existing operations or preclude the redevelopment of the remainder of the St. Volodymyr's Landholdings. Access and connectivity have been considered as part of the Transportation Review discussed in Section 3.4 below.

3.3 Zoning

The Town of Oakville Zoning By-law 2014-014 currently zones the St. Volodymyr's Landholdings as Private Open Space, Special Provision 122 (O2-122) with the natural heritage corridor bisecting the site zoned as Natural Area (N) and the cemetery further south zoned as Cemetery (CEM) (**Figure 6**). The Subject Lands are only zoned as Private Open Space with the Special Provisions 122 (O2-122).

The Zoning By-law Amendment will create a new site-specific provision to allow for senior citizens' housing on the Subject Lands in accordance with the Official Plan. The Zoning By-law Amendment schedule will continue to identify the limits of the Woodland and Valleyland corridor as defined by SLR in the Environmental Impact Study as Private Open Space with no special provision to ensure no development and will also identify the limits of the Natural Area along the southern limit of the Subject Lands (**Figure 7**).

From a zoning perspective, since the Zoning By-law Amendment only seeks to add a site-specific exception to allow for the senior citizen's housing use on the Subject Lands, and to define the limits of the natural features within and adjacent to the Subject Lands, there is no impact to the remainder of the St. Volodymyr's Landholdings which will maintain their current zone categories.

12(3)

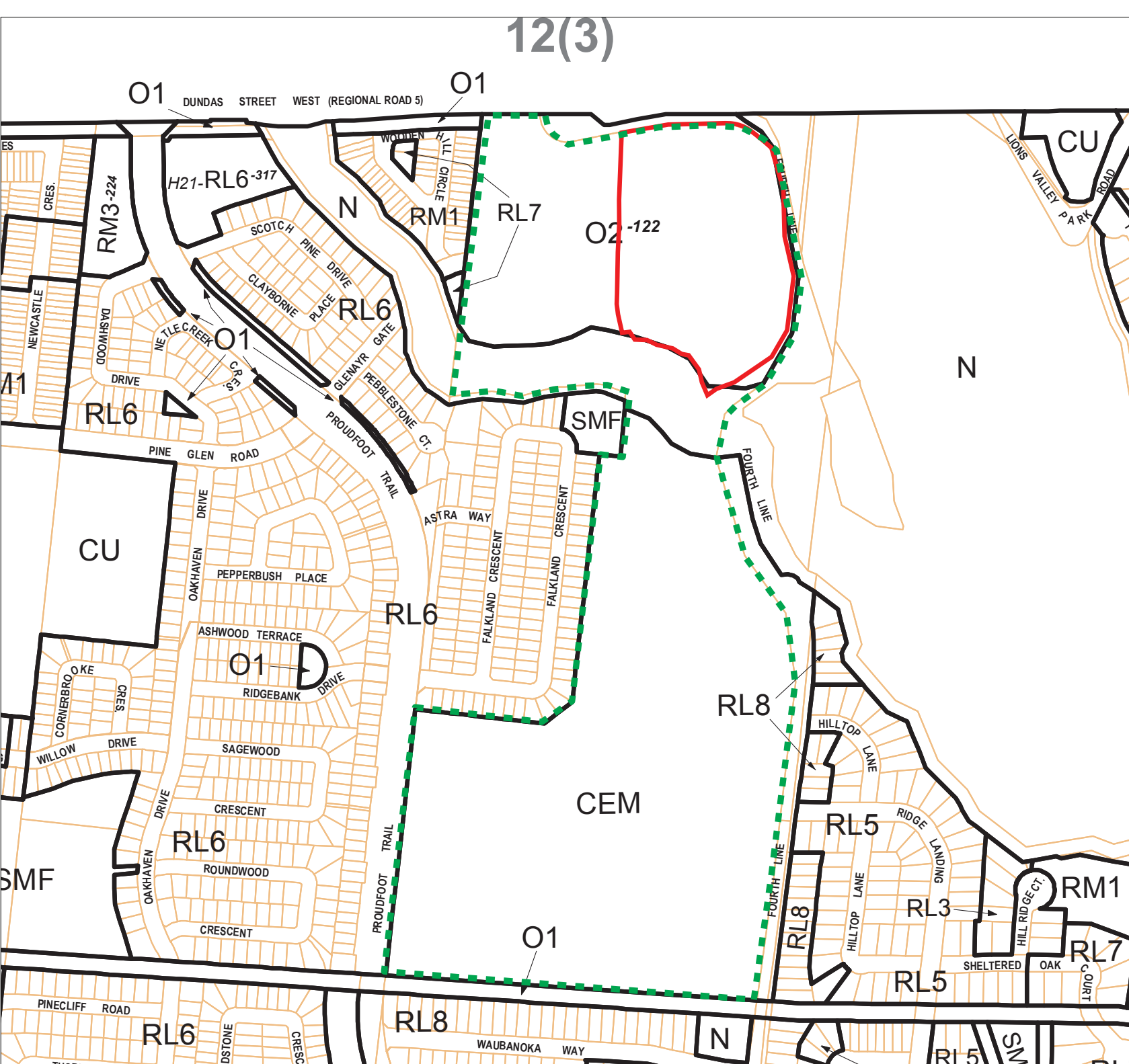
Figure 6

Oakville Zoning By-law 2014-014
Map 19(20)

1280 Dundas Street West
Oakville, Ontario

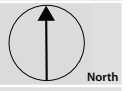
Legend

- SUBJECT LANDS
- St. Volodymyr's Landholdings



DATE: July 31, 2020

SCALE: N.T.S.




12(3)

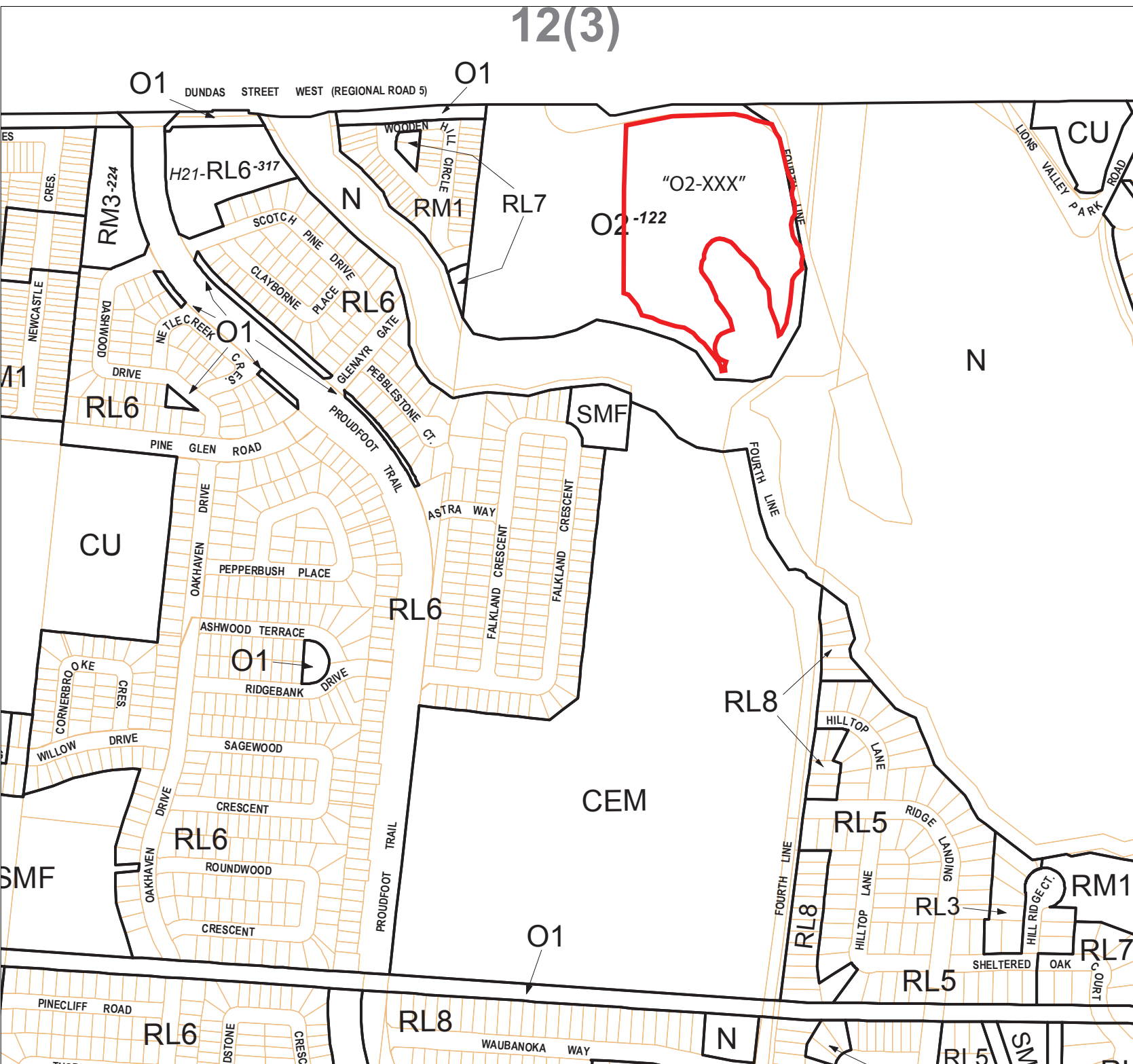
Figure 7

Zoning By-law Amendment Schedule

1280 Dundas Street West
Oakville, Ontario

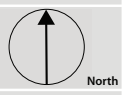
Legend

 SUBJECT LANDS



DATE: July 31, 2020

SCALE: N.T.S.



3.4 Transportation and Connectivity Review

LEA has prepared a Transportation Impact Analysis in support of the proposed development on the Subject Lands. The Town has requested a comprehensive review of: the surrounding road network including the potential improvements to the Fourth Line Road allowance and its intersection with Dundas Road West, potential improvements to and/or the necessitate to re-locate the north-south leg of the Fourth Line road allowance that provides access to the existing “heritage house” given its proximity within the stable top-of-bank of Sixteen Mile Creek, and the potential extension of Glenayr Gate.

Regarding the consideration of improvements to the signalized 3-leg intersection of Fourth Line and Dundas Street, the Transportation Impact Analysis states that under future background conditions, the intersection of Fourth Line and Dundas Street West is expected to continue operating well with an overall level of service (LOS) of ‘B’ during peak hours and therefore no upgrades are required. LEA has also advised that a future 4th leg running north is anticipated with the future Mattamy development, however, no improvements are warranted based on the design obtained for Mattamy development and therefore, no improvements to this intersection are recommended.

Regarding the consideration of improvements to Fourth Line including the potential to re-locate the north-south leg, it has been determined that small portions of the north-south leg of Fourth Line are within the long-term stable Top of Slope per the Updated Slope Stability Study prepared by B.I.G. Consulting Inc. dated December 5, 2019. This portion of the Fourth Line only serves the heritage house and potential trail users who park their cars at the cul-de-sac and walk the trail. This is an existing background condition that is not being affected by the proposed development. LEA has advised that improvements and relocation would only be required if the north-south leg of Fourth Line was anticipated to carry a substantial increase in traffic load. The proposed development will not generate significant traffic in this area. Therefore, the relocation of Fourth Line in this area is not warranted.

LEA has prepared and assessed two possible options for the extension of Glenayr Gate from its current termination just west of St. Volodymyr Property. After consulting with the St. Volodymyr's Board, it has been confirmed that St. Volodymyr currently does not have any development plans for their remaining lands. As such, these two options were developed to present two possible options if St. Volodymyr were to develop in the future and are for illustrative purposes only. Neither option has any official standing or direction from the Board of St. Volodymyr's at this time, and are being presented only in response to a request from Town staff. The first option consists of a cul-de-sac that terminates on the St. Volodymyr property and the second option consists of a connection to Fourth Line through the St. Volodymyr property.

3.4.1 Road Network Option 1

The first option (**Figure 8**) provides a suitable terminus to Glenayr Gate as per Town of Oakville Standard Standard 7-6. The design satisfies the minimum road allowance of 20 metres, minimum pavement width of 8.5 metres and island radius of 7.25 metres. The provision of a cul-de-sac will allow for the safe termination of Glenayr Gate and the traffic operations of the study area identified will not be impacted.

3.4.2 Road Network Option 2

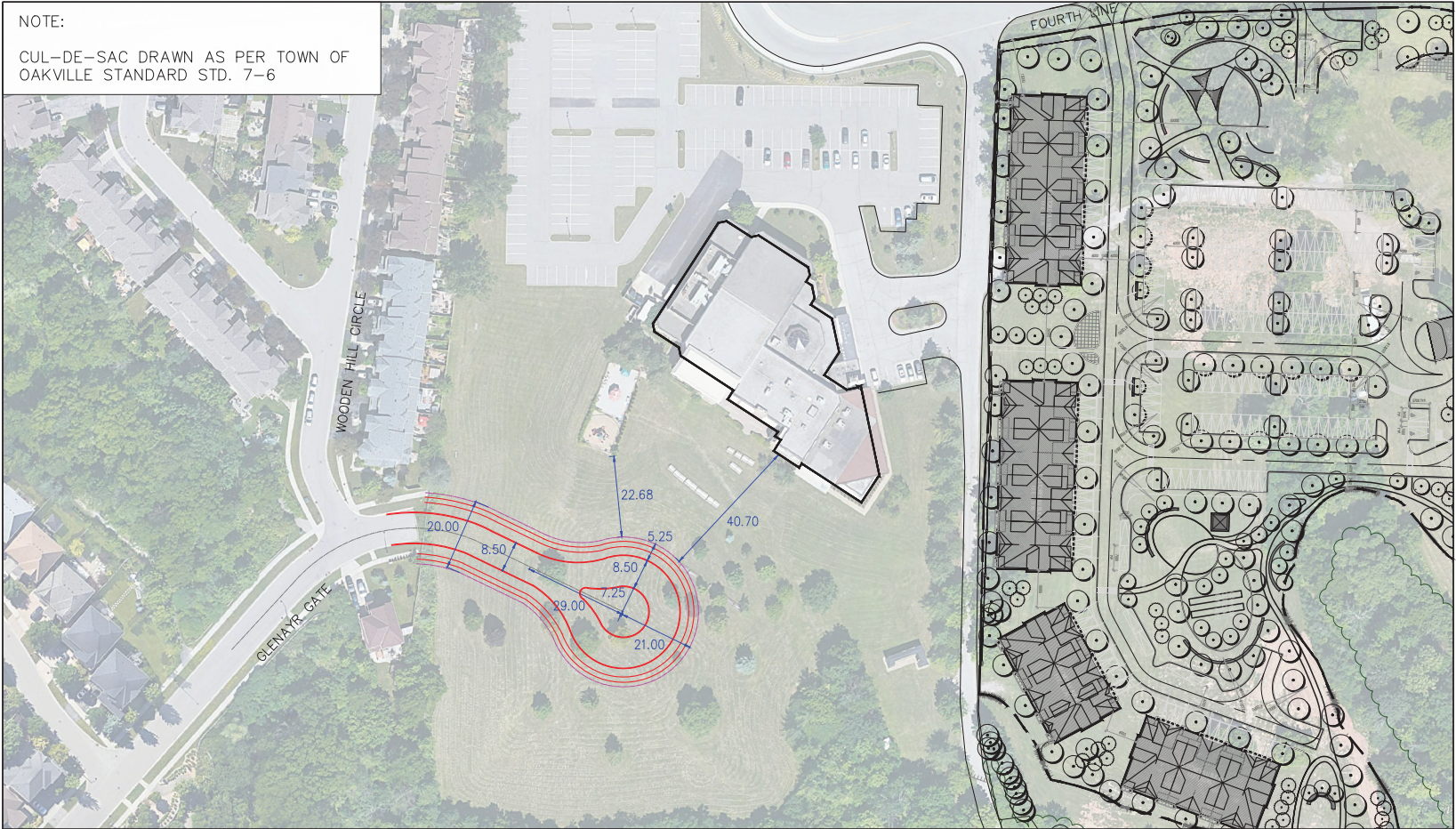
The second option (**Figure 9** and **Figure 10**) consists of an extension of Glenayr Gate to Fourth Line through the St. Volodymyr property ensuring that there is sufficient space maintained for the existing St. Volodymyr Centre building. The roadway alignment has been designed to be consistent with TAC and Town of Oakville

Figure 8

Road Network Option 1

1280 Dundas Street West
Oakville, Ontario

Legend



NOTE:
 CUL-DE-SAC DRAWN AS PER TOWN OF
 OAKVILLE STANDARD STD. 7-6

LEA Consulting Ltd. Consulting Engineers and Planners www.LEA.ca			Project No.	1280 DUNDAS STREET W	Drawing No. 001
			20253	OAKVILLE ONTARIO	
		Date		OPTION 1 PROPOSED CUL-DE-SAC	
		AUG. 27, 2020		1:1000	

DRAWING NAME: C:\Users\DTat\appdata\local\temp\AcPublish_25720\20253\F008B - Cul De Sac.dwg

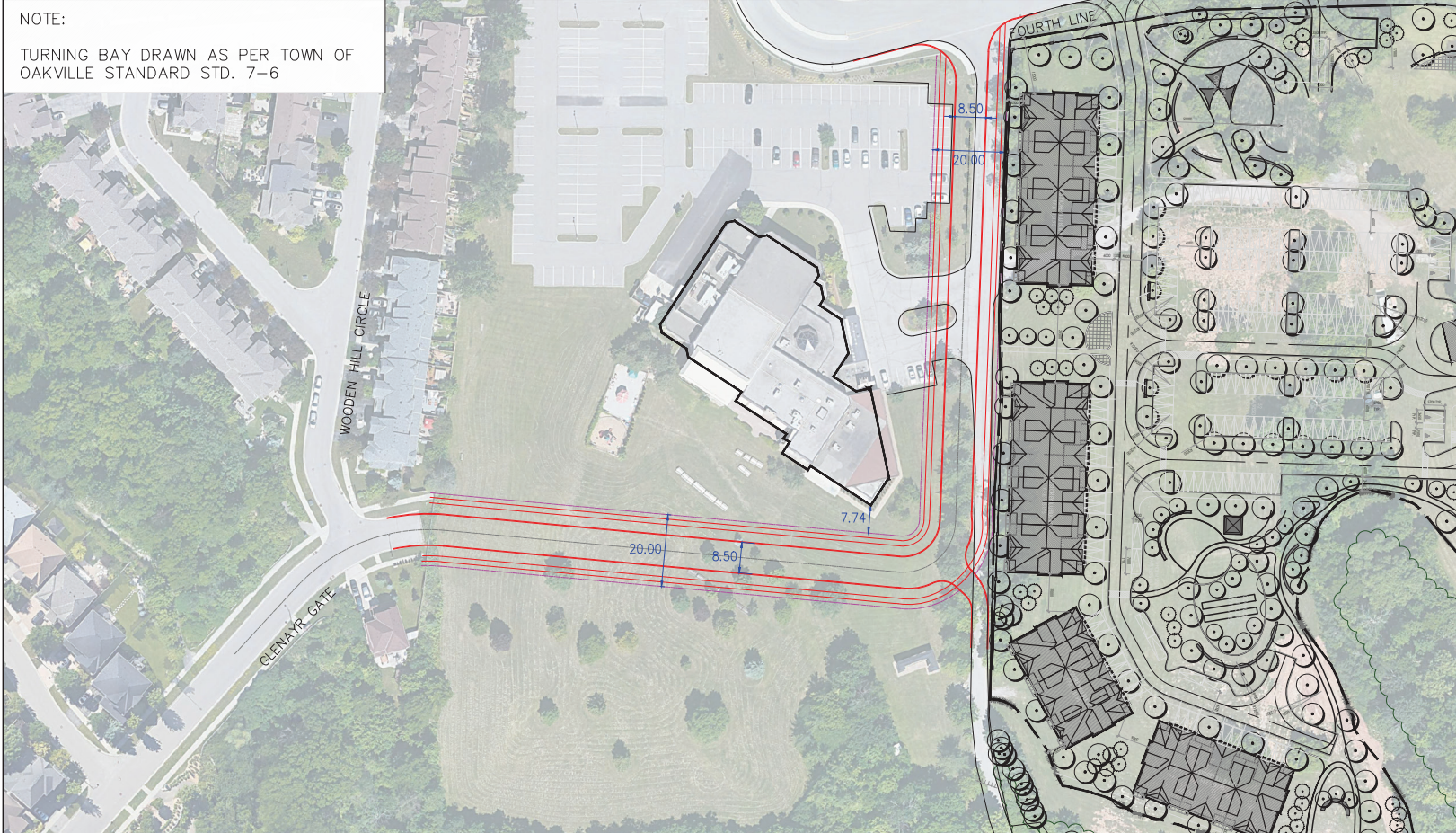
DATE: July 31, 2020	North
SCALE: N.T.S	

**PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE**
 442 Brant Street, Suite 204 | Burlington | ON | L7R 2G4
 T 905 639 8686 | F 905 761 5589 | www.mhbcplan.com

Figure 9
Road Network Option 2-1

1280 Dundas Street West
Oakville, Ontario

Legend



NOTE:
TURNING BAY DRAWN AS PER TOWN OF
OAKVILLE STANDARD STD. 7-6

LEA Consulting Ltd. Consulting Engineers and Planners www.LEA.ca			Project No.	1280 DUNDAS STREET W	Drawing No.
			20253	OAKVILLE ONTARIO	
			 1:1000		
			OPTION 2 PROPOSED ROAD		002

DRAWING NAME: C:\Users\jdt\appdata\local\temp\AcPublish_25720\2025\WF0088 - Cul De Sac.dwg

DATE: July 31, 2020

SCALE: N.T.S

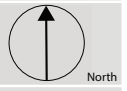
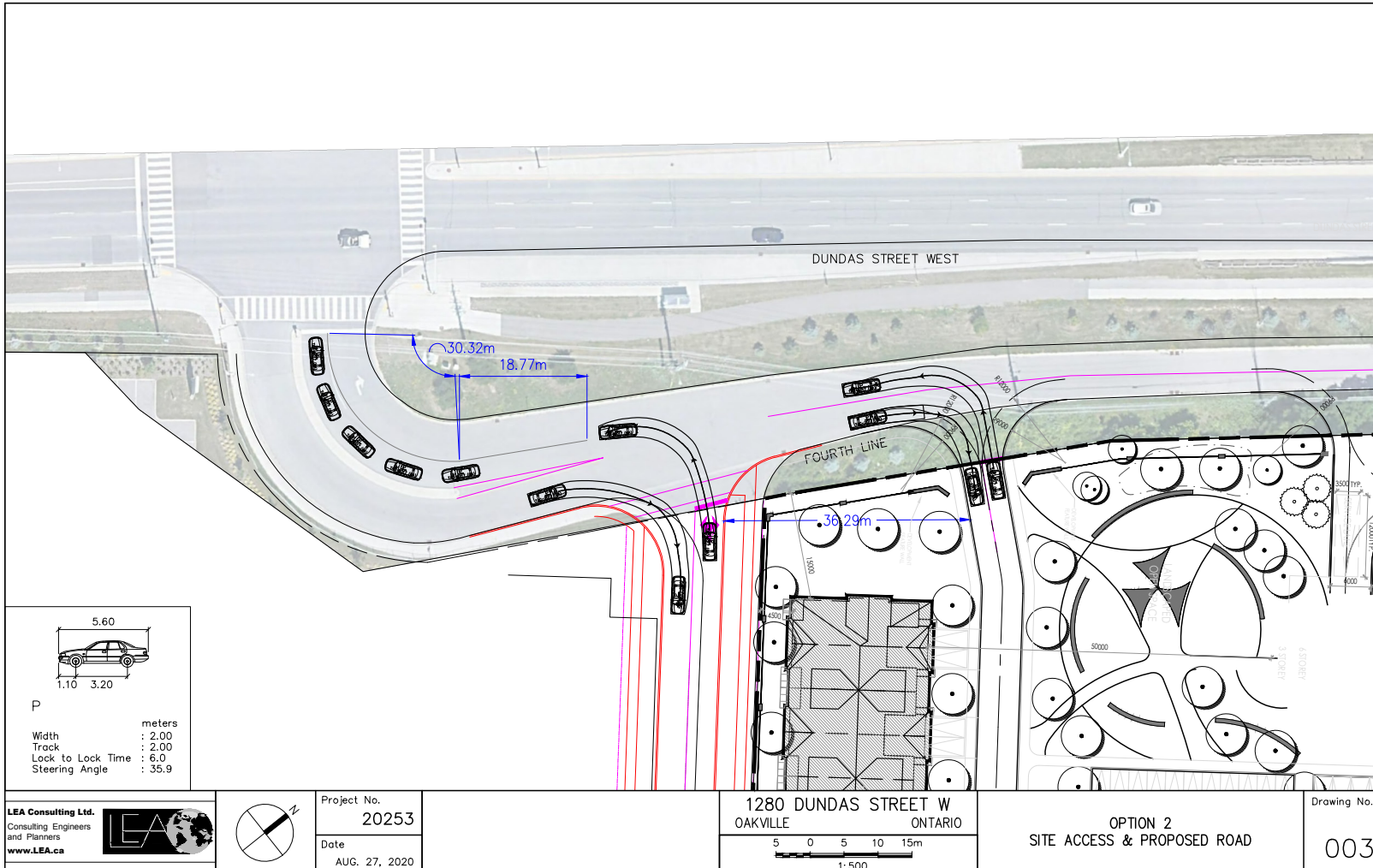


Figure 10
Road Network Option 2-2

1280 Dundas Street West
Oakville, Ontario

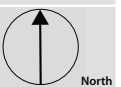
Legend



DRAWING NAME: C:\Users\DTot\appdata\local\temp\AcPublish_25720\20253\F008B - Cul De Sac.dwg

DATE: July 31, 2020

SCALE: N.T.S



Standard Standard 7-6 with a 20 metre right-of-way. This conceptual road connection could extend Glenayr Gate to Fourth Line via the approximate location of the existing driveway to St. Volodymyr Cemetery. The distance between the potential three-legged intersection and the development's proposed site driveway exceeds the recommended minimum corner clearance of 15 metres set out in TAC Geometric Design Guide for Canadian Roads Chapter 8 – Access by providing a 36.29 metre separation.

To further reinforce that the intersection spacing between the proposed development and the potential roadway is acceptable, it is important to note Fourth Line terminates 470 metres to the east and south. Since the lands to the south and east of the Subject Lands are environmentally constrained, there is no potential for additional development, hence, through traffic along Fourth Line will be limited and typical issues with through traffic impacts associated with a closely spaced intersection is not of concern in this situation.

Furthermore, it is understood that the spacing of intersections has a significant impact on overall traffic operation, level of service and vehicular capacity of nearby signalized intersections. To ensure that the conceptual road location will not affect Dundas Street, under future total conditions, the maximum 95th percentile queue length was observed to be 29.7 metres during the PM peak hour. Accordingly, as demonstrated in Figure 8, the potential three-legged intersection will provide 49.09 m of queue storage, hence, this road layout option is acceptable.

Overall, both options provide acceptable potential future extensions of Glenayr Gate. As mentioned above, the proposed development does not preclude the extension of Glenayr Gate to Fourth Line both from a geometric design or traffic operation point of view.

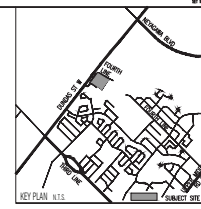
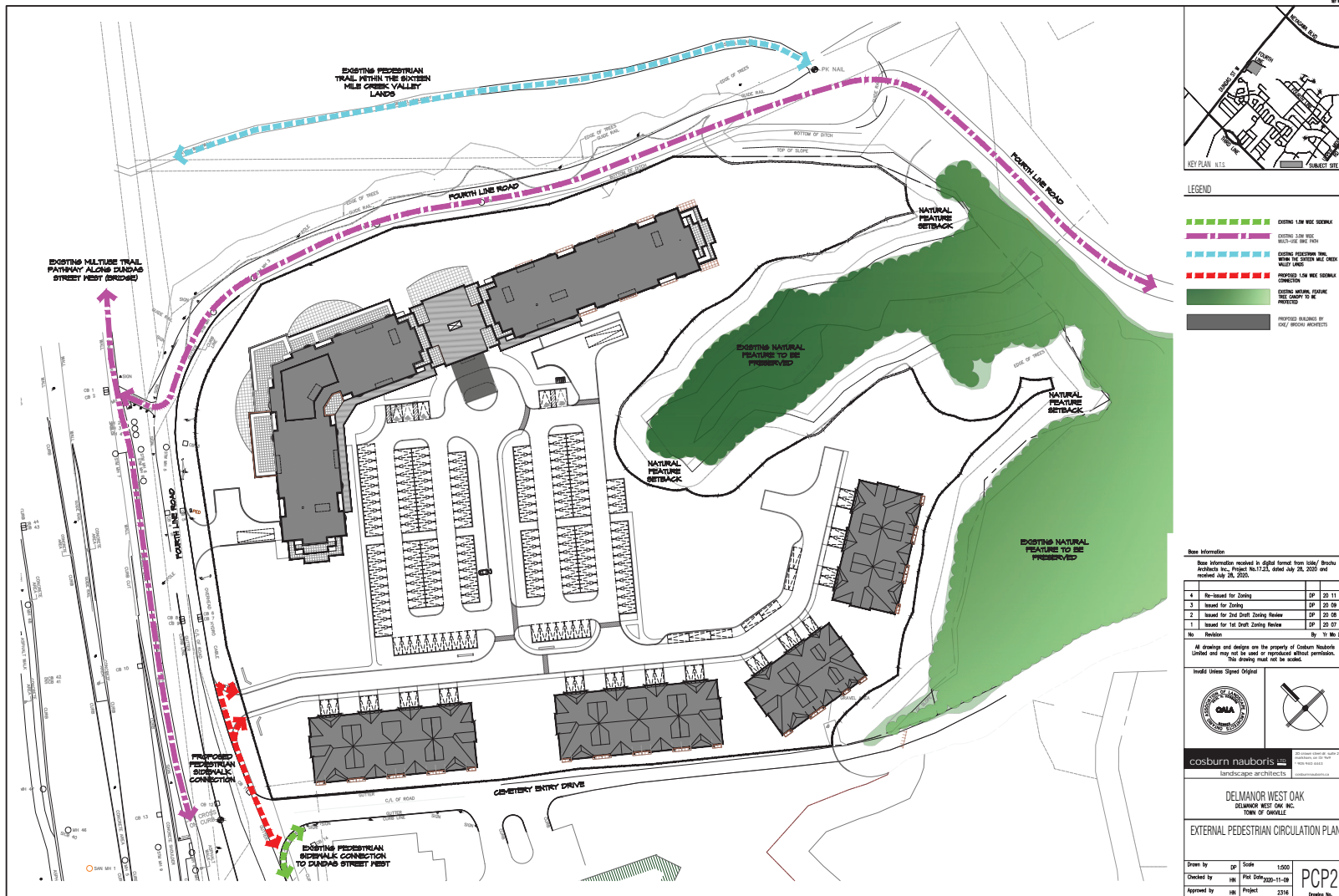
3.4.3 Pedestrian Circulation Plan

A Pedestrian Circulation Plan (**Figure 11**) has been prepared by Cosburn Nauboris Ltd. and demonstrates that pedestrians within the seniors community have many options to connect to the surrounding active transportation network as previously identified in Figure 5 including the Multi-Use Trail along Dundas Street to the north and the Signed Bike Route along Fourth Line to the north and east which runs along the entire eastern limits of the St. Volodymyr Landholdings. There are Town Trails located to the west of the St. Volodymyr's Landholdings, east and west of Glenayr Gate adjacent to the Natural Area corridor and also a Town Trail immediately south of the St. Volodymyr Cemetery lands. Proudfoot Trail to the west of St. Volodymyr's Landholdings has Bike Lanes that run in both a north and south direction. Given the environmental constraints on the property it is not desirable to have another east-west connection and rather pedestrians from the site will access Fourth Line and Dundas Street to access the broader active transportation network.

Figure 11
Pedestrian Circulation Plan

1280 Dundas Street West
Oakville, Ontario

Legend



LEGEND

- EXISTING LOW WIDE SIDEWALK
- EXISTING LOW WIDE SIDEWALK (WITHIN THE SIXTEEN HILLS CREEK VALLEY LANDS)
- EXISTING PEDESTRIAN PATH WITHIN THE SIXTEEN HILLS CREEK VALLEY LANDS
- PROPOSED LOW WIDE SIDEWALK CONNECTION
- EXISTING NATURAL FEATURE TO BE PRESERVED
- PROPOSED BUILDING BY ONLY BROWN ARCHITECTS

Revisions
Base information received in digital format from lobby/Brush Architects Inc., Project No. 1723, dated July 26, 2020 and received July 26, 2020.

4	Re-submitted for Zoning	SP	20 11 08
3	Issued for Zoning	SP	20 09 17
2	Issued for 2nd Draft Zoning Review	SP	20 08 26
1	Issued for 1st Draft Zoning Review	SP	20 07 31

No. Revisions: 00 to 00/00
All drawings and designs are the property of Cosburn Nauboris Limited and may not be used or reproduced without permission. This drawing must not be copied.

Issued Green Signed Original

cosburn nauboris
landscape architects

DELMANOR WEST OAK
ELMWOOD WEST OAK, INC.
TOWN OF OAKVILLE

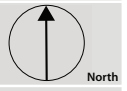
EXTERNAL PEDESTRIAN CIRCULATION PLAN

Drawn by	gp	Scale	1:500
Checked by	hk	Plot Date	2020-11-09
Approved by	hk	Project	2316

PCP2
Drawn by

DATE: July 31, 2020

SCALE: N.T.S.



3.5 Servicing Review

A Functional Servicing Report has been prepared by R.V. Anderson Associates Ltd. dated July 31, 2020 and concludes that the site can be serviced with respect to water, sanitary and storm as follows and as shown in **Figure 12**.

Water: A new municipal distribution main constructed along a portion of the Fourth Line frontage of the site and continuing westerly along the south side of Dundas Street West can provide the required domestic and fire service for the site. This new main will have terminating interconnections at the existing 1200 mm Regional transmission located on the north side of Dundas Street West opposite of the site and the existing 200 mm distribution watermain located on Wooden Hill Circle west of the site.

Sanitary: A new 200 mm municipal sanitary sewer constructed from the Site westerly along Dundas Street West and discharging into the existing 1200 mm sanitary trunk sewer at a location approximately 150 metres east of the Proudfoot Trail intersection, will provide sanitary servicing for the site. The resultant service connection to the site will be relatively shallow and as a result, sanitary drainage from within the Site will drain by gravity to a private pumping station with a force main that discharges to a control manhole and service connection located near the Fourth Line property line.

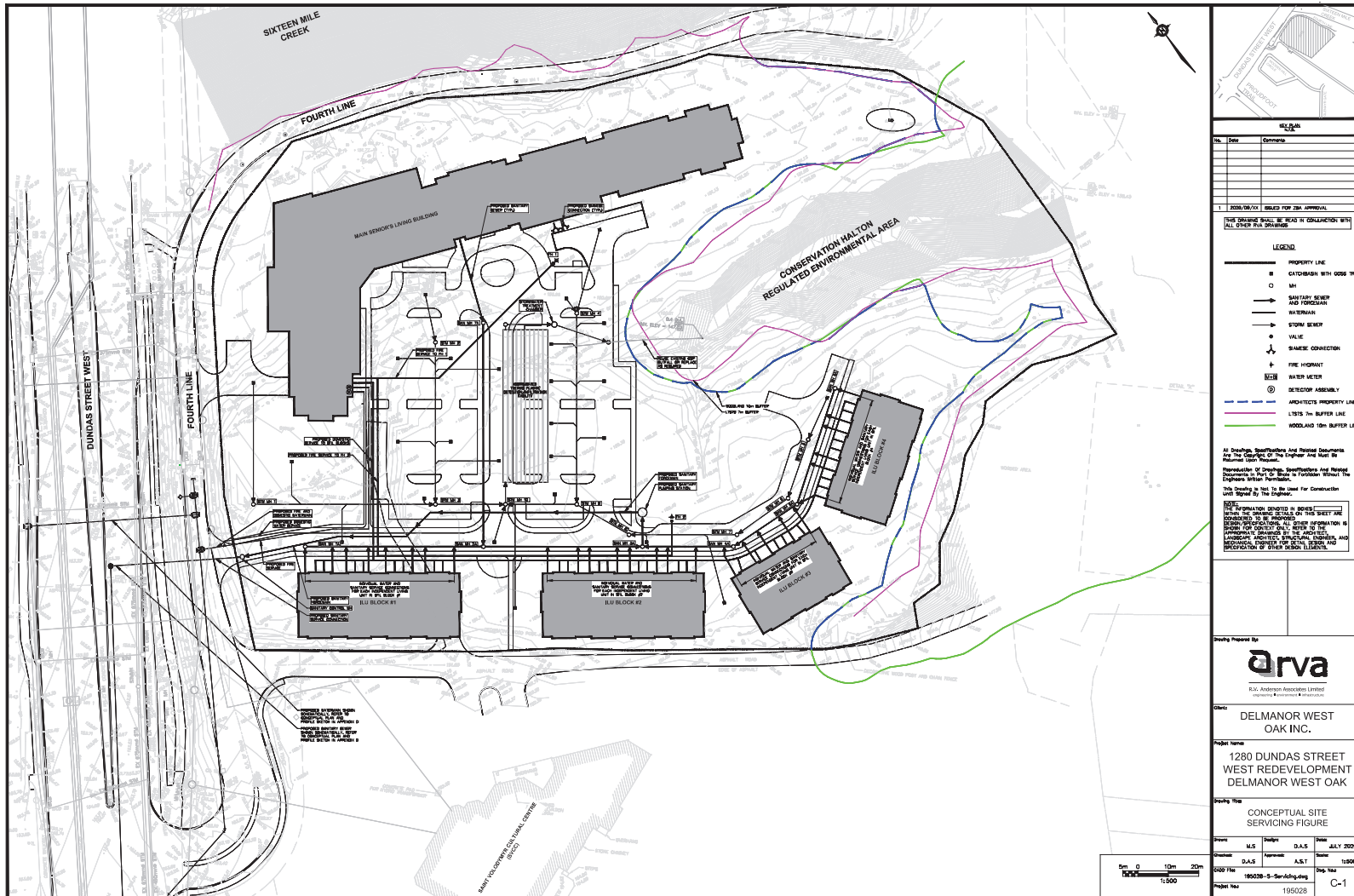
Storm: The existing site generally drains to the south into a defined environmental feature which is also a drainage draw. Adjacent storm sewers on Dundas Street West and Fourth Line do not have capacity to accept drainage from the site nor are they at sufficient depth to provide adequate storm drainage for the site. It is proposed to reuse or reconstruct an existing outlet pipe into the drainage draw. To mitigate the impacts of the development, a stormwater management plan will be developed to provide discharge rate control, erosion control, water balance and quality control for discharge from the developed site. Prior to detailed design, criteria and target parameters for these measures will be determined through consultation with Conservation Halton.

The proposed development on the Subject Lands can be adequately serviced and does not hinder the extension of municipal services to service the remainder of the St. Volodymyr's Landholdings should St. Volodymyr choose to develop.

Figure 12
Site Servicing Plan

1280 Dundas Street West
Oakville, Ontario

Legend



DATE: July 31, 2020

SCALE: N.T.S.



3.6 Environmental Review

An Environmental Impact Study has been prepared by SLR dated September 2020 to address the presence of natural heritage and physical features (Natural Areas) within and adjacent to the Subject Land. The EIS has been prepared in consultation with the Town of Oakville, Conservation Halton and in accordance with the CH Environmental Impact Study Guidelines (2005).

The adjacent treed Sixteen Mile Creek valley and its tributary are located to the east, outside the limits of the Subject Lands, with the Subject Lands including a minor valley draw feature and its associated woodland in the centre of the Site, a remnant agricultural pond, and sporadically occurring mature tableland trees, maintained for aesthetic purposes.

3.6.1 Constraints and Identification of Buffers and or Vegetation Protection Zones

Policy 16.1 of the Town's OP provides the permitted uses and protection direction for land development applications positioned within or adjacent to Natural Areas. Schedule B of the Town's OP identifies the Sixteen Mile Creek valley as an Area of Natural and Scientific Interest (ANSI) and an Environmental Sensitive Area (ESA). This valley together with the tributary valley forming the east and southeast boundary of the Site and a portion of the internal minor valley draw feature are also identified as Valleylands and Floodplain on Schedule B and their treed portions are identified as Woodlands.

The site investigations and data analysis completed in support of the Environmental Impact Study together with the feature staking exercise in March 2018 have further refined the position and extent of these Natural Areas and identified Significant Wildlife Habitat (SWH) and Natural Corridors within the adjacent larger valley systems. Appropriate setbacks/buffers have been adopted as demonstrated in the Environmental Impact Study.

3.6.2 Impact Assessment and Mitigation

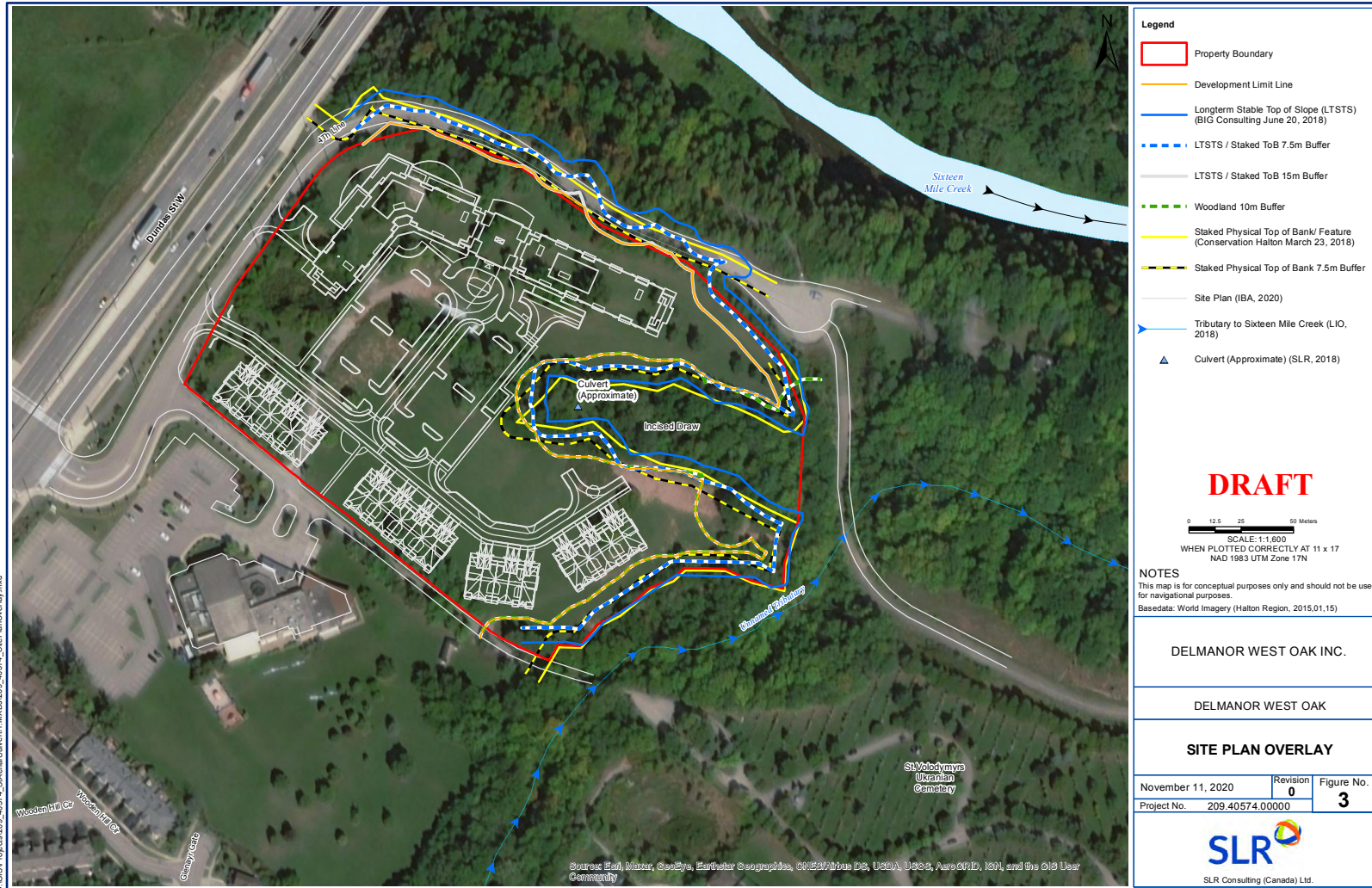
The site plan was overlaid on mapping of existing conditions and policy constraints to illustrate the strong degree of alignment and conformity with the Town's Natural Area protection policies (OP Section 16.1) and to identify minor refinements and adjustments to established setbacks and buffers (**Figure 13**).

Due to the local topography and challenges created by the configuration and position of the Woodlot and associated Valleyland within the Site, minor adjustments to staked feature boundary and the established setbacks and buffers are required along the southern boundary of the internal draw feature. Here, minor adjustments to the staked feature were made to align with the long-term stable top of slope (LTSTS) and its 7.5 metre set-back. To off-set for this reduction in feature size and buffer area, an additional buffer area will be added to the woodland buffer in the southeast corner of the Site against the boundary of the Sixteen Mile Creek tributary. Adding buffer width against the woodland tributary is supported ecologically as this feature contains an aquatic tributary and functions as a Natural Corridor within the Sixteen Mile watershed. This additional buffer area will be enhanced with vegetation plantings in the same manner as other Natural Area buffers to increase the size of the natural heritage system and protect the existing woodland edge.

Figure 13
 Environmental Limits and Site
 Plan Overlay

1280 Dundas Street West
 Oakville, Ontario

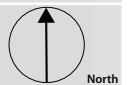
Legend



D:\GIS\Projects\209_40574_SilverCulvert_1MX\209_40574_SitePlanOverlay.mxd

DATE: July 31, 2020

SCALE: N.T.S



No development or site alteration is proposed within the Natural Areas and their boundaries have been refined based on field and empirical studies. Appropriate setbacks and buffers have been applied to all Natural Areas and it has been demonstrated through the EIS that no negative impacts to these features or their ecological functions will occur. Amenity areas will be sited adjacent to much of the Natural Areas on and adjacent to the Site. Adjustment to one Major Valleyland setback width is proposed, however, an effective buffer is still provided due to other overlapping constraints and approaches 15 metres in many locations including adjacent to proposed surface parking lot.

The limits of the Woodland and Valleyland within the Subject Lands will remain zoned as Private Open Space (with no site-specific exception allowing for development) and the Natural Area to the south of the Subject Lands within the St. Volodymyr's Landholdings as identified in the EIS will maintain the Natural Area zoning to ensure its long term protection.

The analysis of the natural heritage features and functions associated with the Subject Lands and on adjacent lands confirm the proposed use of the Subject Lands as provided in the Zoning By-law Amendment application and the conceptual Site Plan can proceed in conformity/compliance within the applicable regulatory and policy framework as demonstrated in the EIS. This will be achieved by respecting the recommended development limits, including the established setbacks and buffers adjacent to the top of bank and valley woodland edge, improving stormwater quality run-off and providing naturalization and ecological enhancements within the buffers.

4.0 SUMMARY & CONCLUSIONS

The proposed development has been considered from a land use, zoning, transportation and connectivity, servicing and environmental perspective and it is concluded that the proposal can operate independent to the remainder of the lands and will not cause any impacts on the potential future development of the lands due to the following:

- The proposal does not require any modifications to the current land uses and policies in the Official Plan and therefore, the current designations on the St. Volodymyr's Landholdings and Subject Lands will remain the same;
- The proposal also does not require any modifications to the current zoning categories in the Zoning By-law, rather, the proposed Zoning By-law Amendment will add a site-specific permission for senior citizen's housing on the Subject Lands with the remainder of the St. Volodymyr's Landholdings maintaining their current zoning;
- From a transportation perspective, there are two potential options that have been prepared that would satisfactorily address the extension of Glenayr Gate. Both options are feasible from a transportation perspective and could result in the extension of the public right of way either to a cul-de-sac or to Fourth Line. Both options allow for the continued operation of the St. Volodymyr Centre and do not pose any impacts to their operations or to the proposed Delmanor development;
- The proposed Delmanor development will not preclude a future road network on the remainder of the St. Volodymyr's Landholdings;
- From a pedestrian circulation perspective, the proposed development provides connectivity to Fourth Line and Dundas Street;
- From a servicing perspective, the proposed development of the Subject Lands does not hinder the extension of municipal services to service the remainder of the St. Volodymyr's Landholdings should St. Volodymyr choose to develop; and,
- From an environmental perspective, appropriate buffers are implemented to the natural features on and within proximity to the Subject Lands. The proposed Zoning By-law Amendment will continue to identify the limits of the Woodland and Valleyland corridor as Private Open Space with no special provision to ensure no development and will also identify the limits of the Natural Area along the southern limit of the Subject Lands.

Respectfully submitted,

MHBC



Oz Kemal, BES, MCIP, RPP
Partner



Melinda MacRory, M.Pl. MCIP, RPP
Planner

References

References

B.I.G. Consulting Inc. December, 2019. Updated Slope Stability Study.

LEA. August, 2020. Transportation Impact Analysis.

R.V. Anderson Associated Ltd. July 31, 2020. Functional Servicing Report.

SLR. September, 2020. Environmental Impact Study.