

**DRAFT PLAN OF STANDARD CONDOMINIUM OF  
PART OF BLOCK 146  
PLAN 20M-1229  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON**

SCALE 1:250  
10m 5m 0 10m 20 metres

R-PE SURVEYING LTD., O.L.S.

**METRIC**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- UP DENOTES STEPS UP
- DN DENOTES STEPS DOWN
- E.C. DENOTES ELECTRICAL CLOSET
- F.H.C. DENOTES FIREHOSE CABINET
- G.C. DENOTES GARBAGE CHUTE
- EVC DENOTES ELECTRIC VEHICLE CHARGING STATION
- V DENOTES VISITOR PARKING
- H/C DENOTES HANDICAP
- U/G DENOTES UNDERGROUND PARKING GARAGE
- P DENOTES PATIO
- B DENOTES BALCONY
- T DENOTES TERRACE
- JB DENOTES JULIET BALCONY
- SCP DENOTES SPECIFIED CONTROL POINTS
- C.A.C.F. DENOTES CENTRAL ALARM AND CONTROL FACILITY
- M.U.A. DENOTES MAKE-UP AIR SHAFT
- E.S. DENOTES ELECTRICAL SHAFT
- P.C. DENOTES PIPE CHASE
- J.C. DENOTES JANITOR CLOSET
- VEST. DENOTES VESTIBULE
- ST DENOTES STORAGE
- COMM. DENOTES COMMUNICATIONS

ALL AREA MEASUREMENTS ARE COMPUTER GENERATED.  
ALL LAND USE DATA ARE OBTAINED FROM SITE PLAN PROVIDED BY KNYMH INC., RECEIVED ON JANUARY 16, 2026.

**INTEGRATION NOTE**

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS (A) AND (B) USING CANNET REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS:CBNV6:2010.0).  
COORDINATES ARE UTM ZONE 17, NAD83 (CSRS:CBNV6:2010.0), TO URBAN ACCURACY PER SEC. 14 (2) OF OREG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT	NORTHING	EASTING
ORP (A)	4817699.33	604810.65
ORP (B)	4817614.95	604772.89
RTN 20120110009	4801633.53	597944.44

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999707.

**ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51 (17) OF THE PLANNING ACT**

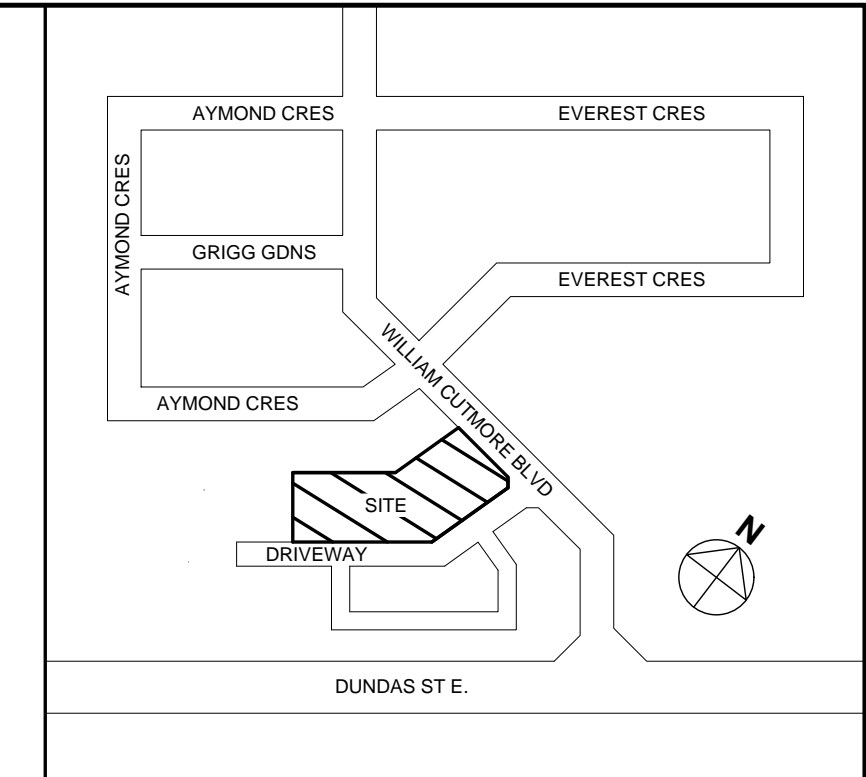
- (b) SEE PLAN
- (c) SEE PLAN
- (d) RESIDENTIAL
- (e) SEE PLAN
- (f) SEE PLAN
- (g) SEE PLAN
- (h) PIPED WATER
- (i) SEE SOIL REPORT
- (j) SEE SITE AND GRADING PLAN
- (k) FULLY SERVICED
- (l) SEE PLAN

**LAND USE**

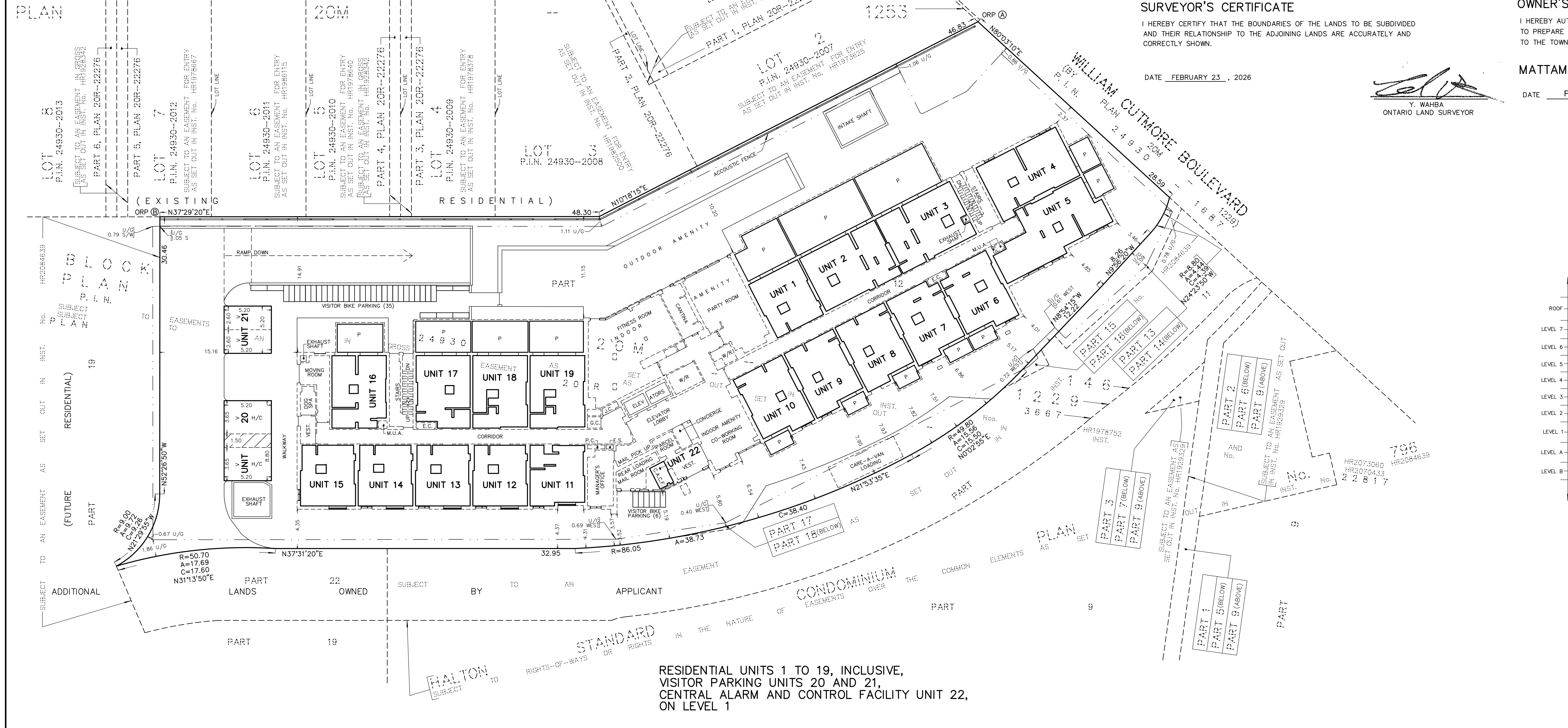
SITE AREA: 3984.68 SQ.M  
RESIDENTIAL UNITS: 163 UNITS  
PARKING PROVIDED: VISITORS:

ON SURFACE: 4 SPACES (INCLUDES 2 H/C SPACES)  
UNDERGROUND: 29 SPACES  
RESIDENTIAL: 133 SPACES (INCLUDES 6 H/C SPACES)  
2 TANDEM SPACES  
15 COMBINED PARKING/STORAGE SPACES  
2 COMBINED TANDEM PARKING/STORAGE SPACES  
TOTAL PROVIDED: 185 SPACES  
STORAGE: 70 SPACES (UNDERGROUND)  
15 COMBINED PARKING/STORAGE SPACES  
2 COMBINED TANDEM PARKING/STORAGE SPACES  
TOTAL PROVIDED: 87 STORAGE SPACES

SHEET 1 OF 3 SHEETS



**PLAN**



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO THE ADJOINING LANDS ARE ACCURATELY AND CORRECTLY SHOWN.

DATE FEBRUARY 23, 2026

*Y. WAHBA*  
Y. WAHBA  
ONTARIO LAND SURVEYOR

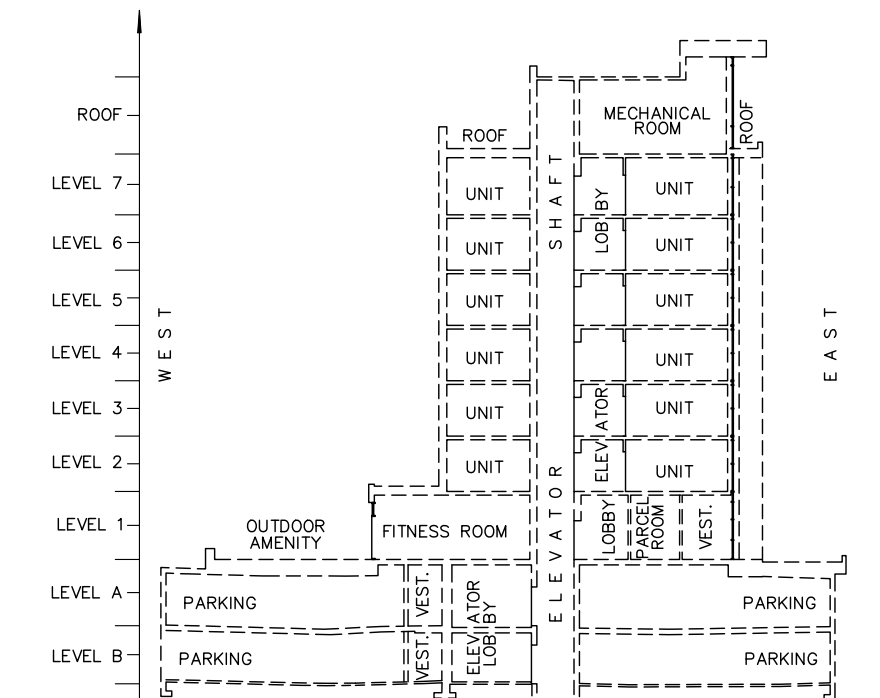
**OWNER'S CERTIFICATE**

I HEREBY AUTHORIZE R-PE SURVEYING LTD., O.L.S. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF STANDARD CONDOMINIUM TO THE TOWN OF OAKVILLE FOR APPROVAL

MATTAMY (JOSHUA CREEK) LIMITED

DATE February 27, 2026

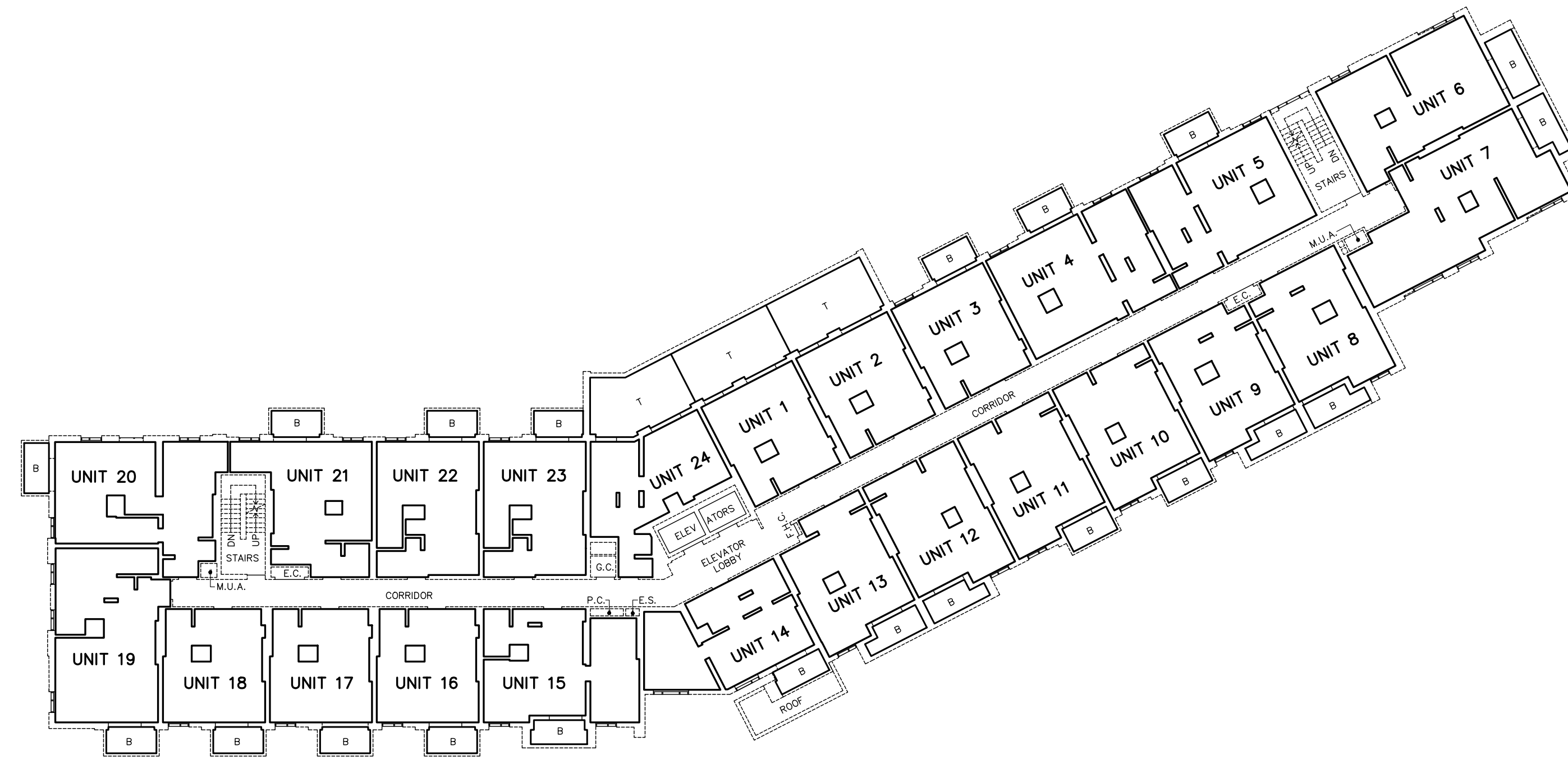
*Shane Cooney*  
SHANE COONEY  
AUTHORIZED SIGNING OFFICER  
I HAVE THE AUTHORITY TO BIND THE CORPORATION



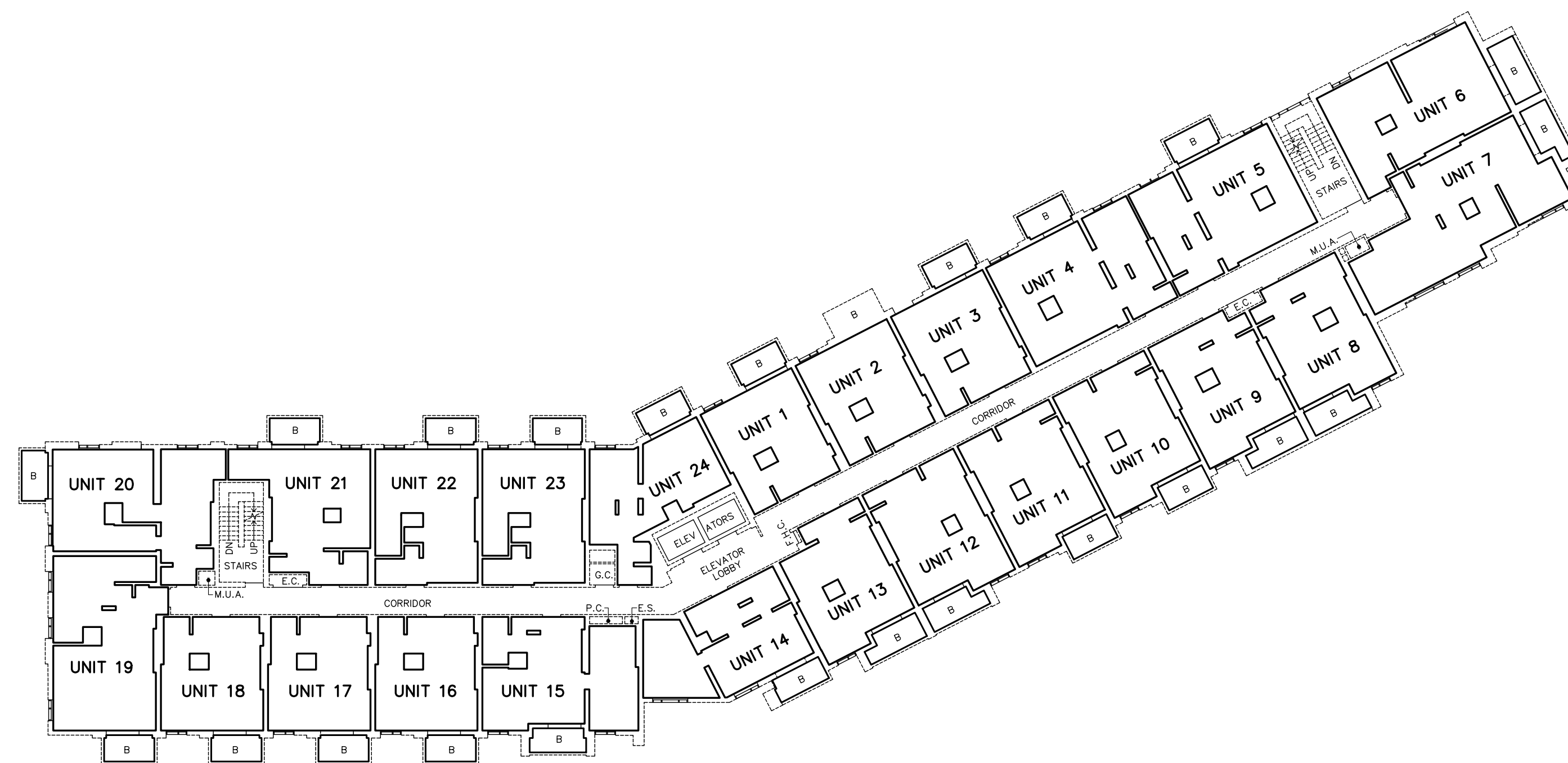
SECTION TO ILLUSTRATE THE VERTICAL RELATIONSHIP BETWEEN LEVELS (NOT TO SCALE)

RESIDENTIAL UNITS 1 TO 19, INCLUSIVE,  
VISITOR PARKING UNITS 20 AND 21,  
CENTRAL ALARM AND CONTROL FACILITY UNIT 22,  
ON LEVEL 1

**rpe R-PE SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
643 Chrised Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel.(416)635-5000 Fax (416)635-5001  
Tel.(905)264-0881 Fax (905)264-2099  
Website: www.r-pe.ca  
DRAWN: B.P. CHECKED: Y.W.  
JOB No. 23-012  
CAD FILE No.23-012-DRPL-1



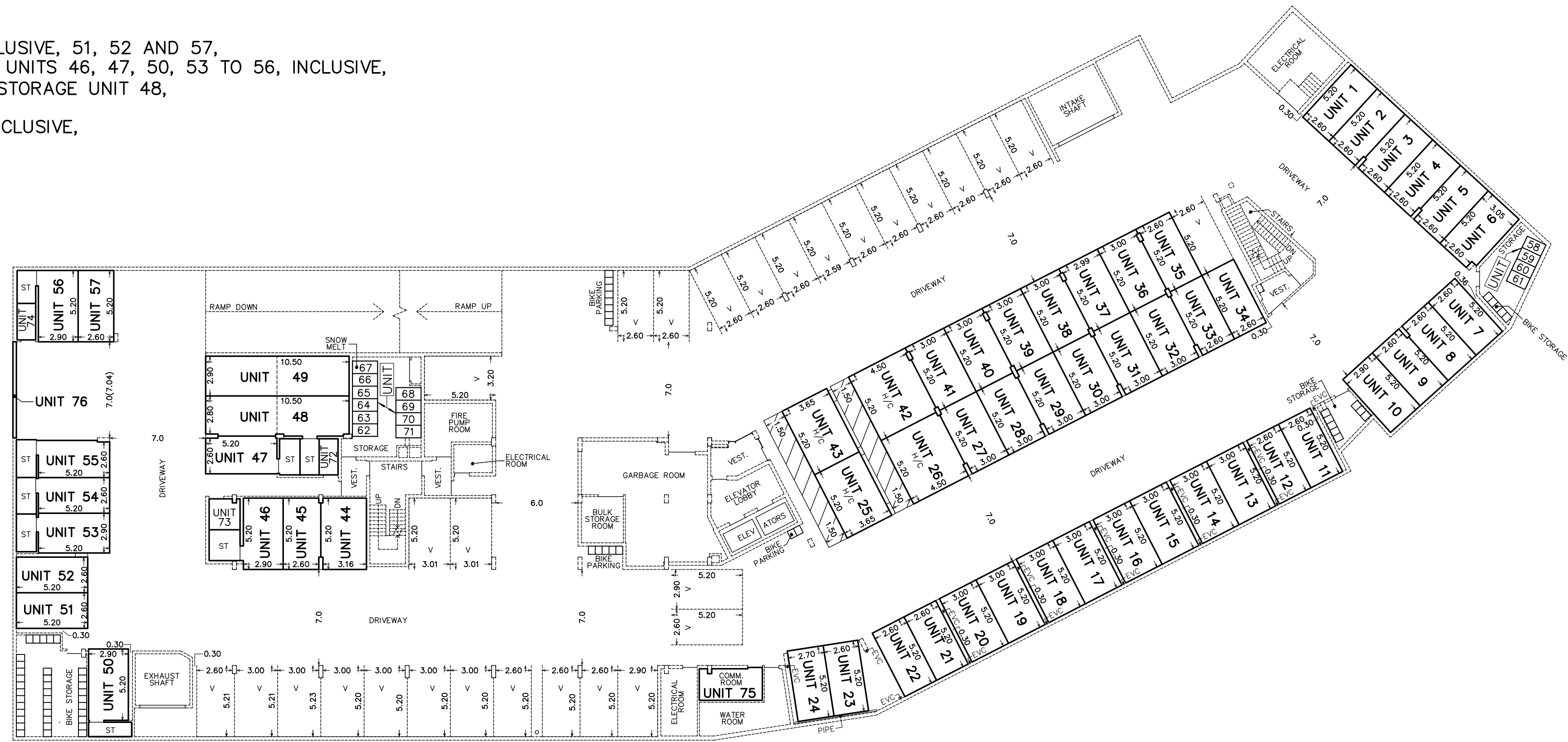
RESIDENTIAL UNITS 1 TO 24, INCLUSIVE,  
ON LEVEL 2



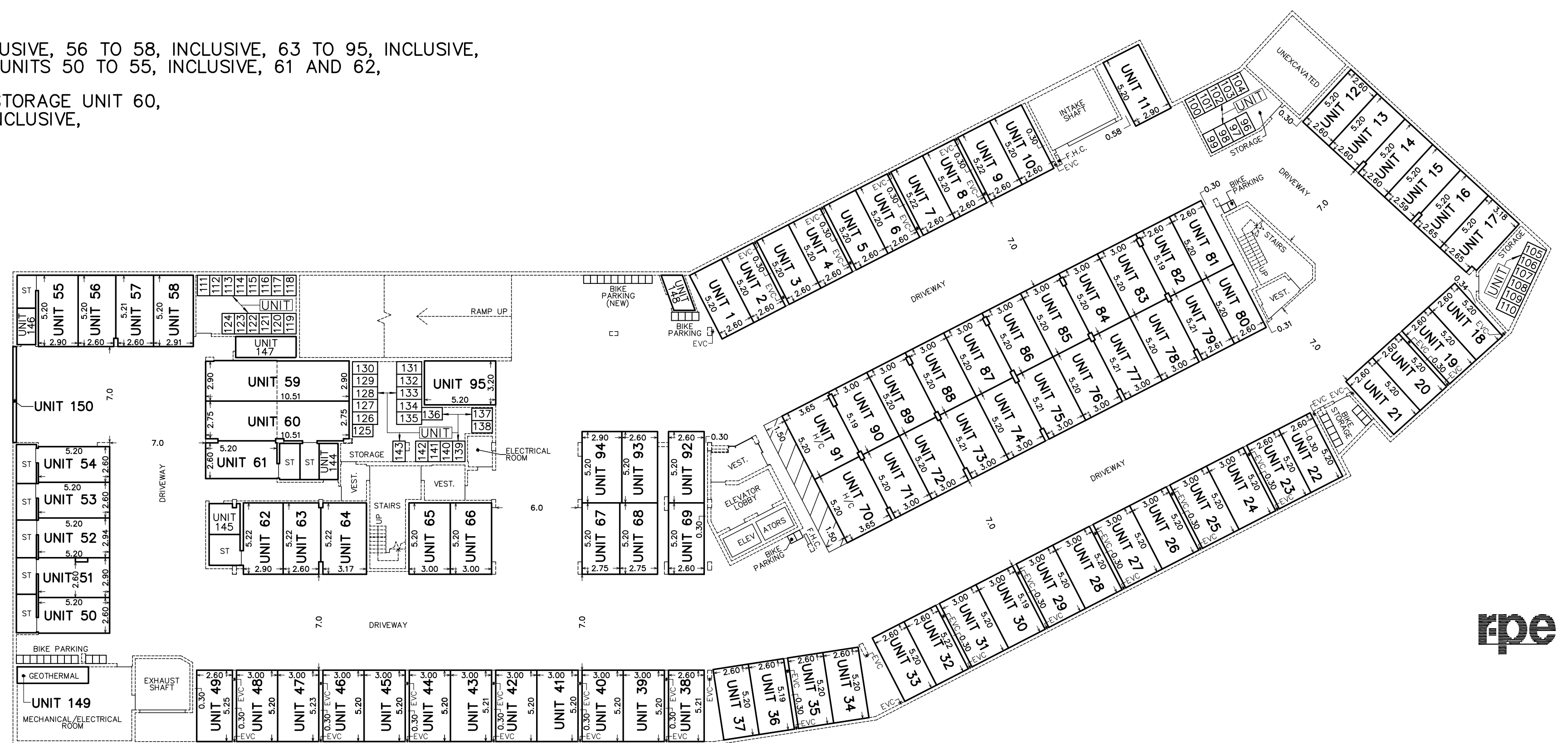
RESIDENTIAL UNITS 1 TO 24, INCLUSIVE,  
ON LEVELS 3 TO 7, INCLUSIVE

**rpe** R-PE SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel. (416) 635-5000 Fax (416) 635-5001  
Tel. (905) 264-0881 Fax (905) 264-2099  
Website: www.r-pe.ca  
DRAWN: B.P. CHECKED: Y.W.  
JOB No. 23-012  
CAD FILE No. 23-012-DRPL-2

PARKING UNITS 1 TO 45, INCLUSIVE, 51, 52 AND 57,  
COMBINED PARKING/STORAGE UNITS 46, 47, 50, 53 TO 56, INCLUSIVE,  
COMBINED TANDEM PARKING/STORAGE UNIT 48,  
TANDEM PARKING UNIT 49  
STORAGE UNITS 58 TO 74, INCLUSIVE,  
COMMUNICATIONS UNIT 75,  
KNOCK-OUT UNIT 76,  
ON LEVEL A



PARKING UNITS 1 TO 49, INCLUSIVE, 56 TO 58, INCLUSIVE, 63 TO 95, INCLUSIVE,  
COMBINED PARKING/STORAGE UNITS 50 TO 55, INCLUSIVE, 61 AND 62,  
TANDEM PARKING UNIT 59,  
COMBINED TANDEM PARKING/STORAGE UNIT 60,  
STORAGE UNITS 96 TO 148, INCLUSIVE,  
GEOTHERMAL UNIT 149,  
KNOCK-OUT UNIT 150,  
ON LEVEL B



**rpe** R-PE SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel: (416) 635-5000 Fax: (416) 635-5001  
Tel: (905) 264-0881 Fax: (905) 264-2099  
Website: www.r-pe.ca  
DRAWN: B.P. CHECKED: Y.W.  
JOB No. 23-012  
CAD FILE No. 23-012-DRPL-3