

SITE & BLDG. STATS

ZONING	H55-1p 121
OCCUPANCY	Public Elementary School Kindergarten - Grade 8
LOT AREA	(27.375m ²) 2.737 HECTARES 7.0 ACRES
GROSS FLOOR AREA	
GROUND FLOOR	3,261 sq.m.
SECOND FLOOR	2,933 sq.m.
THIRD FLOOR	3,787 sq.m.
TOTAL SCHOOL GFA	7,981 sq.m. (85,928 sq.ft.)
CHILD CARE	749 sq.m.
TOTAL BUILDING GFA	8,732 sq.m. (93,990 sq.ft.)
TOTAL BUILDING AREA (FOOTPRINT)	4,010 sq.m. (43,163 sq.ft.)

LEASABLE FLOOR AREA
(total area of all floors of a building within the outside walls, but does not include the area of walls, stair wells, elevators, escalators, ventilating shafts, areas attached enclosed and covered loading docks and related enclosed corridors used for loading purposes, parking garage, rooms for garbage containment, rooms for bicycle parking and mechanical rooms. (2022-02-07))

LEASABLE FLOOR AREA	
GROUND FLOOR	2,719 sq.m.
SECOND FLOOR	2,936 sq.m.
THIRD FLOOR	3,616 sq.m.
TOTAL SCHOOL LFA	6,931 sq.m. (74,605 sq.ft.)
CHILD CARE	656 sq.m.
TOTAL BUILDING LFA	7,587 sq.m. (81,665 sq.ft.)
TOTAL BUILDING LEASABLE FLOOR AREA (FOOTPRINT)	3,375 sq.m. (36,328 sq.ft.)

PARKING STATISTICS	MAX	MIN	PROVIDED
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2.6m x 5.2m min. size with 7.0m lanes

3 per classroom max., 1 per classroom min. incl. L&S & Gym (45 class @ 3 = 135 max.)			
Portable Classroom or Addition (3 per classroom max.) (1 per classroom min.) (15 portables @ 3 = 54 max.)	54	12	25 (18 class @ 1 = 18)
Daycare (656 sq.m.) 1.0 per 16.0 m ² net floor area min. (no maximum)	36	36	36

TOTAL PROVIDED	- (Lot 1 @ 35 + Lot 2 @ 116)	151
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BARRIER FREE SPACES (8 spaces for 161,200 (500 sq ft) included in above total count)			
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Bicycle Parking Spaces required at a rate of 4% of automobile parking spaces, as required by the By-law, and a rate of 1% of Bicycle Parking Spaces Visitor			70
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SNOW STORAGE (15% MINIMUM HARD SURFACE AREA)			
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HARD SURFACE AREA	= 4,788 m ²		
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MIN. SNOW STORAGE AREA	= 720 m ²		
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SNOW STORAGE AREA PROVIDED	= 758 m ²		
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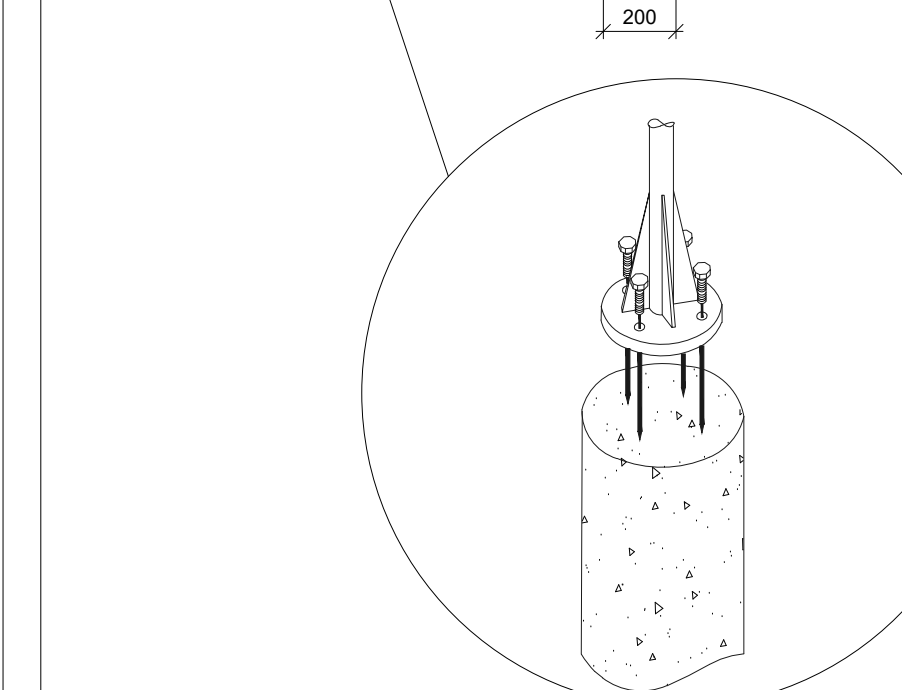
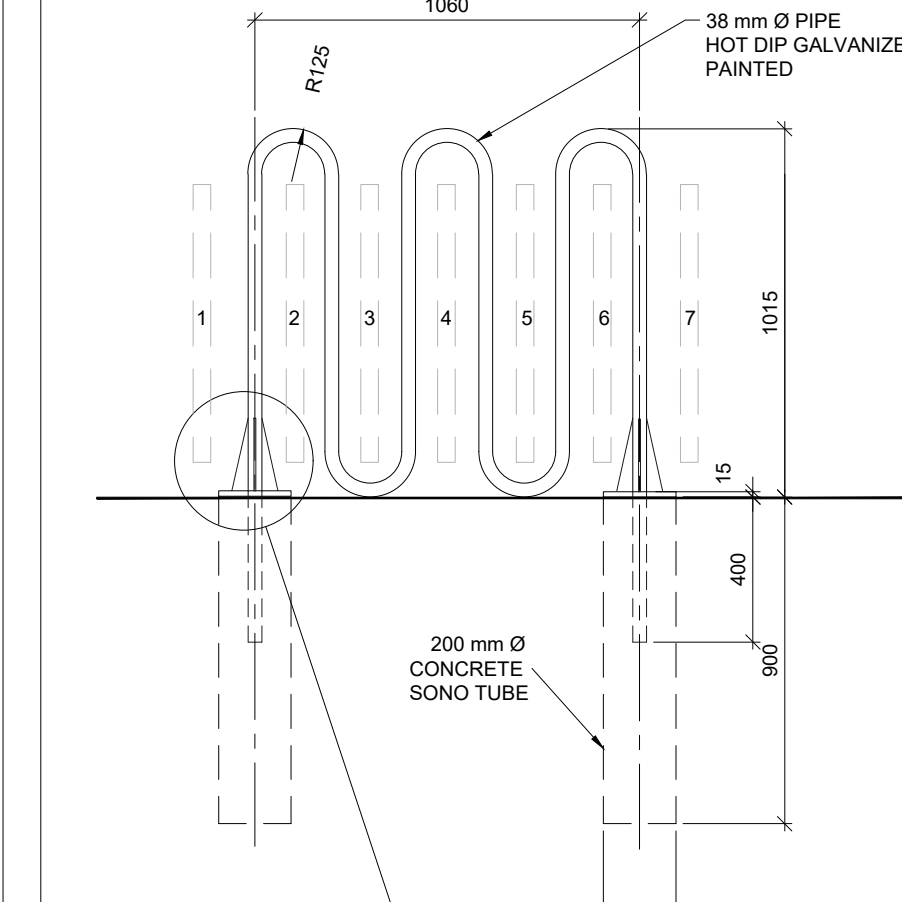
SITE STATISTICS per Zoning By-law 2009-189 amend. May 2022

LEGAL DESCRIPTION:	REG	PROVIDED
ZONING:	Part of Lot 1, Concession 9 1-71 H01, H02, H03 INSTITUTIONAL	
MAX. FRONT YARD SETBACK	SHALL NOT APPLY	5.00 m
INTERIOR SIDE YARD SETBACK	1.5 m MIN.	38.63 m
FLANKAGE YARD	3.0m MIN.	4.980 m
REAR YARD SETBACK	7.5 m MIN.	128.30 m
BUILDING HEIGHT	0 m - 18.0 m	14.04 m
FLOOR SPACE INDEX	n/a	0.285
MIN. LANDSCAPE STRIP INT. & REAR	4.5 m min.	4.5 m

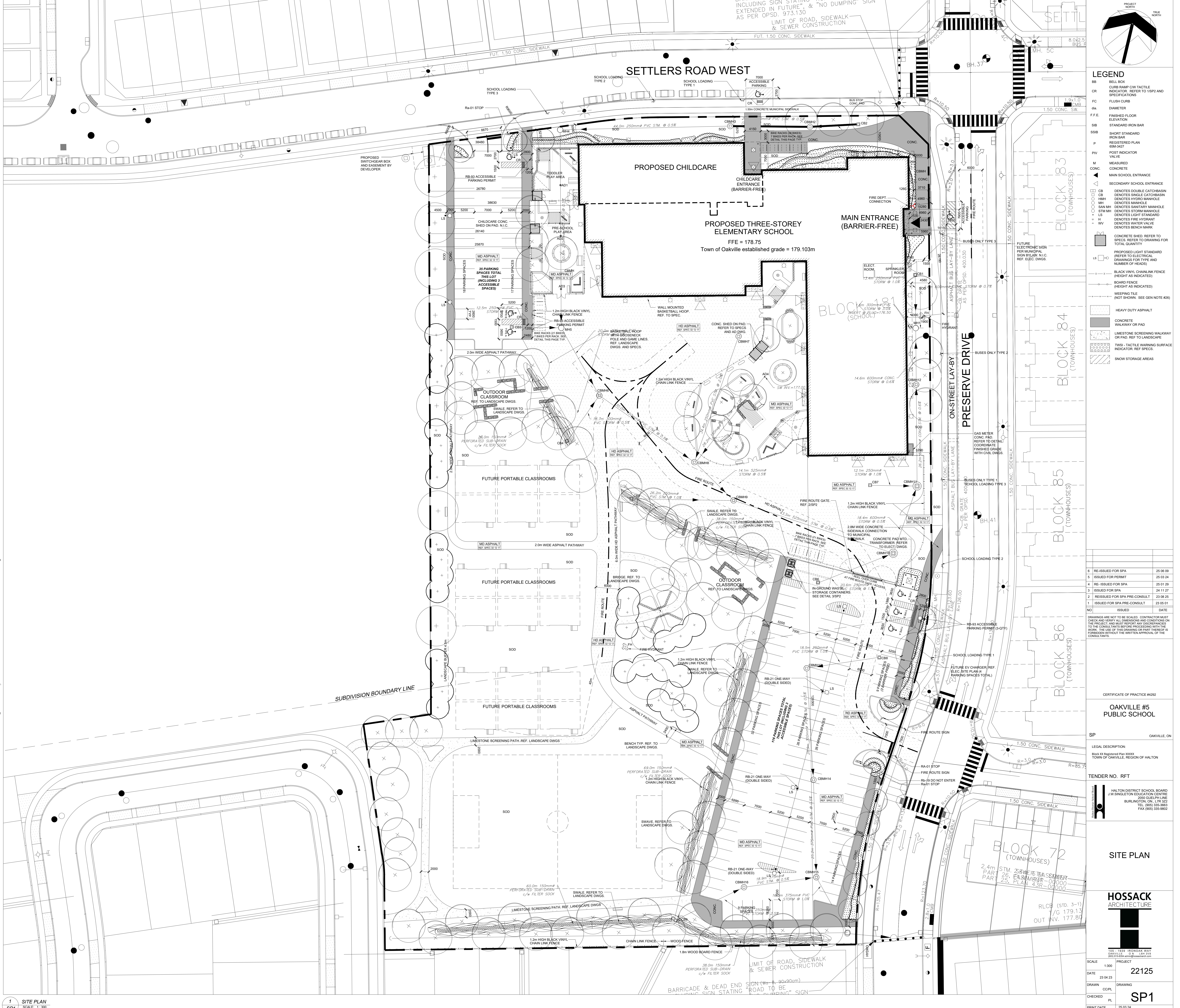
GENERAL NOTES

- All exterior lighting will be directed onto the site and will not intrude on adjacent properties.
- Grades will be met with 33% maximum slope at the property lines and within.
- Parking spaces reserved for the physically handicapped must be identified by appropriate signage, installed at the applicant's expense, in accordance with the designated specifications of City Bylaws.
- There are no underground parking structures on this project.
- The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by a Structural Engineer.
- Location of signs indicating fire routes shall be to the Town of Oakville Fire Department's approval.
- All roads and driveways which are to be designated as fire routes shall be no designated as per the Town's By-law, prior to occupancy of the building.
- Fire route access shall be constructed of heavy duty asphalt surface material or reinforced concrete conforming to municipal standards and have a charge of gradient not more than 1 in 12.1 over a maximum distance of 15 m.
- Standard parking spaces shall be 2.2m x 5.2m min. hard surface area.
- Accessible parking spaces shall be 3.6m x 6.2m min. hard surface area with access aisle where indicated and painted decal and signage per Town's By-law requirements.
- Continuous concrete curbing typical throughout parking areas. All curbs to be 150mm² high barrier type round concrete.
- All surface drainage shall be self contained and collected and discharged at a location to be approved prior to issuance of a building permit. Existing drainage pattern to be maintained.
- All the materials to be used in the municipal curb and sidewalk will be continuous through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb depression will be provided for each driveway, as part of this contract.
- The type of any curb bordering the driveways within the municipal boulevard will be flush with the municipal sidewalk and road curb.
- The portions of the driveways within the municipal boulevard will be paved as part of this contract.
- Sedimentation control measures as per Town's standards are to be implemented during construction.
- All underground service materials and installations to be in accordance with the latest standards and codes.
- Road occupancy permit must be obtained at least 48 hours prior to commencing any works within the municipal road allowance.
- Pedestrian walkways are to be minimum width of 1.2m. The width of a walkway abutting parking spaces is 1.8m minimum.
- All catchbasins manholes to have a minimum 0.3 m pump and top as per municipal standards and specifications.
- Building construction is interrupted and/or inactivity exceeds 30 days, stoppage areas will be stabilized by seeding.
- All excess excavated material will be removed from site.
- All above ground utilities are to be offset a minimum distance of 1500mm from all proposed driveways.
- The contractor is required to supply all labour, materials and equipment for the installation of required signage, temporary or permanent, as illustrated in the site plan drawings and in accordance with the Ontario Traffic Manual and Town of Oakville.
- Refer to AD Drawing 100 for weeping tile required at perimeter and interior of building at footing levels. AD 100 to be read in conjunction with the Grading and Landscaping Drawings for additional weeping tile requirements.
- Refer to Drawing 997 for site plan details. This drawing is to be read in conjunction with site landscape, grading and civil drawings.
- Refer to AD drawings for exterior signage and additional site plan details. This drawing is to be read in conjunction with site landscape, grading and civil drawings.

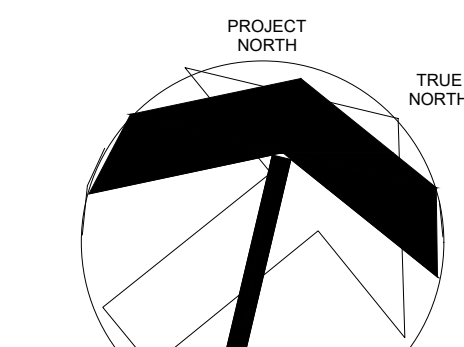
26 SITE PLAN FILE NUMBER TSN-2024-04



2 BICYCLE RACK
SCALE: NTS



1 SITE PLAN
SCALE: 1:300



LEGEND

- BB BELL BOX
- CB CURB MARK OR TACTILE INDICATOR - REFER TO 15P2 AND SPECIFICATIONS
- FC FLUSH CURB
- da DIAMETER
- F.F.E. FINISHED FLOOR ELEVATION
- SIB STANDARD IRON BAR
- SSB SHORT STANDARD IRON BAR
- P REGISTERED PLAN 69M-3427
- PV POST INDICATOR
- M MEASURED
- CONC. CONCRETE
- ▲ MAIN SCHOOL ENTRANCE
- ▲ SECONDARY SCHOOL ENTRANCE
- OB DENOTES DOUBLE CATCHMAIN
- OB DENOTES SINGLE CATCHMAIN
- HH DENOTES HYDRO MANHOLE
- SM DENOTES SANITARY MANHOLE
- STH DENOTES STORM MANHOLE
- LS DENOTES LIGHT STANDARD
- H DENOTES FIRE HYDRANT
- WV DENOTES WATER VALVE
- WV DENOTES BENCH MARK
- CONC. CONCRETE SHED, REFER TO DRAWING FOR TOTAL QUANTITY
- PROPOSED LIGHT STANDARD (REFER TO ELECTRICAL DRAWINGS FOR TYPE AND NUMBER OF HEADS)
- PROPOSED ELECTRICAL SIGN (REFER TO ELECTRICAL DRAWINGS FOR TYPE AND NUMBER OF HEADS)
- BLACK VINYL CHAIN LINK FENCE (HEIGHT AS INDICATED)
- BOARD FENCE (HEIGHT AS INDICATED)
- WEAVING TILE (NOT SHOWN, SEE GEN NOTE #26)
- HEAVY DUTY ASPHALT
- CONCRETE WALKWAY ON PAD
- CONCRETE WALKWAY ON PAD
- LIMESTONE SCREENING WALKWAY
- TWS - TACTILE WARNING SURFACE INDICATOR, REF. SPECS.
- SNOW STORAGE AREAS

NO.	ISSUED	DATE
6	RE-ISSUED FOR SPA	25.01.19
2	ISSUED FOR PERMIT	25.03.24
4	RE-ISSUED FOR SPA	25.01.29
3	ISSUED FOR SPA	24.11.27
2	RE-ISSUED FOR SPA PRE-CONSULT	23.08.25
1	ISSUED FOR SPA PRE-CONSULT	23.05.01

NOT ISSUED DATE
DRAWINGS ARE NOT TO BE SCALE. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT.

CERTIFICATE OF PRACTICE #292
OAKVILLE #5
PUBLIC SCHOOL

SP OAKVILLE, ON

LEGAL DESCRIPTION:
Block XX Registered Plan 60000
TOWN OF OAKVILLE, REGION OF HALTON

TENDER NO. RFT

HALTON DISTRICT SCHOOL BOARD
J.W. SINGLETON EDUCATION CENTRE
2000 QUEEN ST. E.
BURLINGTON, ON L7R 3K2
TEL: (905) 335-3663
FAX: (905) 335-4602

SITE PLAN

HOSSACK
ARCHITECTURE

SCALE: 1:300
PROJECT: 22125
DATE: 23.04.23
DRAWN: CDP
CHECKED: PL
PRINT DATE: 25.03.24
REVIT FILE: 22125-H55B-04W602