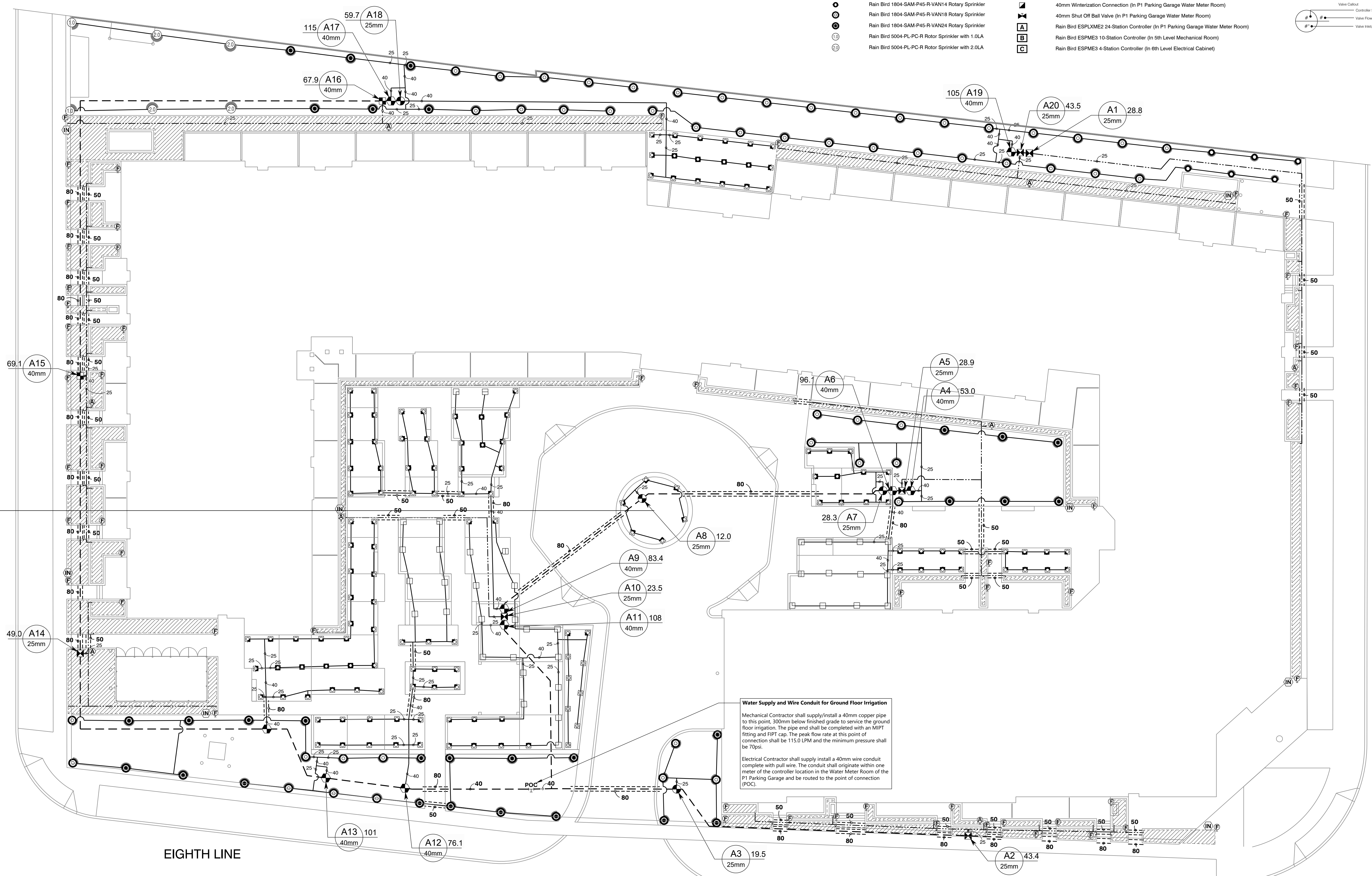
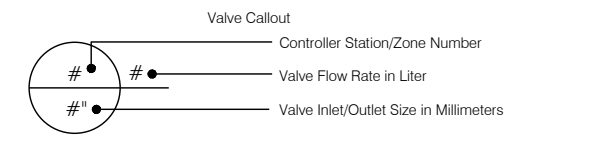


**LEGEND**

SYMBOL	MANUFACTURER/MODEL		
☐	Rain Bird 1812-PRS-8H Spray Sprinkler	☒	Rain Bird XCZ-100-PRF Drip Control Zone Kit
◆	Rain Bird 1812-PRS-8O Spray Sprinkler	☑	Rain Bird XCZ-150-LCS Drip Control Zone Kit
◼	Rain Bird 1812-PRS-10F Spray Sprinkler	Ⓟ	Rain Bird MDCFCAP Drip Flush Cap
◻	Rain Bird 1812-PRS-10H Spray Sprinkler	Ⓜ	Rain Bird ARV050 Drip Air Relief Valve
◻	Rain Bird 1812-PRS-10C Spray Sprinkler	Ⓝ	Rain Bird OPERIND Operation Indicator
◻	Rain Bird 1812-PRS-10T Spray Sprinkler	Ⓜ	Area to Receive Drip Line Rain Bird XFD-06-12, equally spaced up to 300mm between rows Qty. - 7,200m
◻	Rain Bird 1812-PRS-12F Spray Sprinkler	Ⓜ	Rain Bird 100-DVF Solenoid Valve
◻	Rain Bird 1812-PRS-12H Spray Sprinkler	Ⓜ	Rain Bird 150-PGA Solenoid Valve
◻	Rain Bird 1812-PRS-12O Spray Sprinkler	Ⓜ	40mm Winterization Connection (In P1 Parking Garage Water Meter Room)
◻	Rain Bird 1804-SAM-P45-R-VAN14 Rotary Sprinkler	Ⓜ	40mm Shut Off Ball Valve (In P1 Parking Garage Water Meter Room)
◻	Rain Bird 1804-SAM-P45-R-VAN18 Rotary Sprinkler	Ⓜ	Rain Bird ESPLME2 24-Station Controller (In P1 Parking Garage Water Meter Room)
◻	Rain Bird 1804-SAM-P45-R-VAN24 Rotary Sprinkler	Ⓜ	Rain Bird ESPME3 10-Station Controller (In 5th Level Mechanical Room)
◻	Rain Bird 5004-PL-PC-R Rotor Sprinkler with 1.0LA	Ⓜ	Rain Bird ESPME3 4-Station Controller (In 6th Level Electrical Cabinet)
◻	Rain Bird 5004-PL-PC-R Rotor Sprinkler with 2.0LA		

Ⓜ	Rain Bird RSD-BE-Rain Sensor
Ⓜ	40mm Point of Connection
---	Irrigation Lateral Line: 100psi Polyethylene Pipe (Size as Shown)
---	Irrigation Lateral Line: Schedule 40 PVC (Size as Shown)
---	Irrigation Mainline: 40mm Class 160 PVC
---	Irrigation Mainline: 25mm Schedule 40 PVC
---	Pipe Sleeve: Class 160 PVC (Size as Shown)



**Water Supply and Wire Conduit for Ground Floor Irrigation**

Mechanical Contractor shall supply/install a 40mm copper pipe to this point, 300mm below finished grade to service the ground floor irrigation. The pipe end shall be completed with an MIPT fitting and FIPT cap. The peak flow rate at this point of connection shall be 115.0 LPM and the minimum pressure shall be 70psi.

Electrical Contractor shall supply install a 40mm wire conduit complete with pull wire. The conduit shall originate within one meter of the controller location in the Water Meter Room of the P1 Parking Garage and be routed to the point of connection (POC).

**CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.**  
**CONTRACTOR SHALL VERIFY THE WATER CONNECTION PIPE SIZE AND PRESSURE MEETS OR EXCEEDS THE MINIMUM REQUIREMENT OF THE IRRIGATION DESIGN PRIOR TO COMMENCEMENT OF THE INSTALLATION.**

- NOTES**
1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BY-LAWS AND CODES HAVING JURISDICTION OVER SITE LOCATION.
  2. IT IS THE RESPONSIBILITY OF THE PLAN USER TO INFORM THEMSELVES OF THE EXACT LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES BEFORE COMMENCING THE WORK.
  3. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE LANDSCAPE DRAWINGS AND THE WRITTEN IRRIGATION SPECIFICATIONS.
  4. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR INCONSISTENCIES BETWEEN THE PLANS AND THE SITE CONDITIONS TO THE IRRIGATION CONSULTANT.
  5. LOCATION OF SPRINKLERS AND PIPE ARE APPROXIMATE. VALVES MAY BE PLACED INAPPROPRIATELY ON THE DRAWING DUE TO SPACE RESTRAINTS.
  6. POINT OF CONNECTION (POC) IS APPROXIMATE.
  7. DBY CONNECTORS SHALL BE USED FOR ALL 24 VOLT ELECTRICAL CONNECTIONS.
  8. ALL WIRES AND POWER CABLES SHALL BE INSTALLED AS REQUIRED BY THE ELECTRICAL CODE.
  9. WHERE PIPES ARE SHOWN UNDER PAVED AREAS BUT RUNNING PARALLEL AND ADJACENT OF PLANTED AREAS OR TURF AREAS, THE INTENT OF THE DRAWINGS IS THAT THE PIPE BE INSTALLED IN THE PLANTED OR TURF AREAS.

5.			
4.			
3.			
2.			
1.	10/06/2022	ISSUED FOR CONSTRUCTION	

REF. DATE DESCRIPTION

SEAL:

NORTH

measure . manage . monitor

**smart**  
watering systems

1-888-444-1530

PROJECT NAME:

**1005 Dundas Street Inc.**  
1005 Dundas Street, Oakville

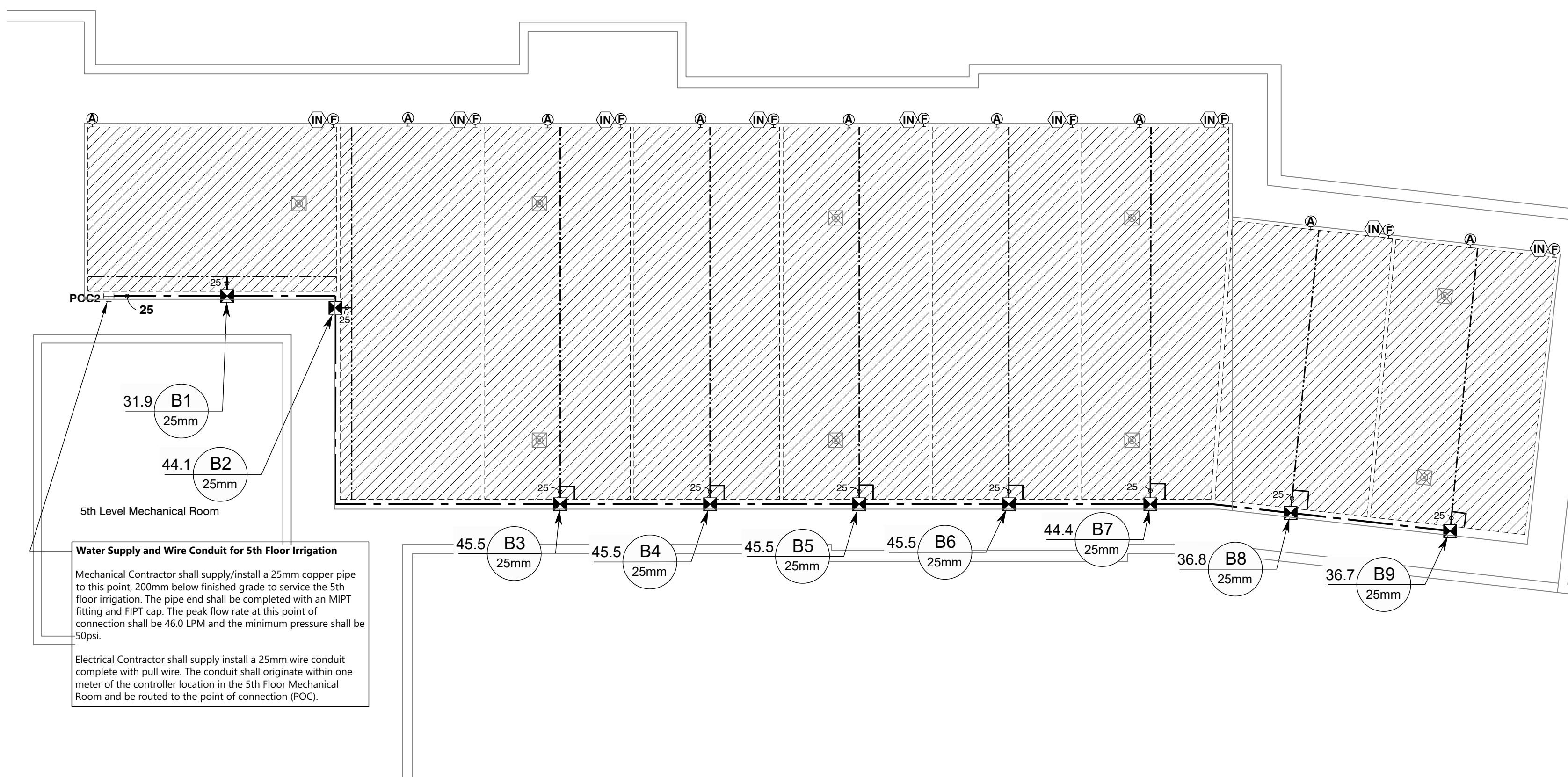
DRAWING TITLE:

**Ground Level Irrigation Layout**

SCALE:	1:200	DRAWING NUMBER:	<b>IR1</b>
DATE:	MAY 25, 2022		
DRAWN BY:	AF		
CHECKED BY:	AF/PD		

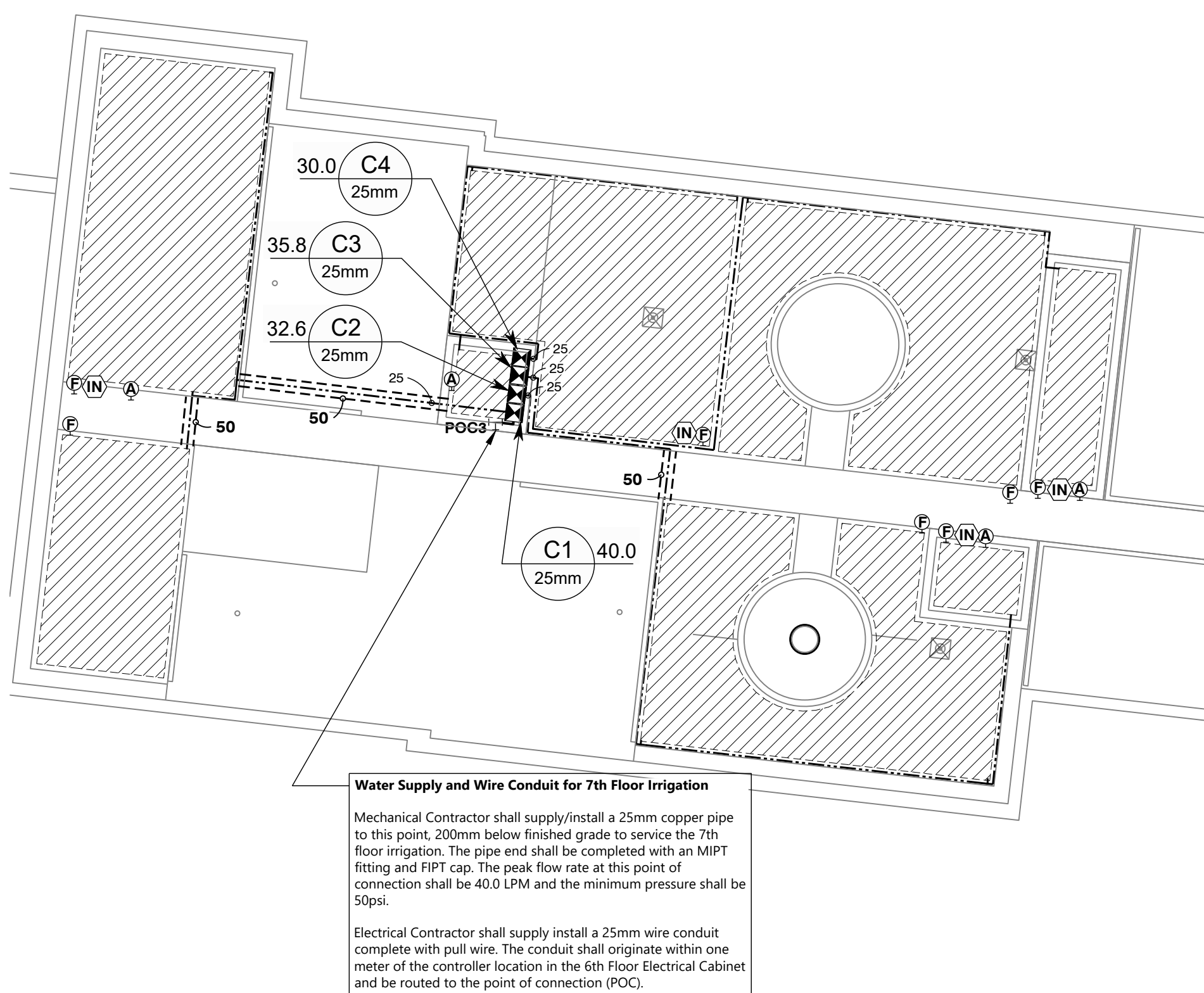
EIGHTH LINE

DUNDAS STREET EAST



1 5TH LEVEL GREEN ROOF IRRIGATION

IR2



2 7TH LEVEL AMENITY TERRACE IRRIGATION

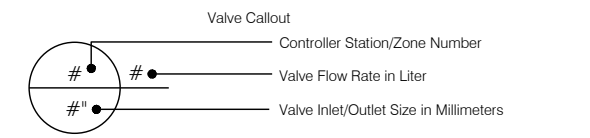
IR2

LEGEND

SYMBOL	MANUFACTURER/MODEL
[Symbol]	Rain Bird 1812-PRS-8H Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-8Q Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-10F Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-10H Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-10C Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-10T Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-12F Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-12H Spray Sprinkler
[Symbol]	Rain Bird 1812-PRS-12Q Spray Sprinkler
[Symbol]	Rain Bird 1804-SAM-P45-R-VAN14 Rotary Sprinkler
[Symbol]	Rain Bird 1804-SAM-P45-R-VAN18 Rotary Sprinkler
[Symbol]	Rain Bird 1804-SAM-P45-R-VAN24 Rotary Sprinkler
[Symbol]	Rain Bird 5004-PL-PC-R Rotor Sprinkler with 1.0LA
[Symbol]	Rain Bird 5004-PL-PC-R Rotor Sprinkler with 2.0LA

[Symbol]	Rain Bird XCZ-100-PRF Drip Control Zone Kit
[Symbol]	Rain Bird XCZ-150-LCS Drip Control Zone Kit
[Symbol]	Rain Bird MDCFCAP Drip Flush Cap
[Symbol]	Rain Bird ARV050 Drip Air Relief Valve
[Symbol]	Rain Bird OPERIND Operation Indicator
[Symbol]	Area to Receive Drips Rain Bird XFD-06-12, equally spaced up to 300mm between rows Qty. - 7,200m
[Symbol]	Rain Bird 100-DVF Solenoid Valve
[Symbol]	Rain Bird 150-PGA Solenoid Valve
[Symbol]	40mm Winterization Connection (In P1 Parking Garage Water Meter Room)
[Symbol]	40mm Shut Off Ball Valve (In P1 Parking Garage Water Meter Room)
[Symbol]	Rain Bird ESPLME2 24-Station Controller (In P1 Parking Garage Water Meter Room)
[Symbol]	Rain Bird ESPME3 10-Station Controller (In 5th Level Mechanical Room)
[Symbol]	Rain Bird ESPME3 4-Station Controller (In 6th Level Electrical Cabinet)

[Symbol]	Rain Bird RSD-BEx Rain Sensor
[Symbol]	40mm Point of Connection
[Symbol]	Irrigation Lateral Line: 100psi Polyethylene Pipe (Size as Shown)
[Symbol]	Irrigation Lateral Line: Schedule 40 PVC (Size as Shown)
[Symbol]	Irrigation Mainline: 40mm Class 160 PVC
[Symbol]	Irrigation Mainline: 25mm Schedule 40 PVC
[Symbol]	Pipe Sleeve: Class 160 PVC (Size as Shown)



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REF.	DATE	DESCRIPTION
1.	10/06/2022	ISSUED FOR CONSTRUCTION

SEAL:

NORTH

measure . manage . monitor

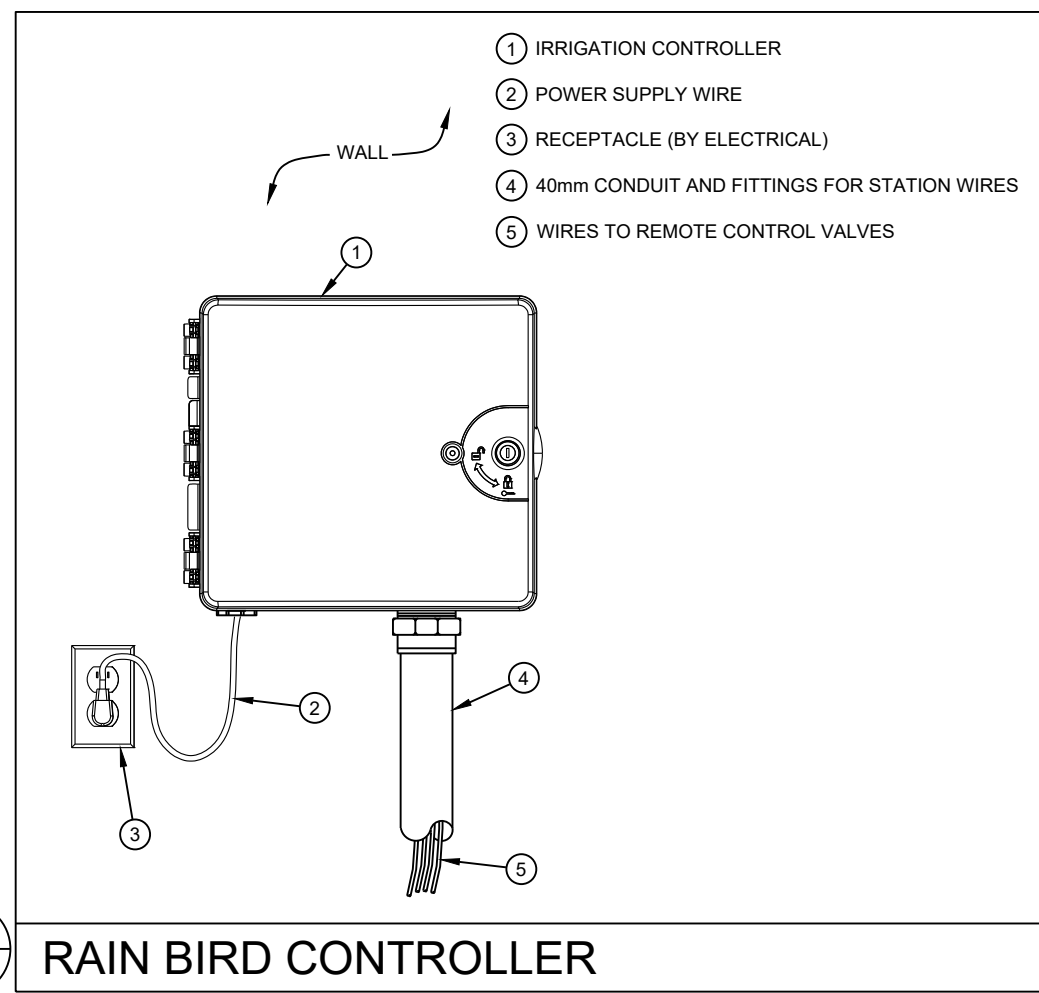
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watering systems

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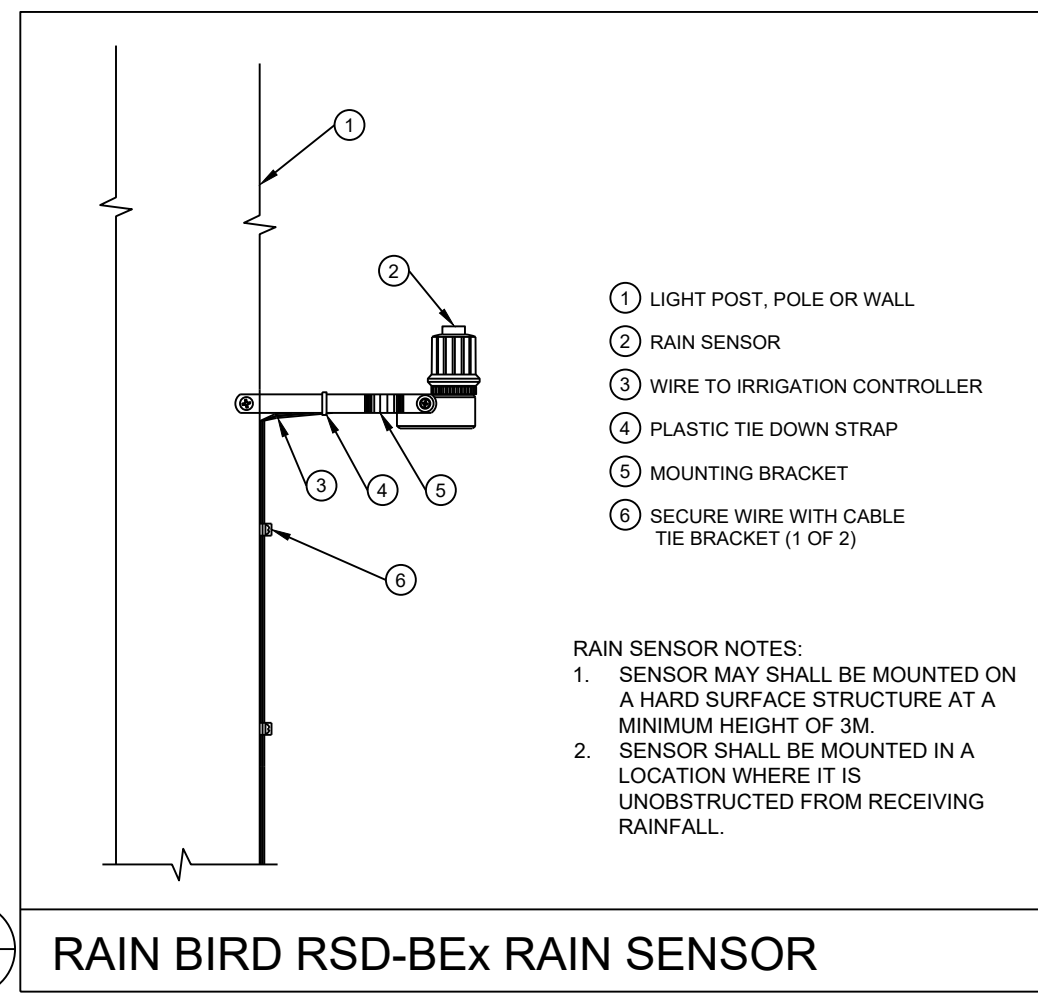
PROJECT NAME:  
**1005 Dundas Street Inc.**  
1005 Dundas Street, Oakville

DRAWING TITLE:  
**5th Level Green Roof & 7th Level Terrace Irrigation Layout**

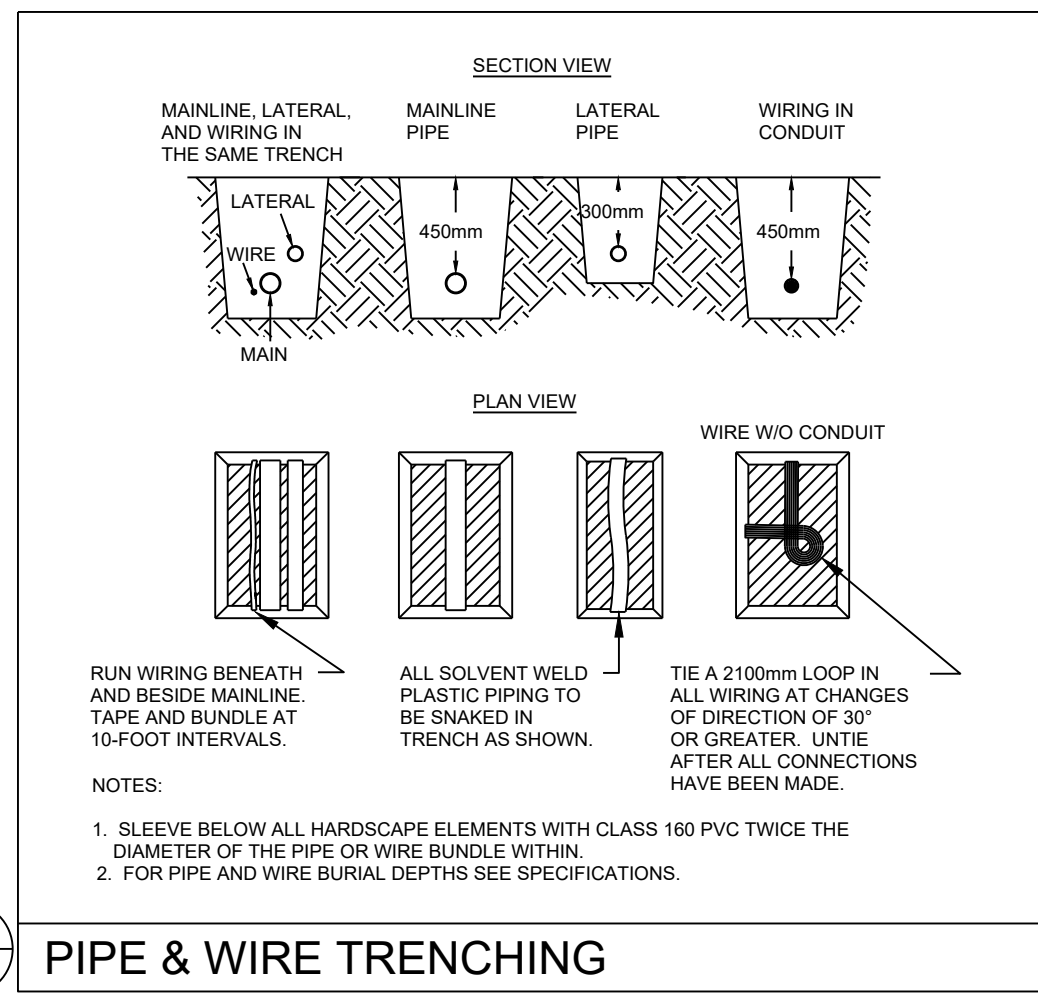
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DATE: MAY 25, 2022	
DRAWN BY: AF	
CHECKED BY: AF/PD	



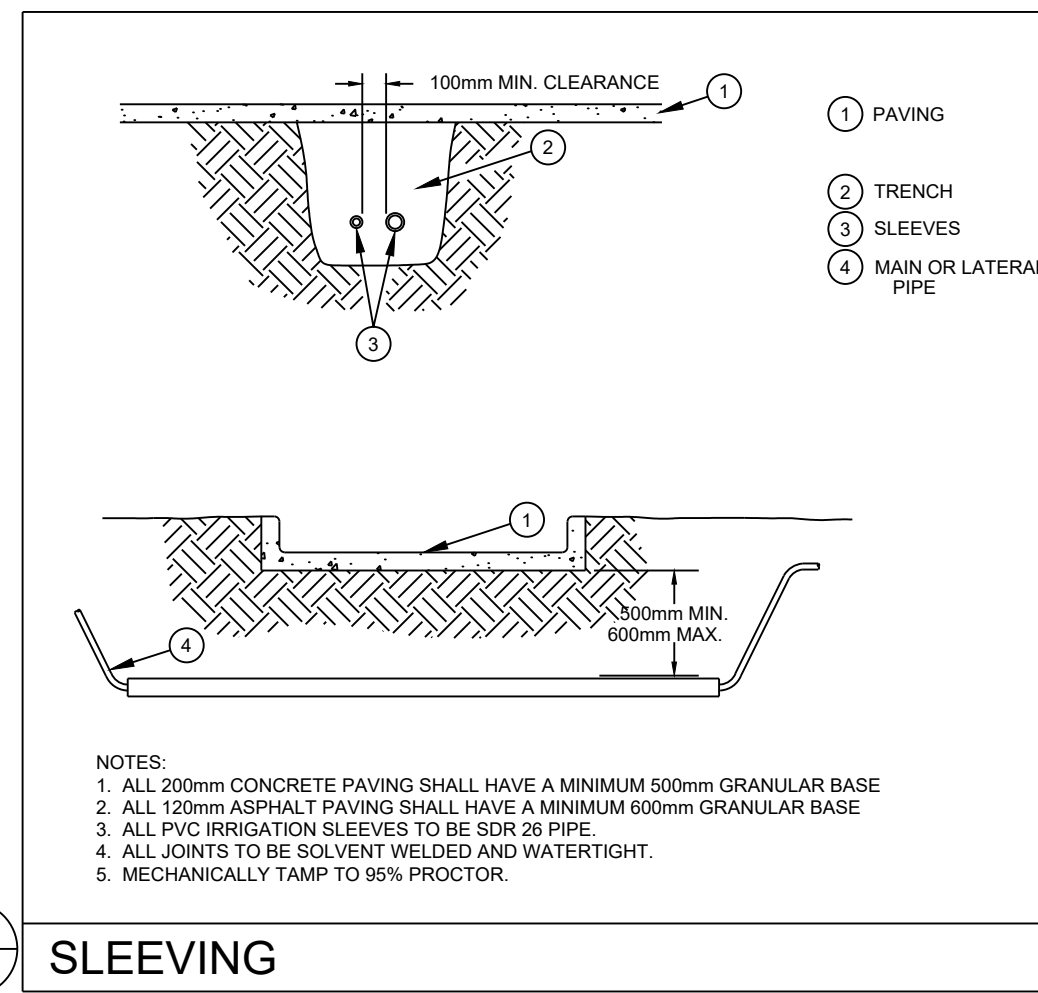
1 IR3 RAIN BIRD CONTROLLER



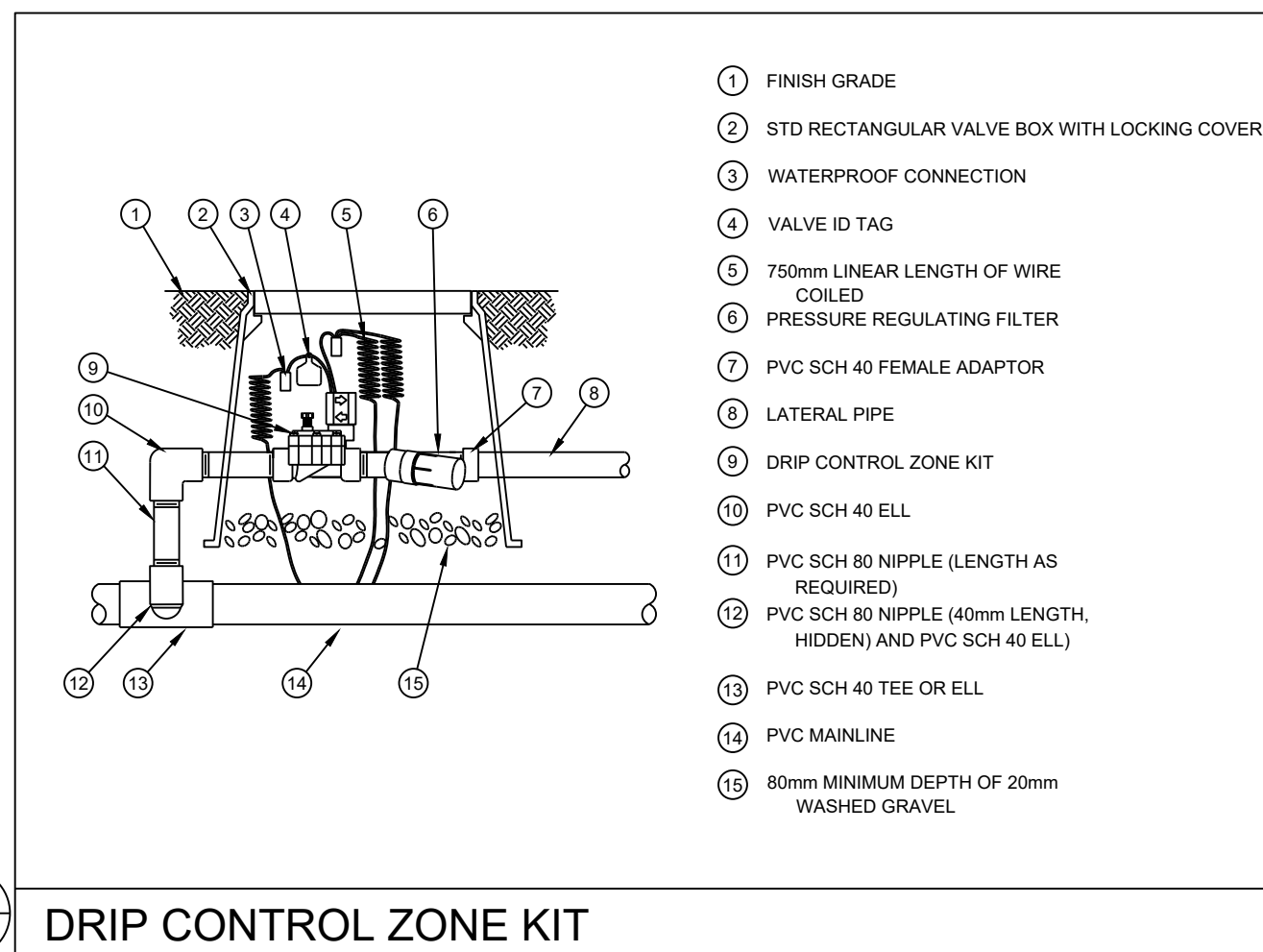
2 IR3 RAIN BIRD RSD-Bex RAIN SENSOR



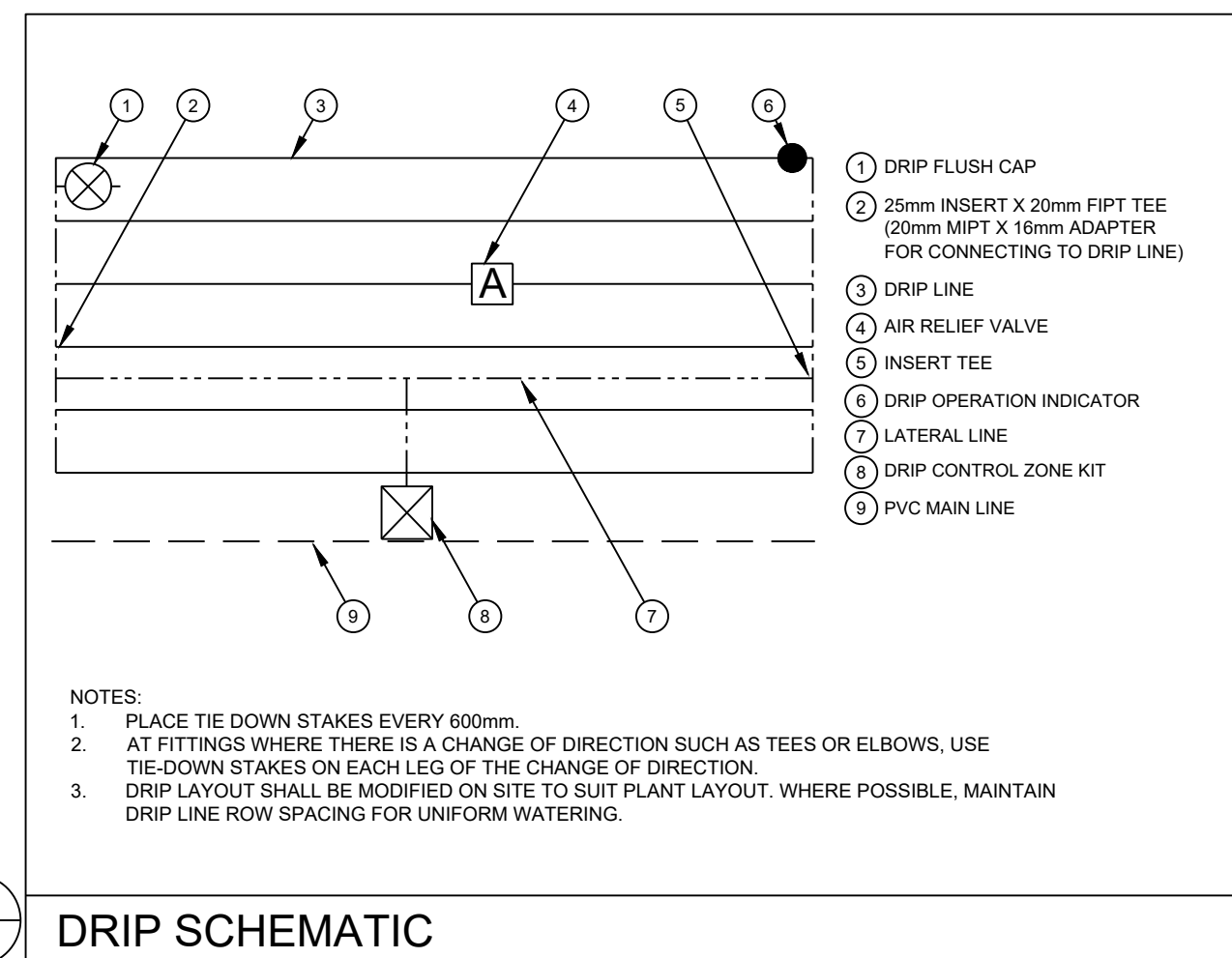
3 IR3 PIPE & WIRE TRENCHING



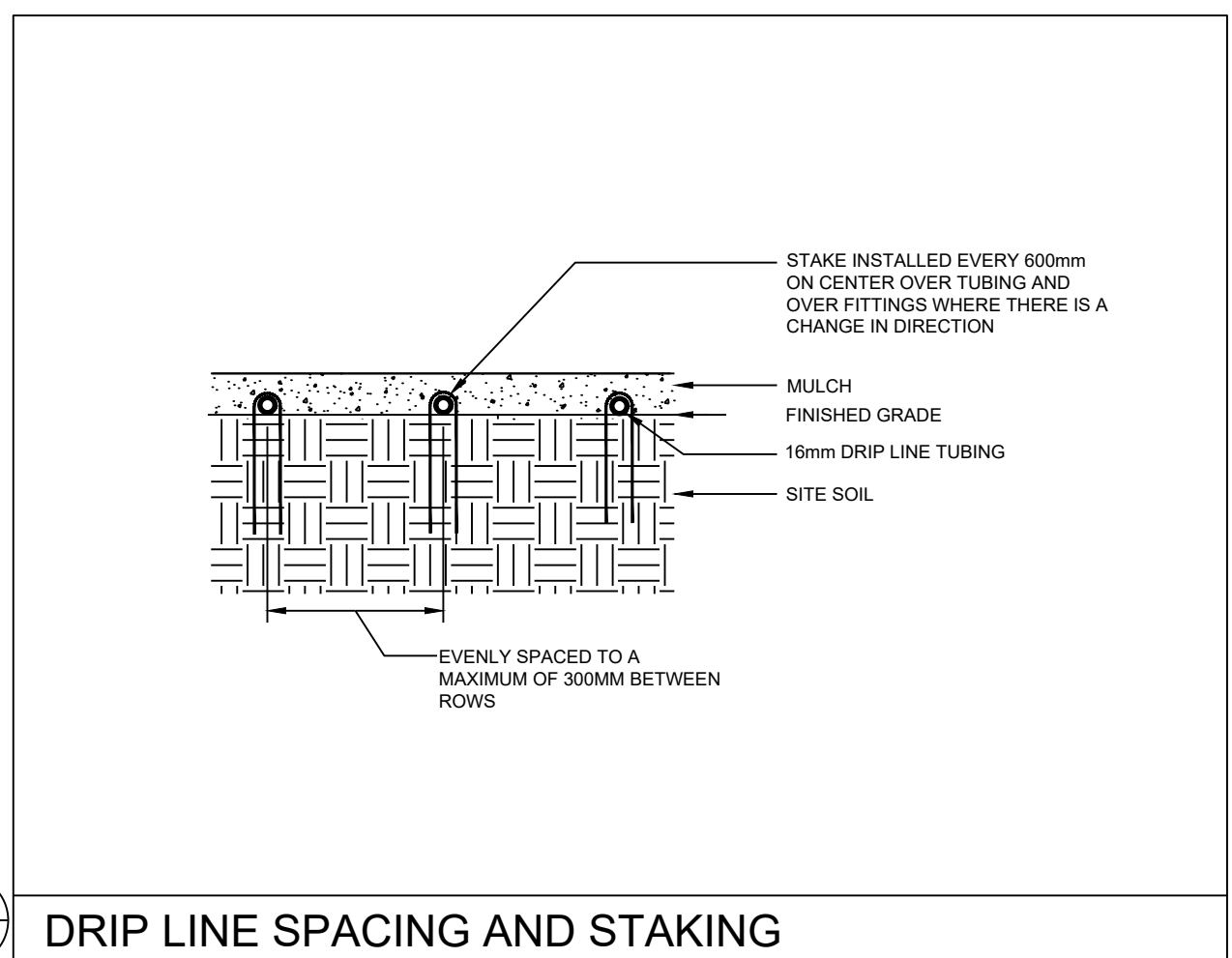
4 IR3 SLEEVING



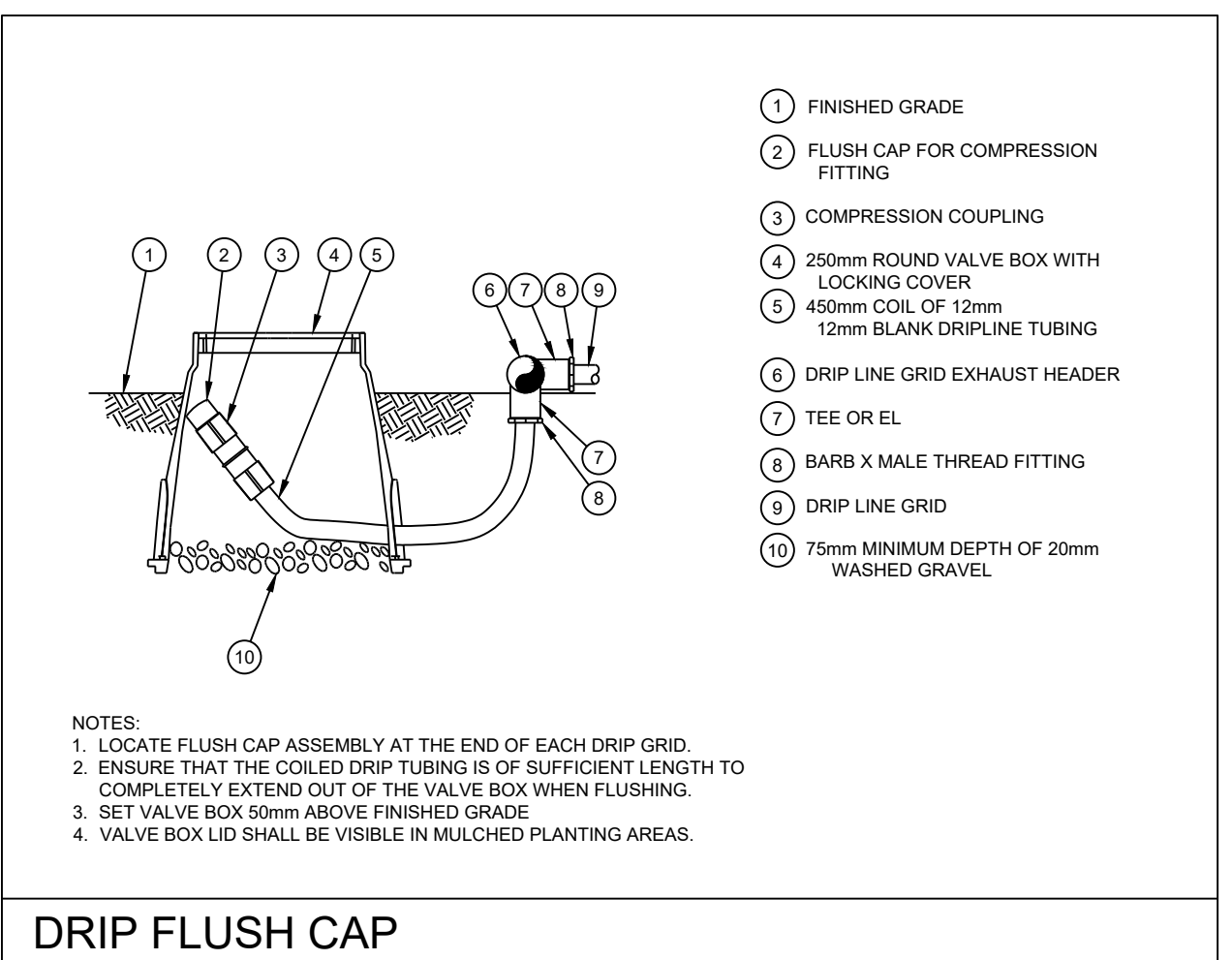
5 IR3 DRIP CONTROL ZONE KIT



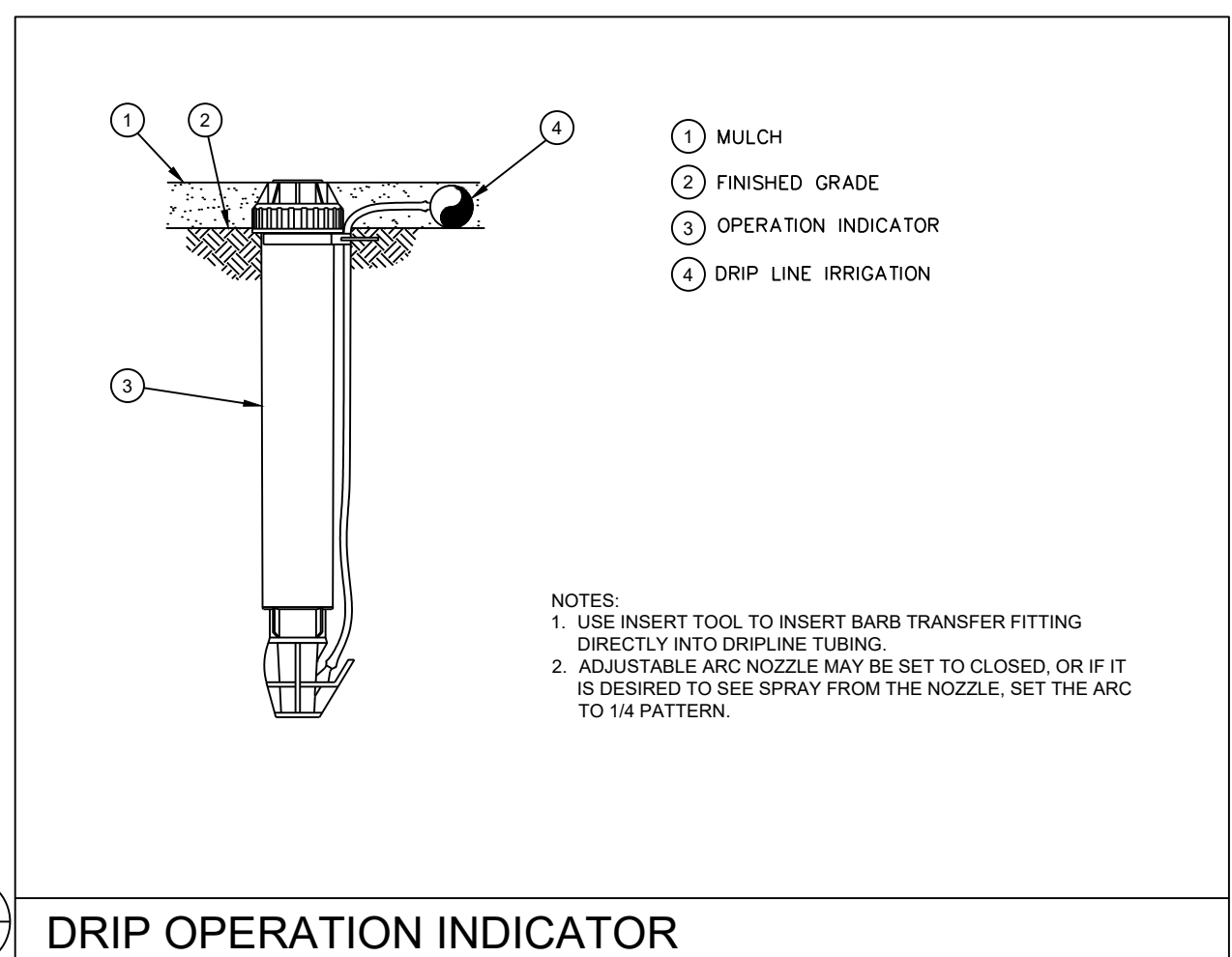
6 IR3 DRIP SCHEMATIC



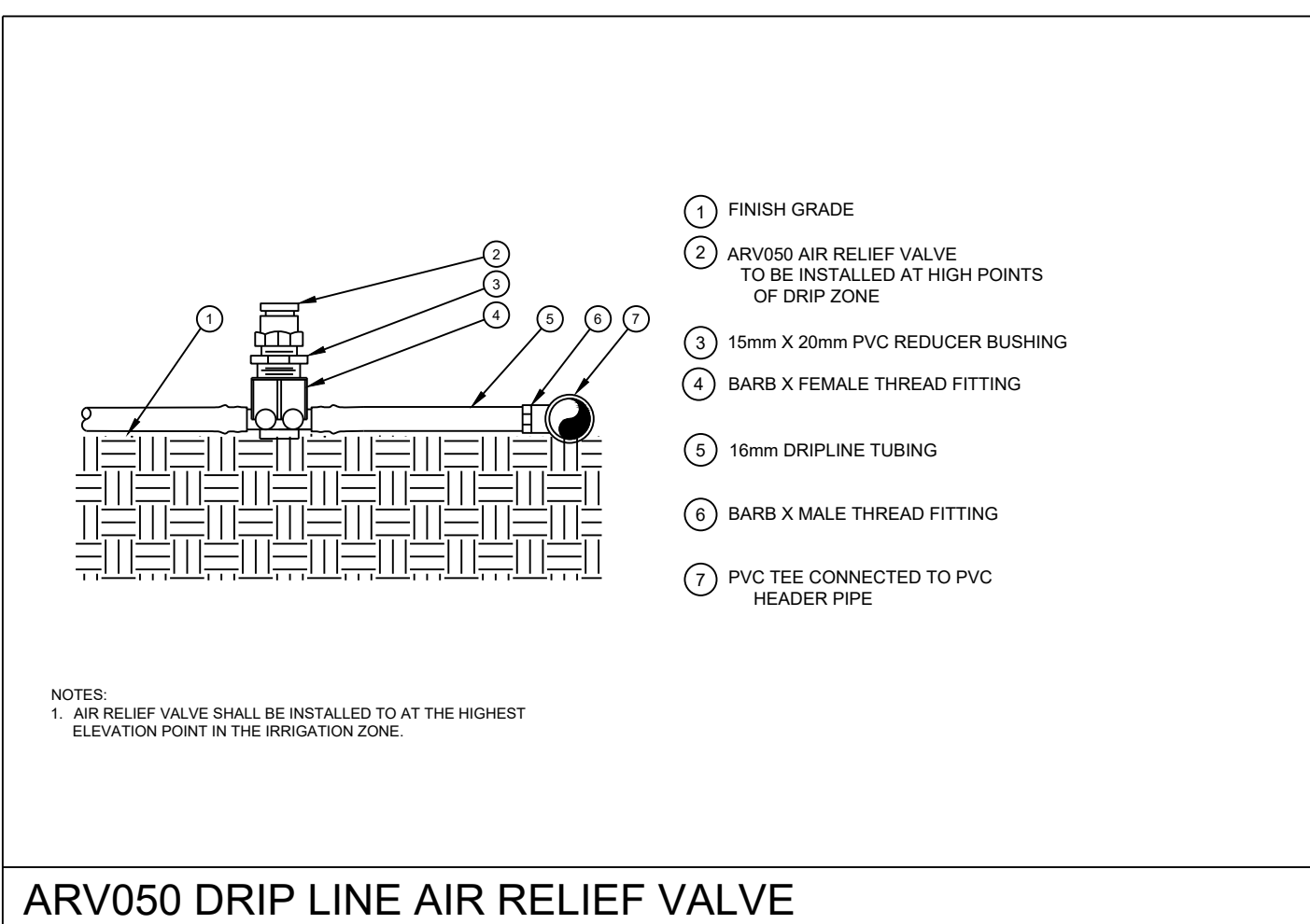
7 IR3 DRIP LINE SPACING AND STAKING



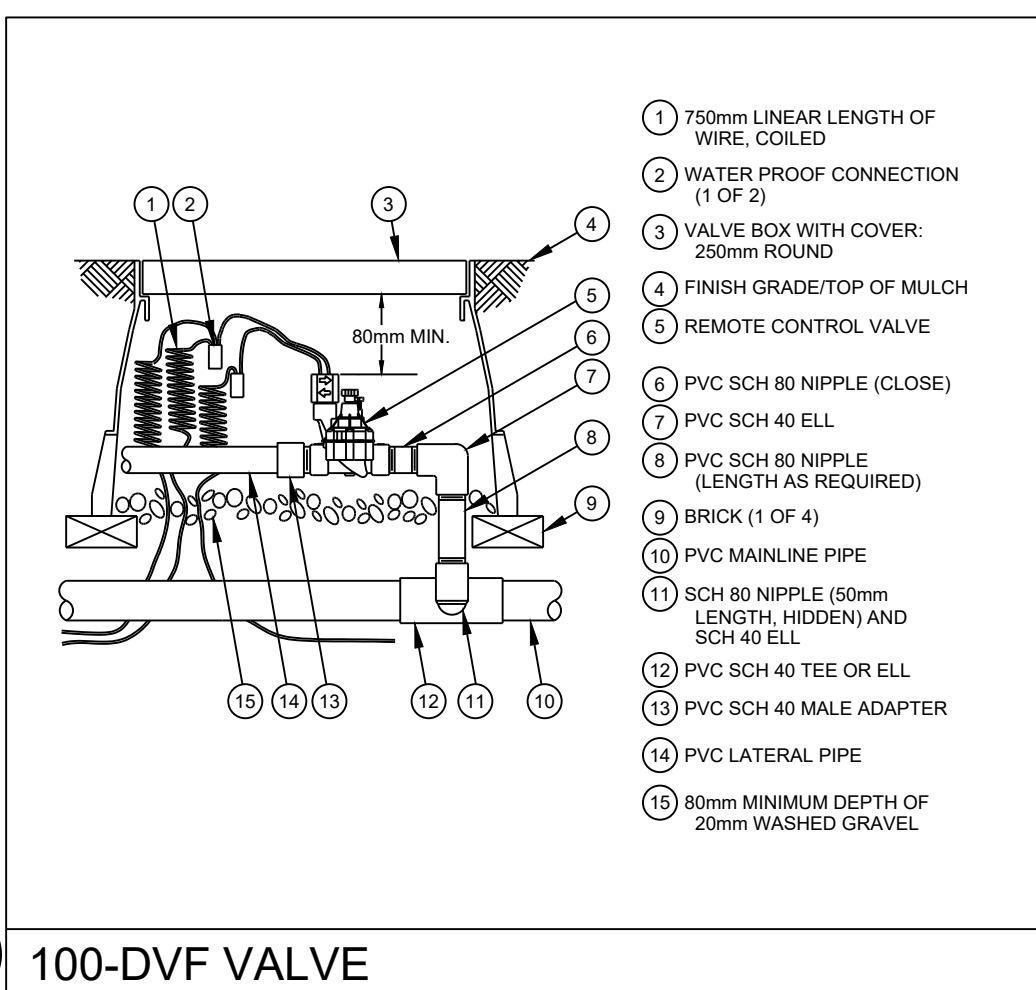
8 IR3 DRIP FLUSH CAP



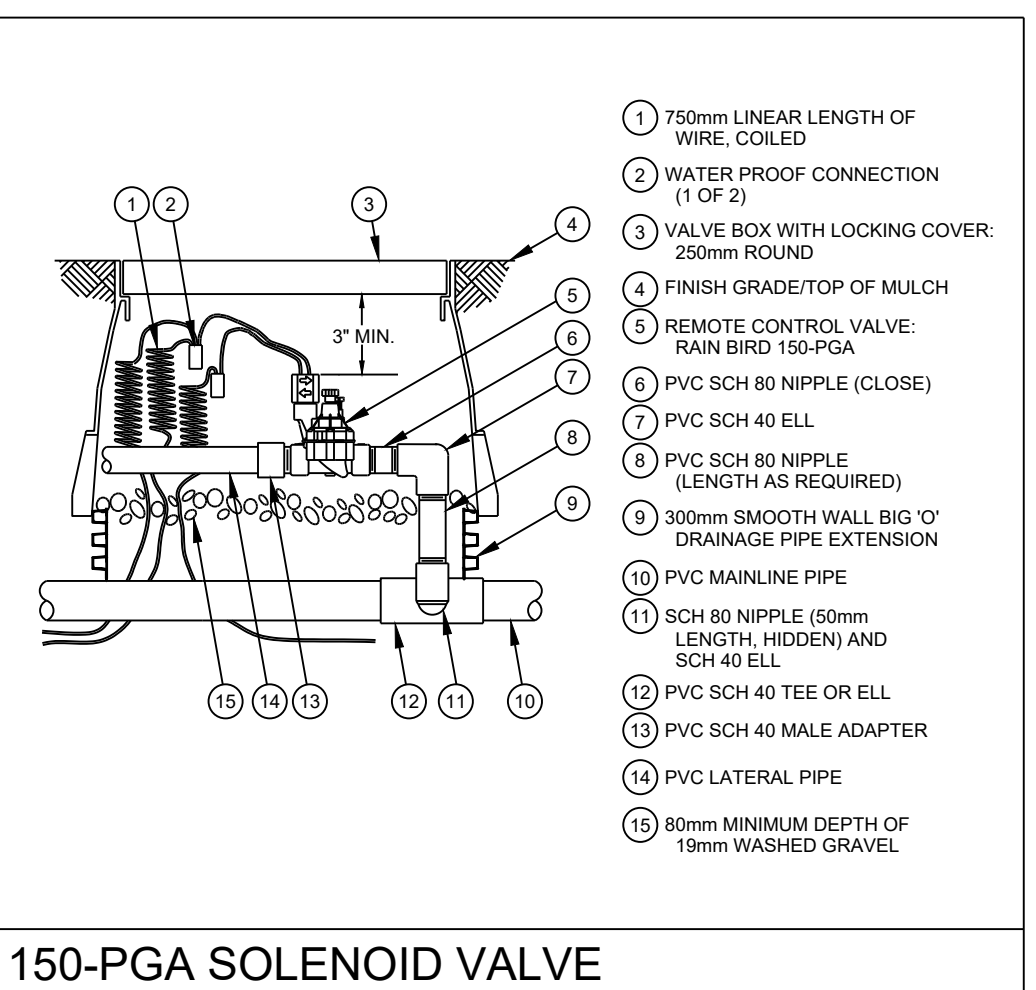
9 IR3 DRIP OPERATION INDICATOR



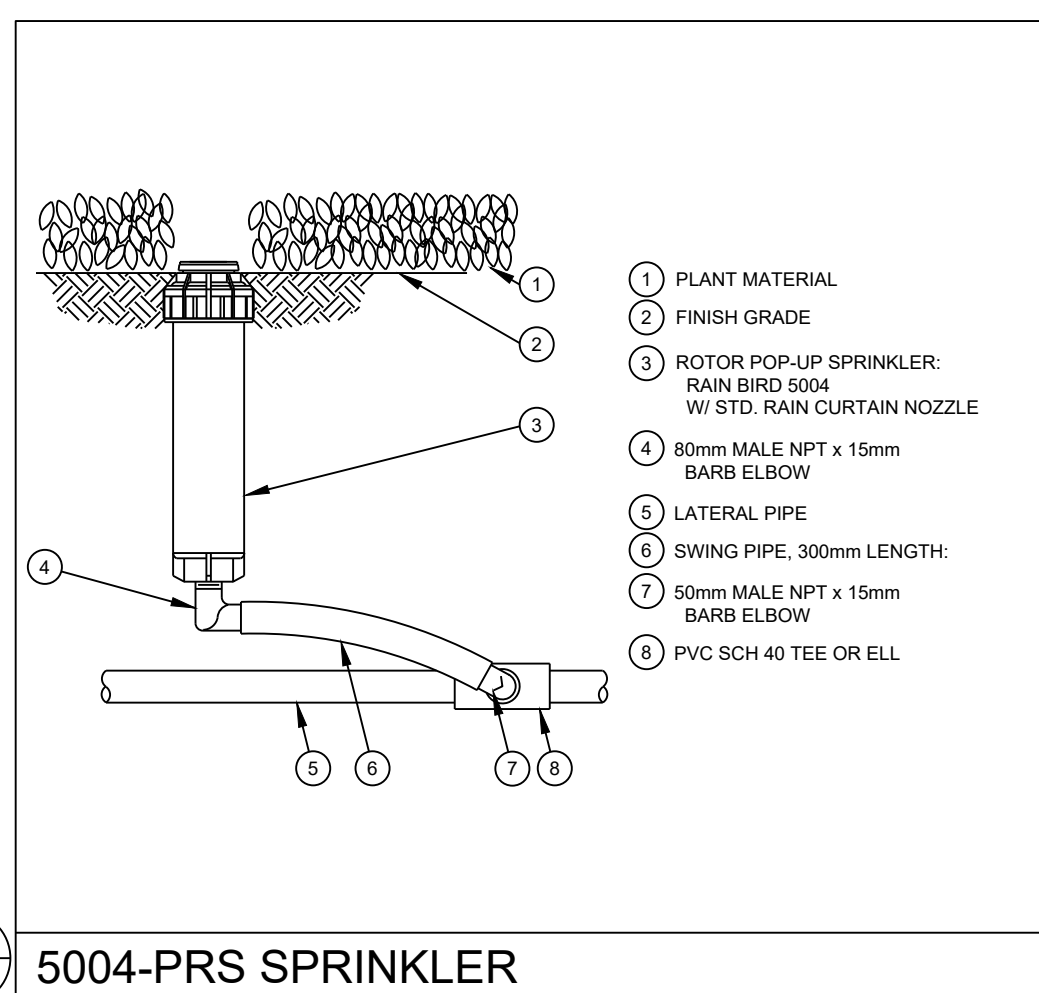
10 IR3 ARV050 DRIP LINE AIR RELIEF VALVE



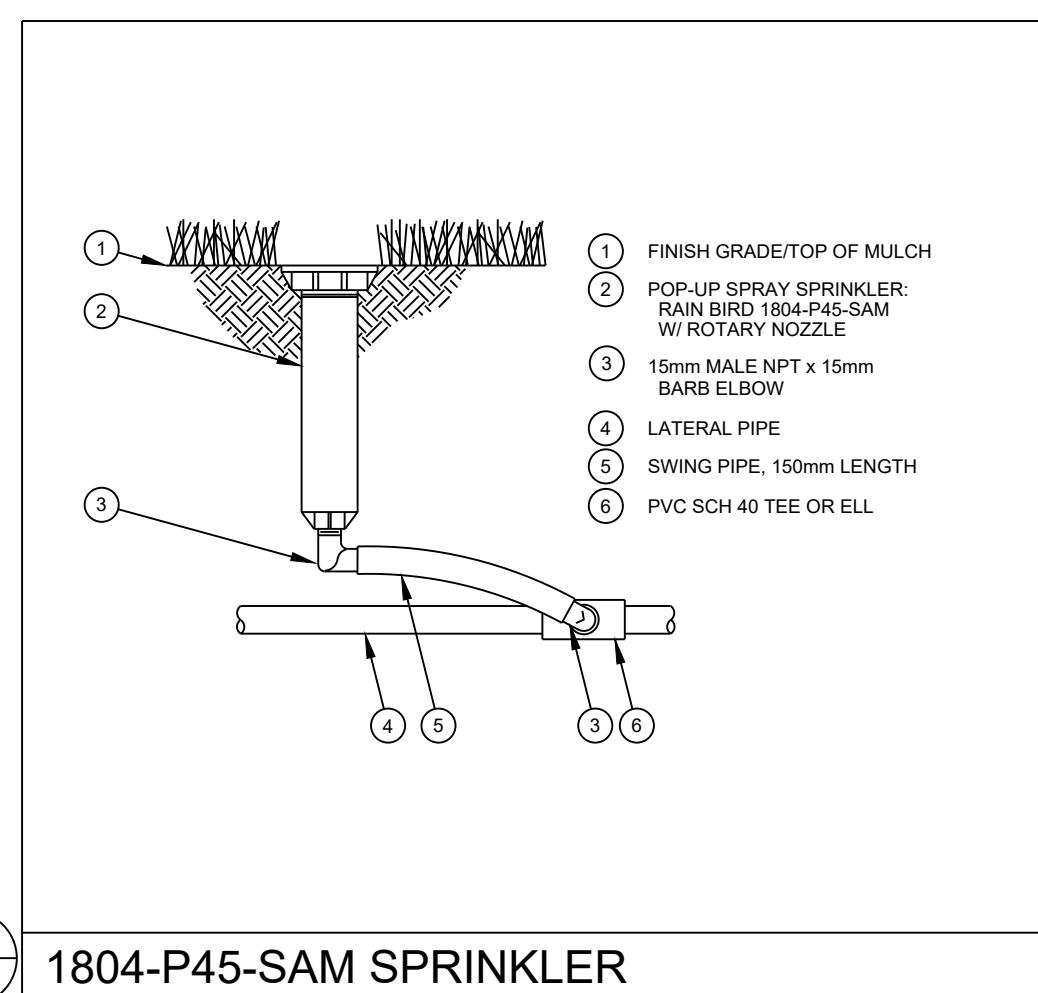
11 IR3 100-DVF VALVE



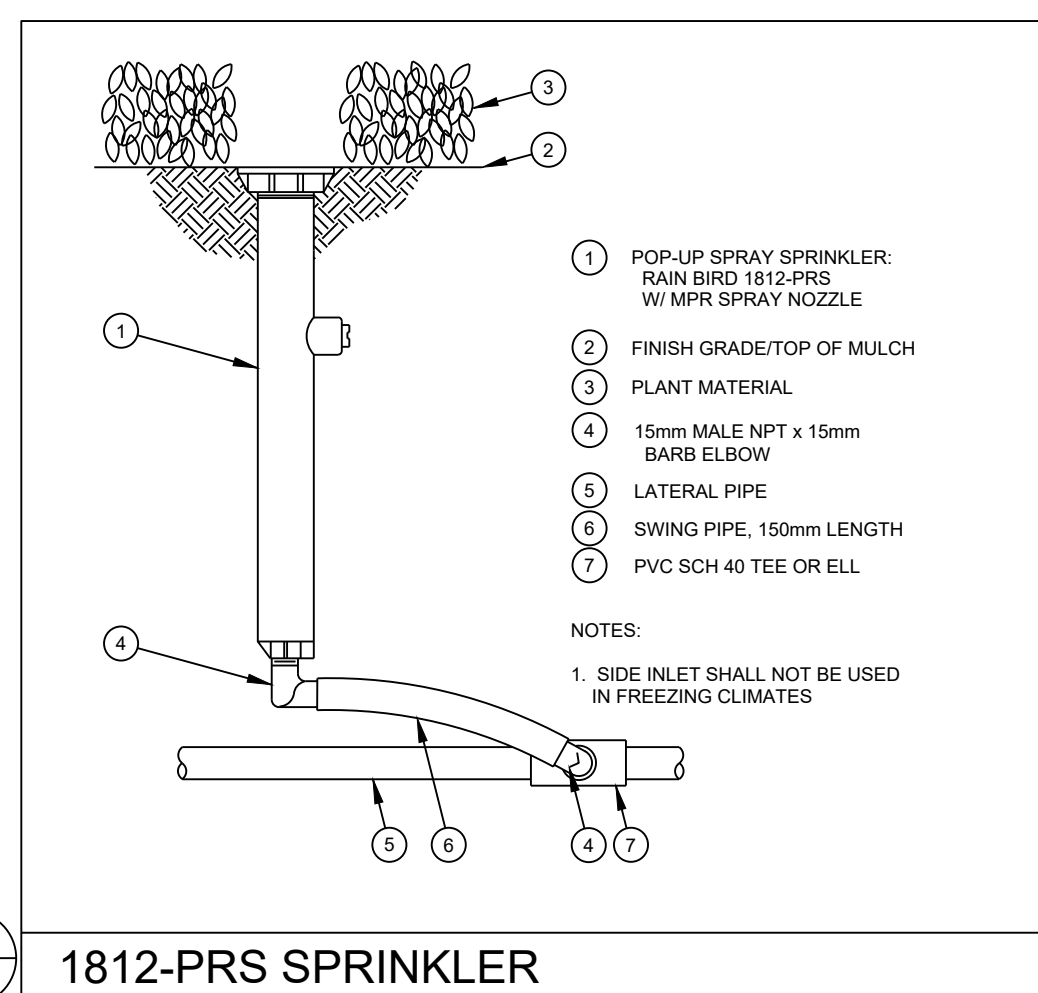
12 IR3 150-PGA SOLENOID VALVE



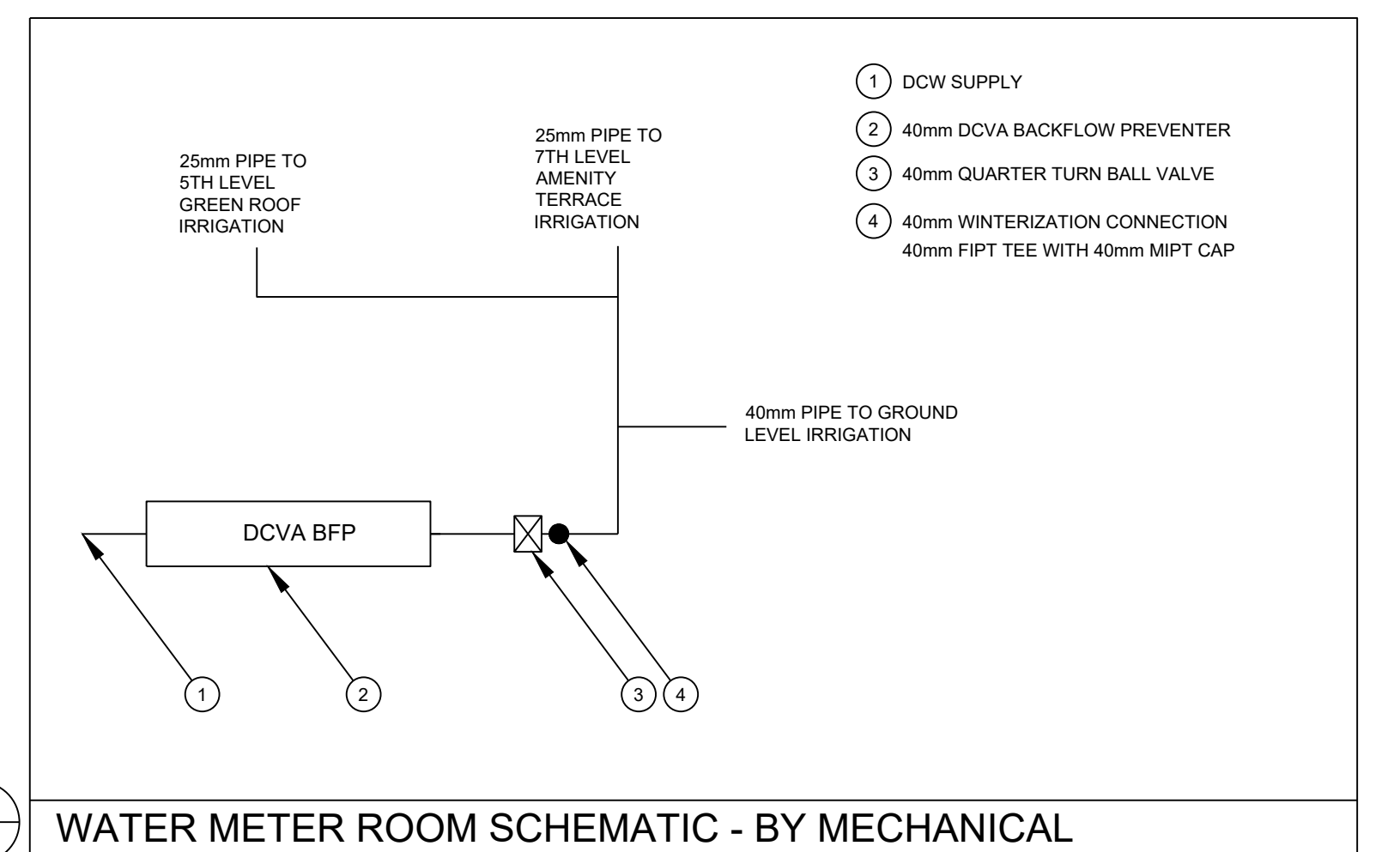
13 IR3 5004-PRS SPRINKLER



14 IR3 1804-P45-SAM SPRINKLER



15 IR3 1812-PRS SPRINKLER



15 IR3 WATER METER ROOM SCHEMATIC - BY MECHANICAL

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1.	10/06/2022	ISSUED FOR CONSTRUCTION
----	------------	-------------------------

REF.	DATE	DESCRIPTION
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SEAL:

NORTH

ANDREW FIRTH  
PROFESSIONAL ENGINEER  
1945  
ONTARIO  
COMMERCIAL

measure . manage . monitor  
**smart**  
watering systems  
1-888-444-1530

PROJECT NAME:  
**1005 Dundas Street Inc.**  
1005 Dundas Street, Oakville

DRAWING TITLE:  
**Irrigation Details**

SCALE:  
NTS

DATE:  
MAY 25, 2022

DRAWN BY:  
AF

CHECKED BY:  
AF/DP

DRAWING NUMBER:  
**IR3**

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Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on Landscape Architectural drawings. The locations shown on the Landscape Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Landscape Architect.

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- NOTES**
- REFER TO CIVIL AND ARCHITECTURAL FOR ALL MANHOLES AND AREA DRAINS.
  - REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING LAYOUT AND FIXTURE SPECIFICATIONS.
  - REFER TO DRAWING L300 FOR PLANTING PLAN.

- LEGEND**
- UNIT PAVING - TYPE 1  
Manufacturer: Cals  
Product: Pavedis  
Colour: Marble Grey (GR-30)  
Sewer Pattern: Corbeil/Neher
  - CONCRETE PAVING  
Finish: Light Broom
  - INTEGRALLY COLOURED CONCRETE PAVING  
Finish: Light Broom
  - ASPHALT PAVING
  - METAL GRATING
  - PLANTING BED
  - SOD
  - DECIDUOUS TREE
  - SERVICE CONNECTION
  - PROPERTY LINE

**ISSUE**

14	2022-10-06	ISSUED FOR CONSTRUCTION
13	2022-08-19	ISSUED FOR ADDENDUM 3
12	2022-08-10	REISSUED FOR SITE PLAN APPROVAL
11	2022-07-29	ISSUED FOR ADDENDUM 2
10	2022-06-29	REISSUED FOR PERMIT
9	2022-06-29	ISSUED FOR TENDER
8	2022-05-06	REISSUED FOR SITE PLAN APPROVAL
7	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
6	2022-03-21	ISSUED FOR PERMIT
5	2021-12-21	REISSUED FOR SITE PLAN APPROVAL
4	2021-11-08	REISSUED FOR SITE PLAN APPROVAL
3	2021-08-31	REISSUED FOR SITE PLAN APPROVAL
2	2021-04-20	REISSUED FOR SITE PLAN APPROVAL
1	2020-08-31	ISSUED FOR SITE PLAN APPROVAL



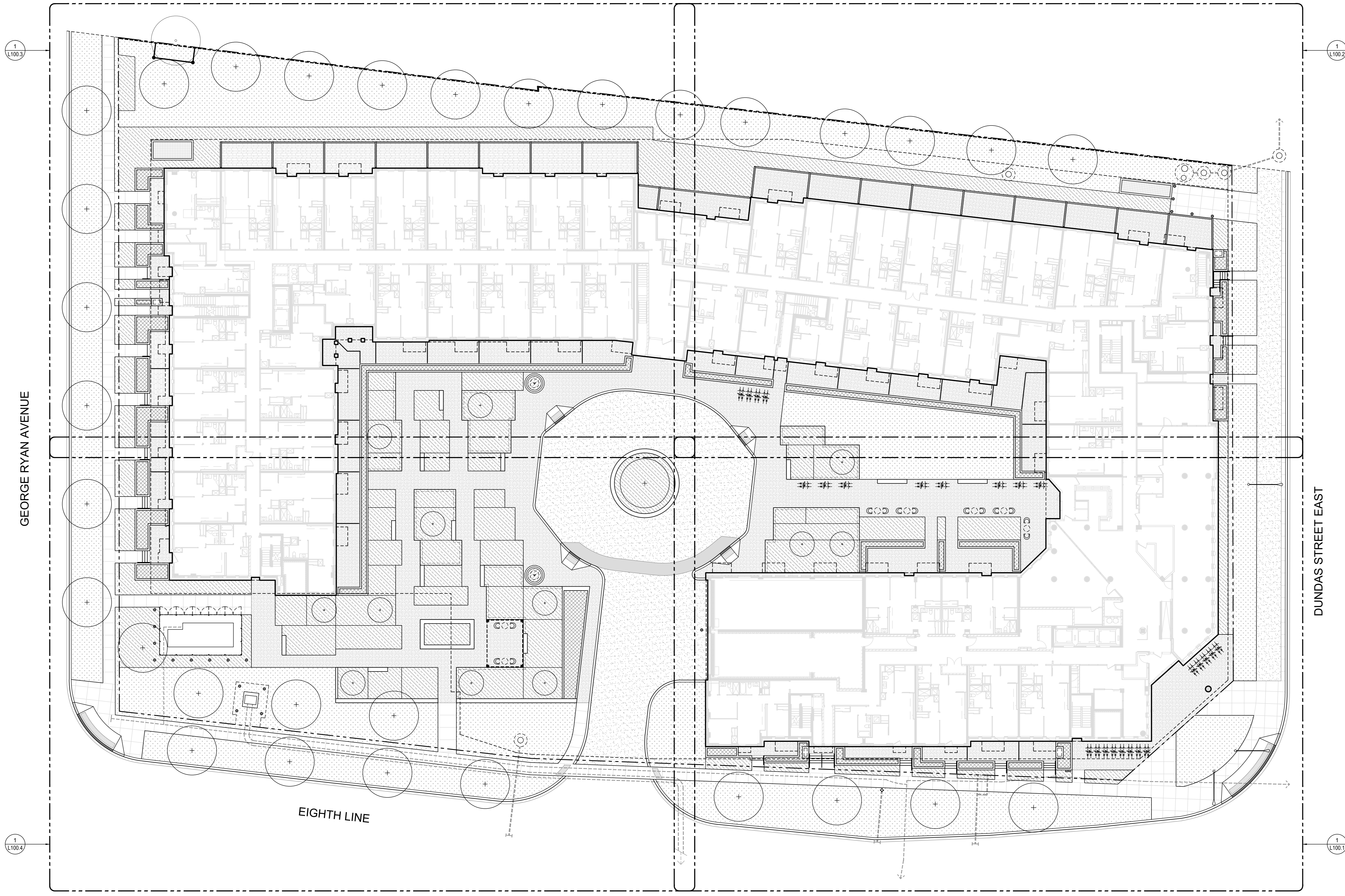
**Janet Rosenberg & Studio**  
Landscape Architecture and Urban Design  
4120 868 Street, #120 868 Street - Professional  
188 Richmond Avenue, Toronto Ontario M5C 2B3 Canada

**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
1005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

**GROUND FLOOR & STREETScape LANDSCAPE LAYOUT PLAN**

SCALE: 1:200  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

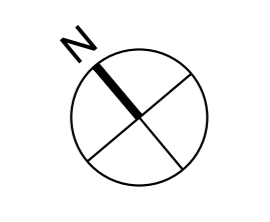


**FURNISHING SCHEDULE - GROUND FLOOR**

Quantity	Key	Manufacturer	Product Name	Type	Colour	Finish	Notes
<b>BIKE RACKS</b>							
25	A	Equiparc	EP 5990 Bike Rack	Bike Rack	Silver	Painted Aluminum	Inground mounting (UG); Refer to Detail 2, L502.
<b>FEATURE POTS</b>							
2	B	Serralunga	Big-Bo	Large Pot	Azzurro di Provenza	Polyethylene	Without light; Provide drainage holes at bottom with base layer of clear stone and filter fabric; Insulated; Irrigated; Plantings as per Plant List.
<b>BOLLARDS</b>							
19	C	Reliance Foundry	Bollard Cover R-7301	Bollard	N/A	Stainless Steel	Set screw installation option; Install on 4.5" diameter steel inner post cast into 12" diameter concrete foundation; Concrete foundation to be cast 200mm above grade.

**LUMINAIRE SCHEDULE - GROUND FLOOR**

Quantity	Key	Type	Notes
4	L1	Pole-Top Luminaire	Refer to electrical for specifications and additional information. Refer to Details 8-9, L502 for installation location.
8	L-1	Bollard	Refer to electrical for specifications and additional information. Refer to Details 5-6, L502 for footing details.
15	L2.1	Recessed Wall Luminaire	Refer to electrical for specifications and additional information.



**L100**

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  - REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LUMINAIRE SPECIFICATIONS.
  - REFER TO DRAWING L100 FOR FURNISHING & LUMINAIRE SCHEDULES.
  - REFER TO DRAWING L300.1 FOR PLANTING PLAN.

**LEGEND**

	UNIT PAVING - TYPE 1 Manufacturer: Gals Product: Pflisid Colour: Marble Grey (GR-30) Saw Pattern: Comb/Ankle
	CONCRETE PAVING Finish: Light Broom
	INTEGRALLY COLOURED CONCRETE PAVING Finish: Light Broom
	ASPHALT PAVING
	METAL GRATING
	PLANTING BED
	SOD
	DECIDUOUS TREE
	SERVICE CONNECTION
	PROPERTY LINE
	LUMINAIRES

- ISSUE**
- |   |            |                         |
|---|------------|-------------------------|
| 5 | 2022-10-06 | ISSUED FOR CONSTRUCTION |
| 4 | 2022-08-19 | ISSUED FOR ADDENDUM 2   |
| 3 | 2022-06-29 | ISSUED FOR ADDENDUM 2   |
| 2 | 2022-06-29 | ISSUED FOR PERMIT       |
| 1 | 2022-06-29 | ISSUED FOR TENDER       |



**Janet Rosenberg & Studio**  
Landscape Architecture and Urban Design  
1120 868 Street, #120 868 Street - Professional  
188 Richmond Avenue, Toronto Ontario M5C 2B3 Canada

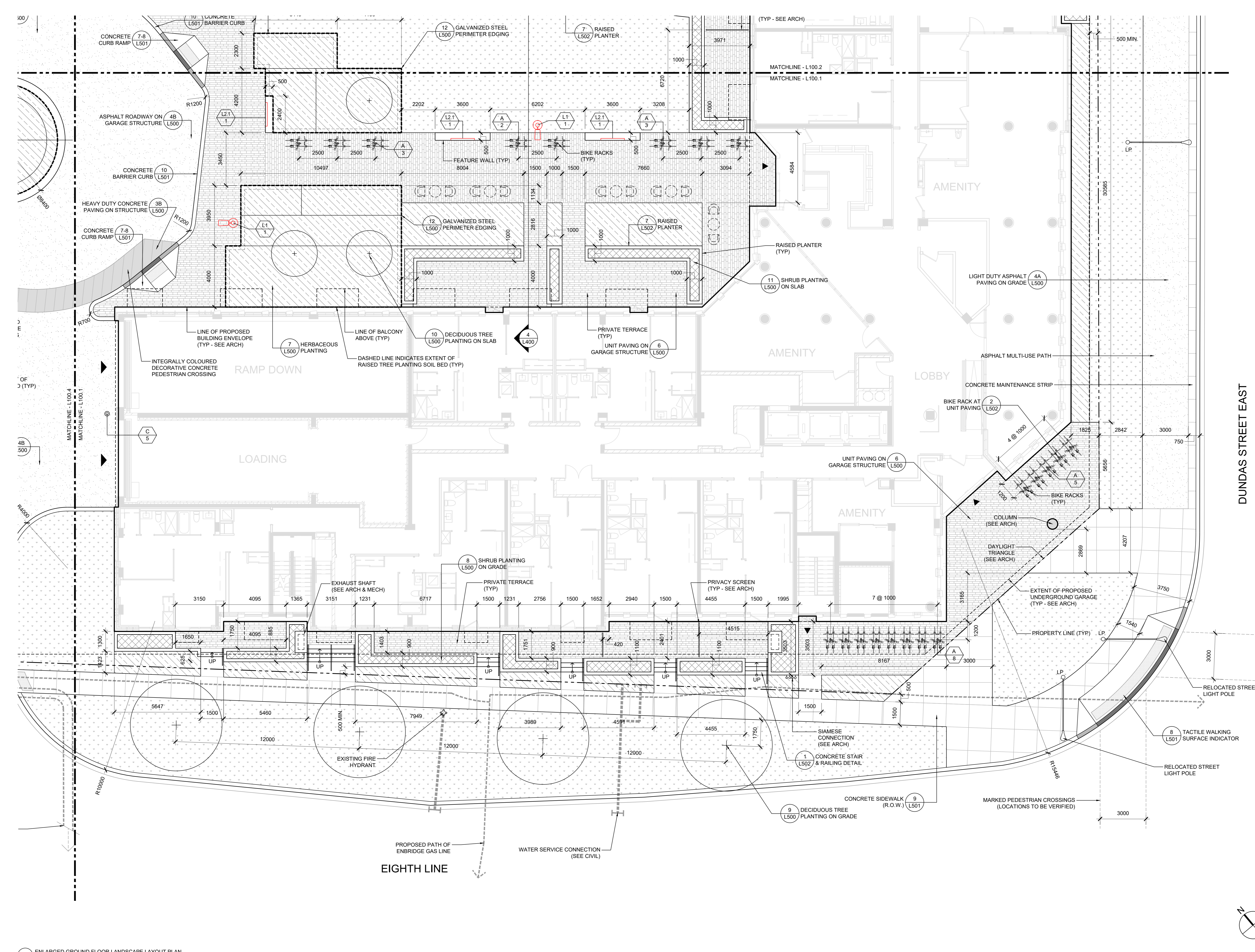
**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
2005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

**ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN PART 1 - SOUTHEAST**

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

# L100.1



1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1: 100

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- NOTES**
1. REFER TO CIVIL AND ARCHITECTURAL FOR ALL MANHOLES AND AREA DRAINS.
  2. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LUMINAIRE SPECIFICATIONS.
  3. REFER TO DRAWING L100 FOR FURNISHING & LUMINAIRE SCHEDULES.
  4. REFER TO DRAWING L300.2 FOR PLANTING PLAN.

**LEGEND**

	UNIT PAVING - TYPE 1 Manufacturer: Orla Product: Pflisid Colour: Marble Grey (GR-30) Saw Pattern: Combur/Anlie
	CONCRETE PAVING Finish: Light Broom
	INTEGRALLY COLOURED CONCRETE PAVING Finish: Light Broom
	ASPHALT PAVING
	METAL GRATING
	PLANTING BED
	SOD
	DECIDUOUS TREE
	SERVICE CONNECTION
	PROPERTY LINE
	LUMINAIRES

**ISSUE**

5	2022-10-06	ISSUED FOR CONSTRUCTION
4	2022-08-19	ISSUED FOR ADDENDUM 2
3	2022-06-29	ISSUED FOR ADDENDUM 2
2	2022-06-29	ISSUED FOR PERMIT
1	2022-06-29	ISSUED FOR TENDER



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188 Richmond Avenue, Toronto Ontario M5C 2B3 Canada

**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT**  
THE WILMOT CONDOS  
2005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

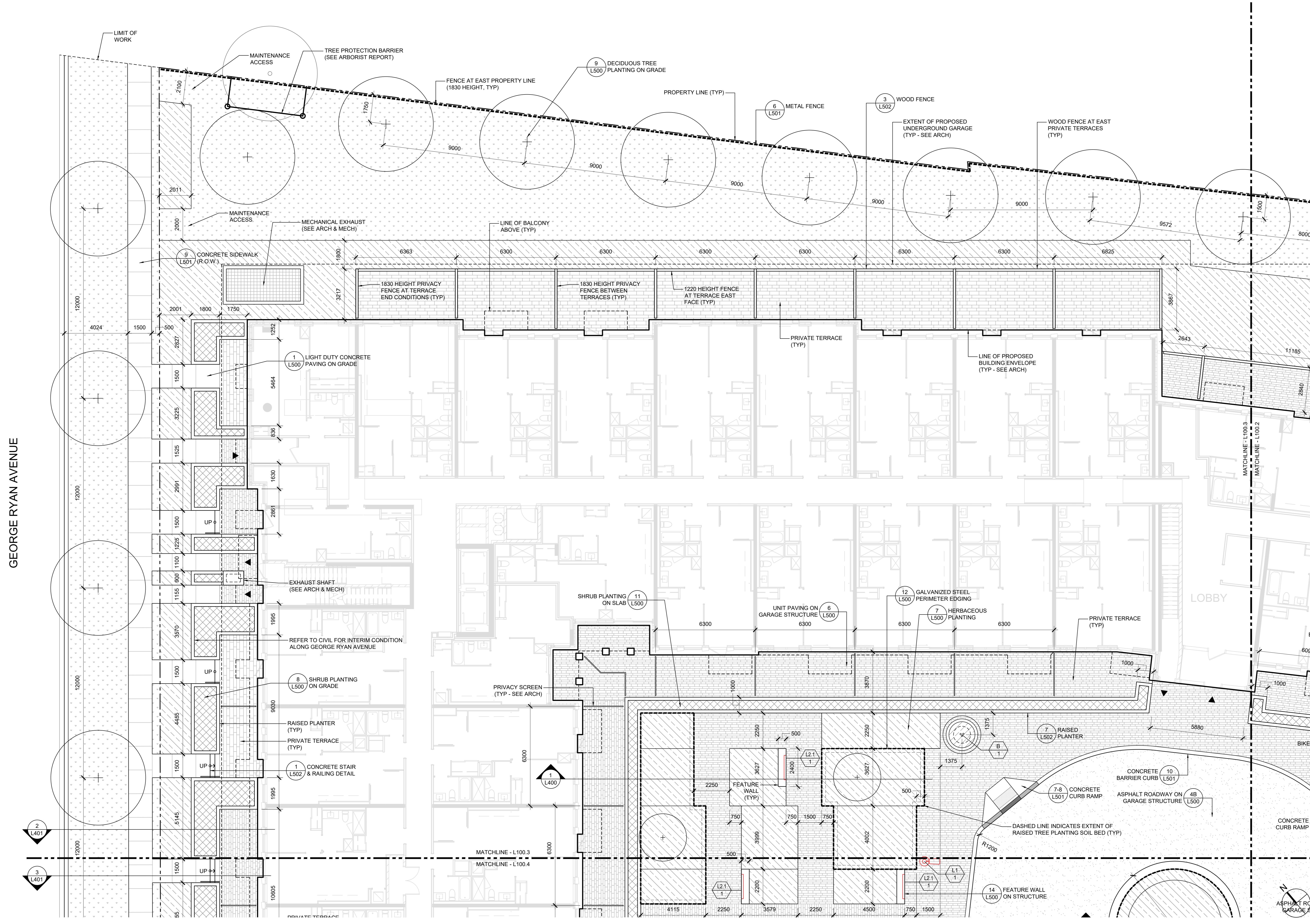
**ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN PART 2 - NORTHEAST**

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L100.2**



1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1: 100



1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1:100

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  3. REFER TO DRAWING L100 FOR FURNISHING & LUMINAIRE SCHEDULES.
  4. REFER TO DRAWING L300.3 FOR PLANTING PLAN.

**LEGEND**

- UNIT PAVING - TYPE 1  
Manufacturer: Cals  
Product: Ptesido  
Colour: Marble Grey (GR-30)  
Sewer Pattern: Corbel/Anker
- CONCRETE PAVING  
Finish: Light Broom
- INTEGRALLY COLOURED CONCRETE PAVING  
Finish: Light Broom
- ASPHALT PAVING
- METAL GRATING
- PLANTING BED
- SOD
- DECIDUOUS TREE
- SERVICE CONNECTION
- PROPERTY LINE
- LUMINAIRES

**ISSUE**

- 4 2022-10-06 ISSUED FOR CONSTRUCTION
- 3 2022-06-29 ISSUED FOR ADDENDUM 2
- 2 2022-06-29 ISSUED FOR PERMIT
- 1 2022-06-29 ISSUED FOR TENDER



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188 Richmond Avenue, Toronto, Ontario M5C 2B3 Canada

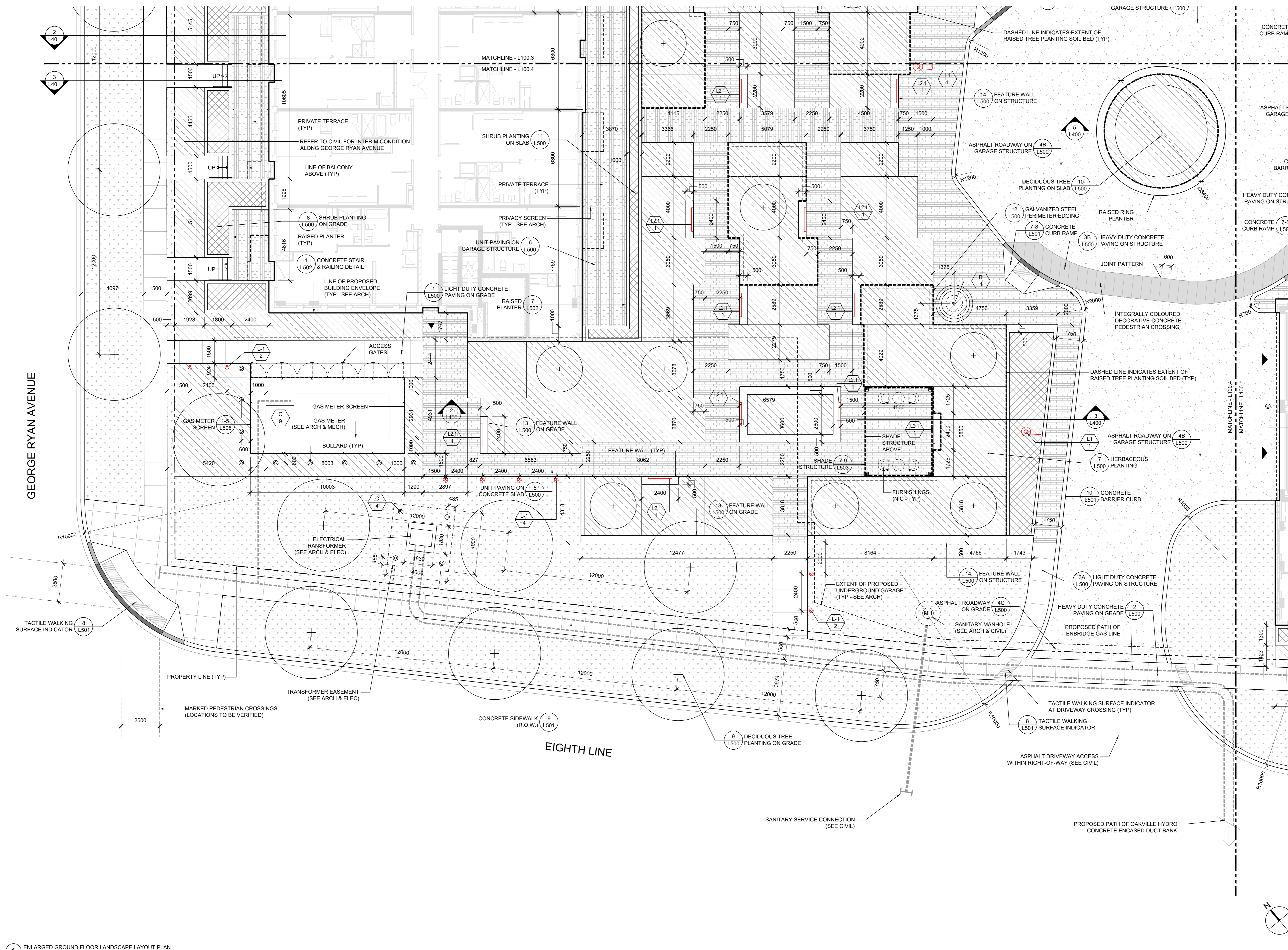
**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
1005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
PART 3 - NORTHWEST

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L100.3**



1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1:100

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  - REFER TO DRAWING L100 FOR FURNISHING & LUMINAIRE SCHEDULES.
  - REFER TO DRAWING L300.4 FOR PLANTING PLAN.

**LEGEND**

	UNIT PAVING - TYPE 1 Manufacturer: Gals Product: Pflsido Colour: Marble Grey (GR-30) Sewer Pattern: Corbeil/Anlier
	CONCRETE PAVING Finish: Light Broom
	INTEGRALLY COLOURED CONCRETE PAVING Finish: Light Broom
	ASPHALT PAVING
	METAL GRATING
	PLANTING BED
	SOD
	DECIDUOUS TREE
	SERVICE CONNECTION
	PROPERTY LINE
	LUMINAIRES

**ISSUE**

3	2022-10-06	ISSUED FOR CONSTRUCTION
2	2022-06-29	ISSUED FOR PERMIT
1	2022-08-29	ISSUED FOR TENDER



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**1005 DUNDAS STREET INC.**  
DEVELOPMENT

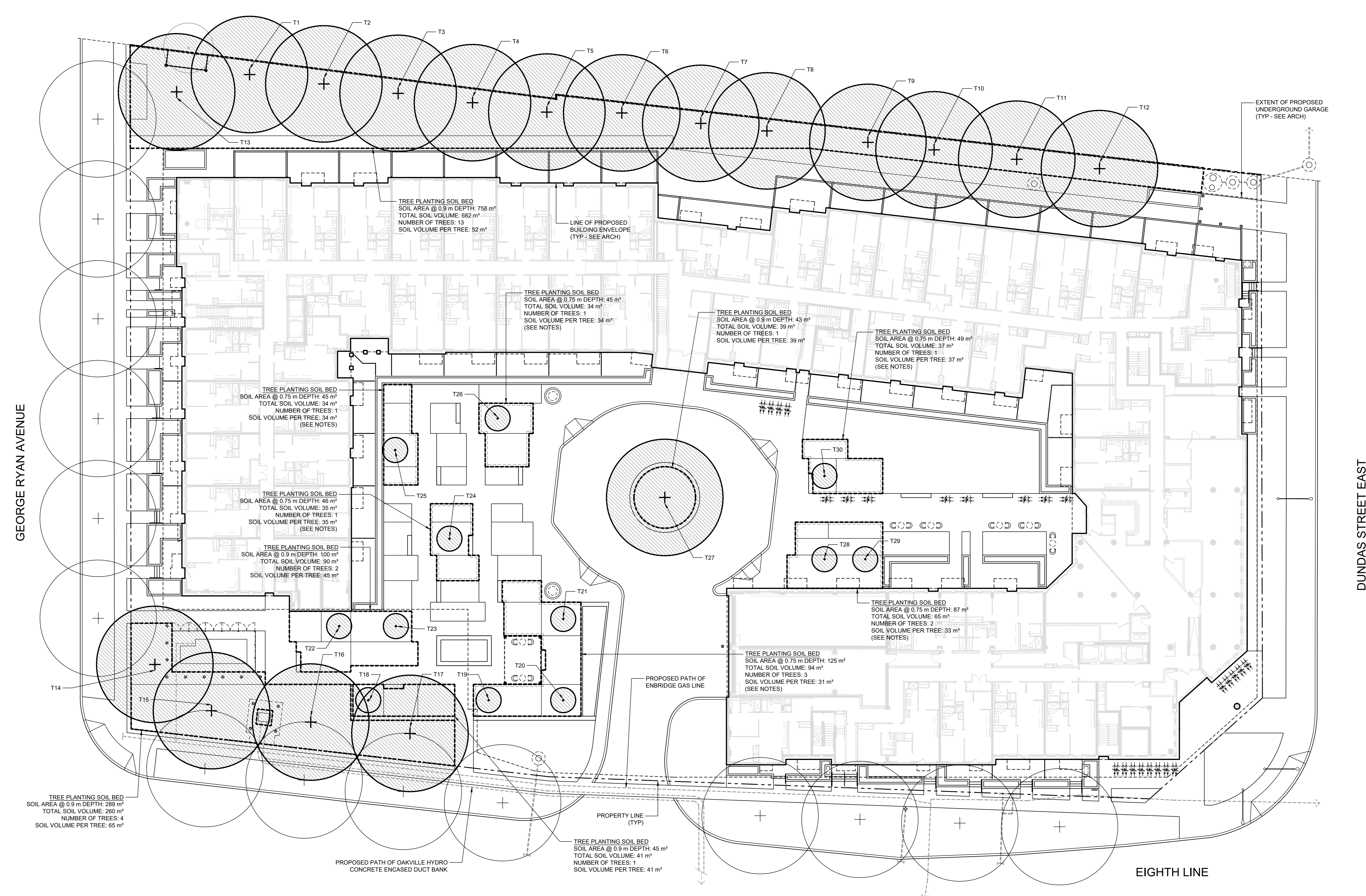
**THE WILMOT** THE WILMOT CONDOS  
1005 DUNDAS STREET EAST  
OKVILLE, ON L6H 7E8

ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
PART 4 - SOUTHWEST

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L100.4**





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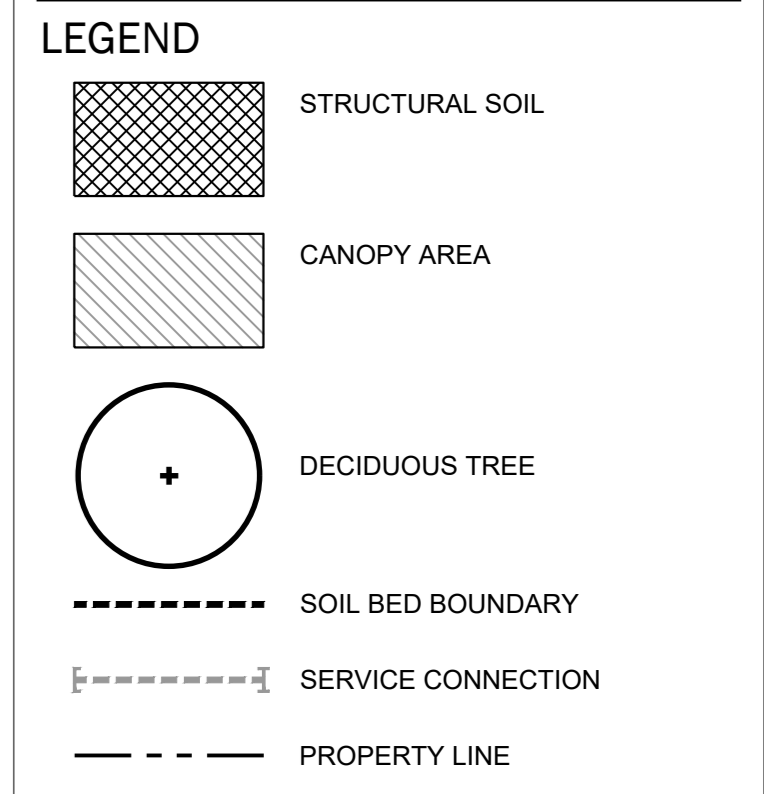
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- NOTES**
- REFER TO DRAWING L111 FOR CANOPY COVER PLAN AT STREETScape.
  - REFER TO DRAWING L300 FOR PLANTING PLAN.
  - ALL COURTYARD TREE PLANTING SOIL BEDS ON GARAGE SLAB TO BE RAISED TO ALLOW FOR MINIMUM 0.75 METER SOIL DEPTH.



**ISSUE**

14	2022-10-06	ISSUED FOR CONSTRUCTION
13	2022-08-19	ISSUED FOR ADDENDUM 3
12	2022-08-10	REISSUED FOR SITE PLAN APPROVAL
11	2022-07-29	ISSUED FOR ADDENDUM 2
10	2022-06-29	REISSUED FOR PERMIT
9	2022-06-29	ISSUED FOR TENDER
8	2022-06-06	REISSUED FOR SITE PLAN APPROVAL
7	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
6	2022-03-21	ISSUED FOR PERMIT
5	2021-12-21	REISSUED FOR SITE PLAN APPROVAL
4	2021-11-08	REISSUED FOR SITE PLAN APPROVAL
3	2021-08-31	REISSUED FOR SITE PLAN APPROVAL
2	2021-04-20	REISSUED FOR SITE PLAN APPROVAL
1	2020-08-31	ISSUED FOR SITE PLAN APPROVAL



**Janet Rosenberg & Studio**  
 Landscape Architecture and Urban Design  
 1120 BIRCH BLVD. #120 BIRCH BLVD. #1200  
 188 HURON AVENUE, TORONTO, ONTARIO M5C 2B3 CANADA

**1005 DUNDAS STREET INC.**  
 DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
 1005 DUNDAS STREET EAST  
 OAKVILLE, ON L6H 7E8

**CANOPY COVER PLAN (ON-SITE CONDITION)**

SCALE: 1:200  
 DRAWN: M. MITCHELL  
 CHECKED: W. SWANTON  
 PROJECT NUMBER: 20-015  
 DRAWING DATE: 2020-08-21

**CANOPY CALCULATION CHART**

FILE NUMBER: SP 1310.00101  
 FILE NAME: 1005 DUNDAS STREET E & 3033 EIGHTH LINE  
 CANOPY COVER TARGET: 20%

**PROPOSED CANOPY ON SITE**

Tree #	Species	Stature (S,M,L)	Soil Volume per Tree (m3)	Canopy Area (m2)	Canopy Area Total (m2)
T1	Acer saccharum 'Fall Fiesta'	L	52		
T2	Liriodendron tulipifera	L	52		
T3	Acer saccharum 'Fall Fiesta'	L	52		
T4	Liriodendron tulipifera	L	52		
T5	Acer saccharum 'Fall Fiesta'	L	52		
T6	Liriodendron tulipifera	L	52		
T7	Acer saccharum	L	52		
T8	Quercus palustris	L	52		
T9	Acer saccharum	L	52		
T10	Quercus palustris	L	52		
T11	Acer saccharum	L	52		
T12	Acer saccharum	L	52		
T13	Liriodendron tulipifera	L	52		

1612

Tree #	Species	Stature (S,M,L)	Soil Volume per Tree (m3)	Canopy Area (m2)	Canopy Area Total (m2)
T14	Acer x freemanii 'Marmo'	L	65		
T15	Ulmus x 'Pioneer'	L	65		
T16	Acer x freemanii 'Marmo'	L	65		
T17	Ulmus x 'Pioneer'	L	65		
T18	Fagus grandiflora 'Dawyc Green'	S	41	1	
T19	Fagus grandiflora 'Dawyc Green'	S	31	7	
T20	Fagus grandiflora 'Dawyc Green'	S	31	7	
T21	Fagus grandiflora 'Dawyc Green'	S	31	7	
T22	Fagus grandiflora 'Dawyc Green'	S	45	7	
T23	Fagus grandiflora 'Dawyc Green'	S	45	7	
T24	Fagus grandiflora 'Dawyc Green'	S	35	7	
T25	Fagus grandiflora 'Dawyc Green'	S	34	7	
T26	Fagus grandiflora 'Dawyc Green'	S	34	7	
T27	Acer x freemanii 'Autumn Blaze'	L	39	154	
T28	Fagus grandiflora 'Dawyc Green'	S	33	7	
T29	Fagus grandiflora 'Dawyc Green'	S	33	7	
T30	Fagus grandiflora 'Dawyc Green'	S	37	7	
<b>Total # of Trees</b>			<b>30</b>	<b>Total Canopy Area</b>	<b>2401</b>

**CANOPY SUMMARY**

Total Site Area	10780
Site Canopy Cover	22%
Canopy Cover Target by Land Use	20%

**PARKING AREA SUMMARY**

Total Surface Parking Spaces Proposed	0
Total # of Trees in or within 5m of Surface Parking Area	N/A

**L110**

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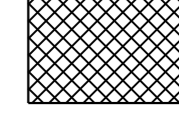

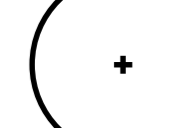



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**NOTES**

- REFER TO DRAWING L110 FOR CANOPY COVER PLAN AT ON-SITE CONDITION.
- REFER TO DRAWING L300 FOR PLANTING PLAN.

**LEGEND**

-  STRUCTURAL SOIL
-  CANOPY AREA
-  DECIDUOUS TREE
-  SOIL BED BOUNDARY
-  SERVICE CONNECTION
-  PROPERTY LINE

**ISSUE**

14	2022-10-06	ISSUED FOR CONSTRUCTION
13	2022-08-19	ISSUED FOR ADDENDUM 3
12	2022-08-10	REISSUED FOR SITE PLAN APPROVAL
11	2022-07-29	ISSUED FOR ADDENDUM 2
10	2022-06-29	REISSUED FOR PERMIT
9	2022-06-29	ISSUED FOR TENDER
8	2022-06-06	REISSUED FOR SITE PLAN APPROVAL
7	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
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3	2021-08-31	REISSUED FOR SITE PLAN APPROVAL
2	2021-04-20	REISSUED FOR SITE PLAN APPROVAL
1	2020-08-31	ISSUED FOR SITE PLAN APPROVAL



**Janet Rosenberg & Studio**  
 Landscape Architecture and Urban Design  
 1120 8th Street, #120 8th Floor • Toronto, Ontario M5C 2B3 Canada  
 416-593-8888 • 416-593-8888 • www.janetrosenberg.com

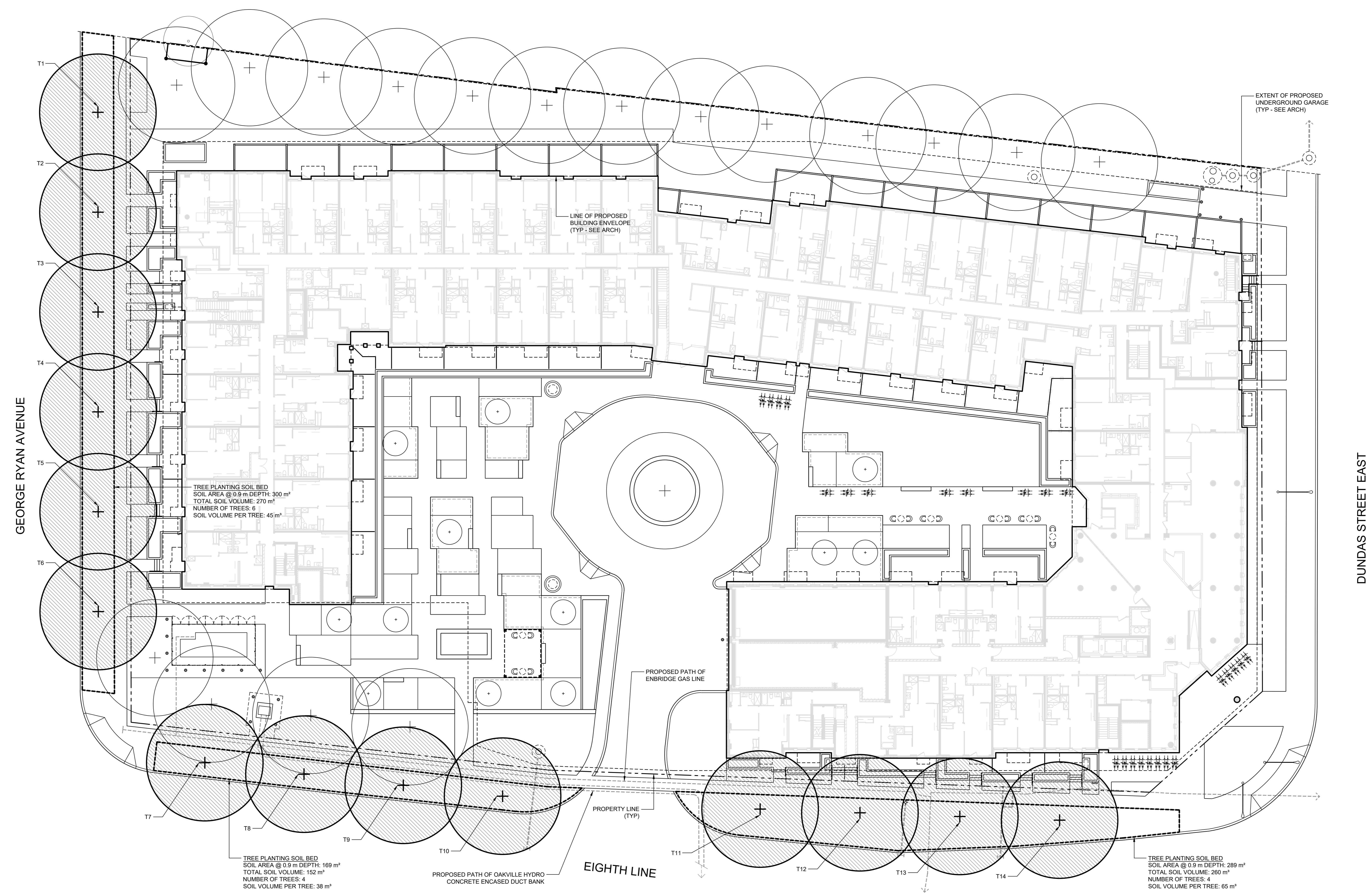
**1005 DUNDAS STREET INC.**  
 DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
 1005 DUNDAS STREET EAST  
 OAKVILLE, ON L6H 7E8

**CANOPY COVER PLAN (STREETSCAPE)**

SCALE: 1:200  
 DRAWN: M. MITCHELL  
 CHECKED: W. SWANTON  
 PROJECT NUMBER: 20-015  
 DRAWING DATE: 2020-08-21

**L111**



**CANOPY CALCULATION CHART**

FILE NUMBER: N/A  
 FILE NAME: N/A  
 CANOPY COVER TARGET: 34%

Tree #	Species	Stature (S.M.L.)	Soil Volume per Tree (m3)	Canopy Area (m2)	Canopy Area Total (m2)
<b>PROPOSED CANOPY ON SITE</b>					
T1	Liriodendron tulipifera	L	45	875	
T2	Celtis occidentalis	L	45		
T3	Acer x freemanii 'Autumn Blaze'	L	45		
T4	Celtis occidentalis	L	45		
T5	Acer x freemanii 'Autumn Blaze'	L	45		
T6	Celtis occidentalis	L	45	586	
T7	Ulmus x 'Pioneer' (TBC)	L	38		
T8	Acer x freemanii 'Marmo' (TBC)	L	38		
T9	Ulmus x 'Pioneer' (TBC)	L	38		
T10	Acer x freemanii 'Marmo' (TBC)	L	38		

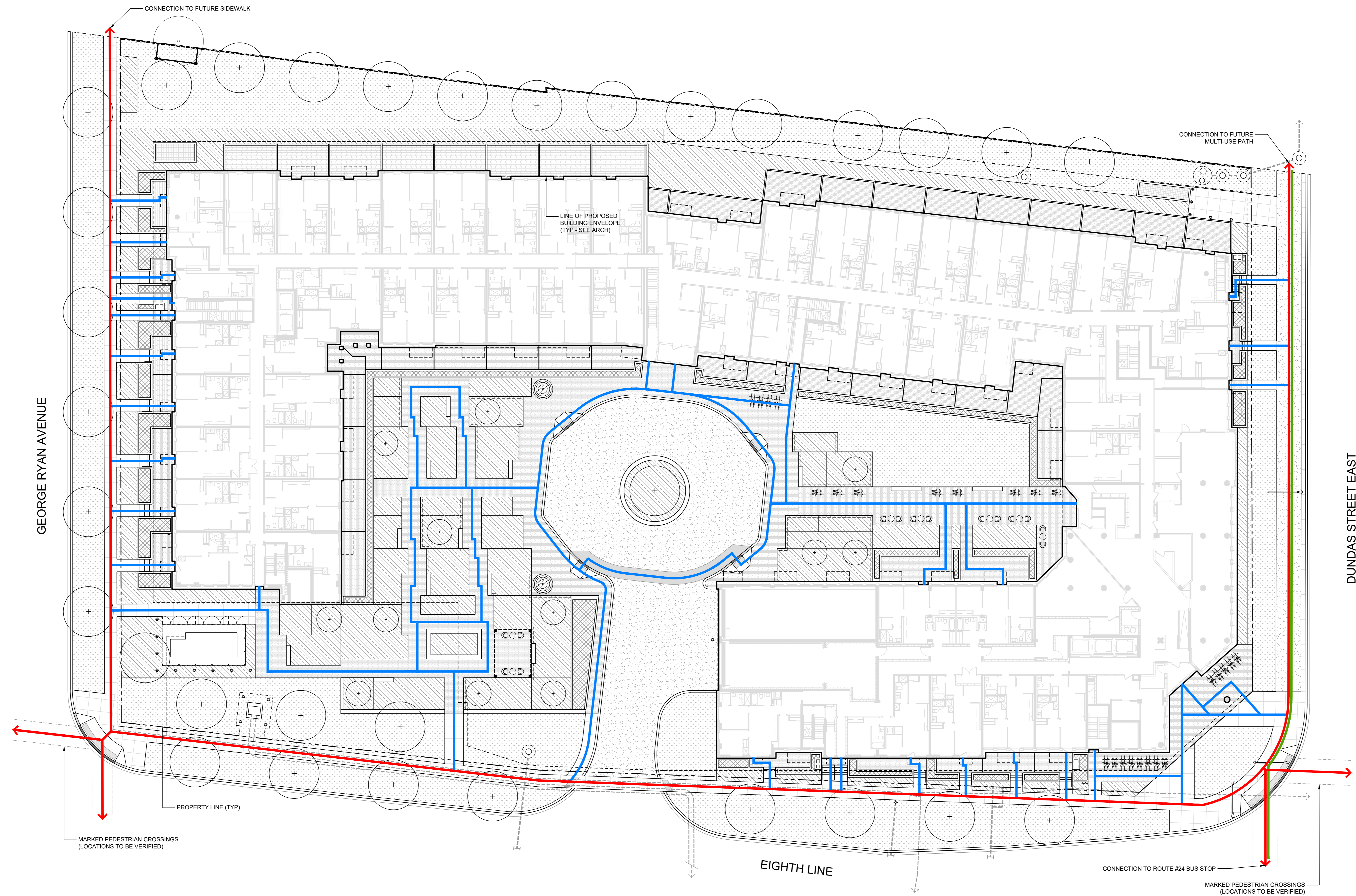
Tree #	Species	Stature (S.M.L.)	Soil Volume per Tree (m3)	Canopy Area (m2)	Canopy Area Total (m2)
<b>PROPOSED CANOPY ON SITE</b>					
T11	Acer x freemanii 'Marmo' (TBC)	L	65	586	
T12	Ulmus x 'Pioneer' (TBC)	L	65		
T13	Acer x freemanii 'Marmo' (TBC)	L	65		
T14	Ulmus x 'Pioneer' (TBC)	L	65		
<b>Total # of Trees</b>		14		<b>Total Canopy Area</b>	2047

**CANOPY SUMMARY**

Total Site Area	5180
Site Canopy Cover	40%
Canopy Cover Target by Land Use	34%

**PARKING AREA SUMMARY**

Total Surface Parking Spaces Proposed	0
Total # of Trees in or within 5m of Surface Parking Area	N/A



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**NOTES**

- LEGEND**
- UNIT PAVING
  - CONCRETE PAVING
  - INTEGRALLY COLOURED CONCRETE PAVING  
Finish: Light Brown
  - ASPHALT PAVING
  - METAL GRATING
  - PLANTING BED
  - SOD
  - DECIDUOUS TREE
  - PROPERTY LINE
  - SIDEWALK / CROSSING
  - MULTI-USE PATH
  - ON-SITE WALKWAY

**ISSUE**

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12	2022-08-10	REISSUED FOR SITE PLAN APPROVAL
11	2022-07-29	ISSUED FOR ADDENDUM 2
10	2022-06-29	REISSUED FOR PERMIT
9	2022-06-29	ISSUED FOR TRACKER
8	2022-06-06	REISSUED FOR SITE PLAN APPROVAL
7	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
6	2022-03-21	ISSUED FOR PERMIT
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4	2021-11-08	REISSUED FOR SITE PLAN APPROVAL
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1	2020-08-31	ISSUED FOR SITE PLAN APPROVAL

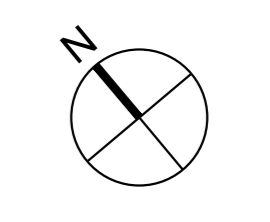


**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
2005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

**PEDESTRIAN CIRCULATION PLAN**

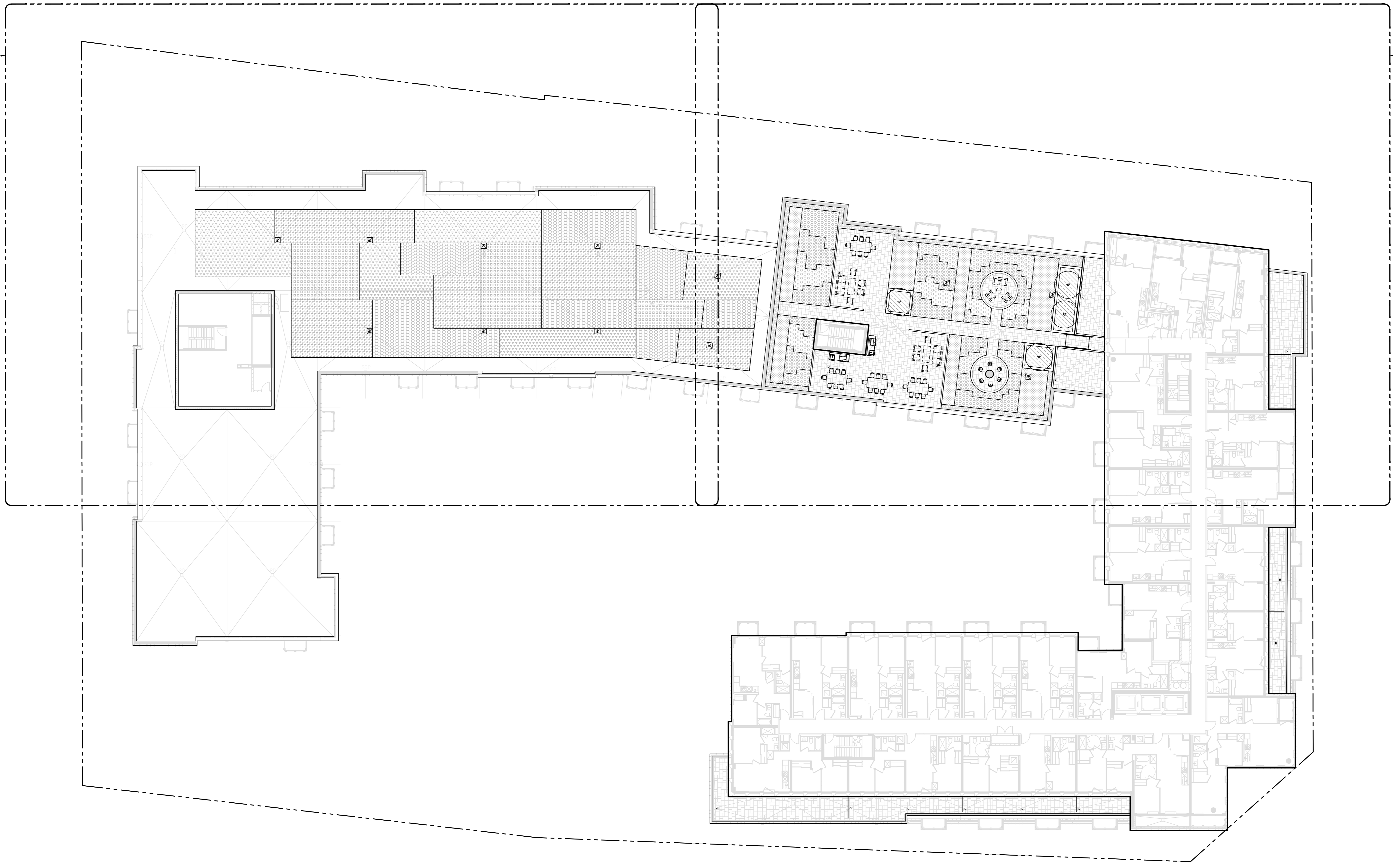
SCALE: 1:200  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21



**L112**

2  
L170.2

1  
L170.1



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- NOTES**
- REFER TO ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL LAYOUT INFORMATION
  - REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR AMENITY LIGHTING LAYOUT AND FIXTURE SPECIFICATIONS.

**LEGEND**

	<b>UNIT PAVING - TYPE 2</b> Manufacturer: Oak Product: Rialto Colour: Marble Grey (GR-30) Saw Pattern: Control L/Sloper
	<b>RIVER STONE</b> Manufacturer: Mat-Co Stone Product: Algonquin River Rock Size: 1"-2" (25-50mm)
	<b>PLANTING BED</b>
	<b>GREEN ROOF - TYPE 1A</b> Manufacturer: LiveRoof Product: LiveRoof Deep Depth: 16cm
	<b>GREEN ROOF - TYPE 1B</b> Manufacturer: LiveRoof Product: LiveRoof Deep Depth: 16cm
	<b>GREEN ROOF - TYPE 1C</b> Manufacturer: LiveRoof Product: LiveRoof Deep Depth: 16cm
	<b>GREEN ROOF - TYPE 2A</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>GREEN ROOF - TYPE 2B</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>GREEN ROOF - TYPE 2C</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>GREEN ROOF - TYPE 2D</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>PROPERTY LINE</b>

**ISSUE**

11	2022-10-06	ISSUED FOR CONSTRUCTION
10	2022-08-10	REISSUED FOR SITE PLAN APPROVAL
9	2022-06-29	REISSUED FOR PERMIT
8	2022-06-29	ISSUED FOR TENDER
7	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
6	2022-03-21	ISSUED FOR PERMIT
5	2021-12-21	REISSUED FOR SITE PLAN APPROVAL
4	2021-11-08	REISSUED FOR SITE PLAN APPROVAL
3	2021-08-31	REISSUED FOR SITE PLAN APPROVAL
2	2021-04-20	REISSUED FOR SITE PLAN APPROVAL
1	2020-08-31	ISSUED FOR SITE PLAN APPROVAL



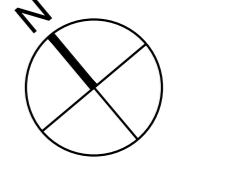
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4120 868 Street, #120 868 Street - www.jrostudio.com  
188 Richmond Avenue, Toronto, Ontario, M5C 2S3 Canada

**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
1005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

**LEVEL 7 AMENITY TERRACE & LEVEL 5 GREEN ROOF LANDSCAPE LAYOUT PLAN**

SCALE: 1:200  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21



**L170**

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**NOTES**

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2. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR AMENITY LIGHTING LAYOUT AND FIXTURE SPECIFICATIONS.

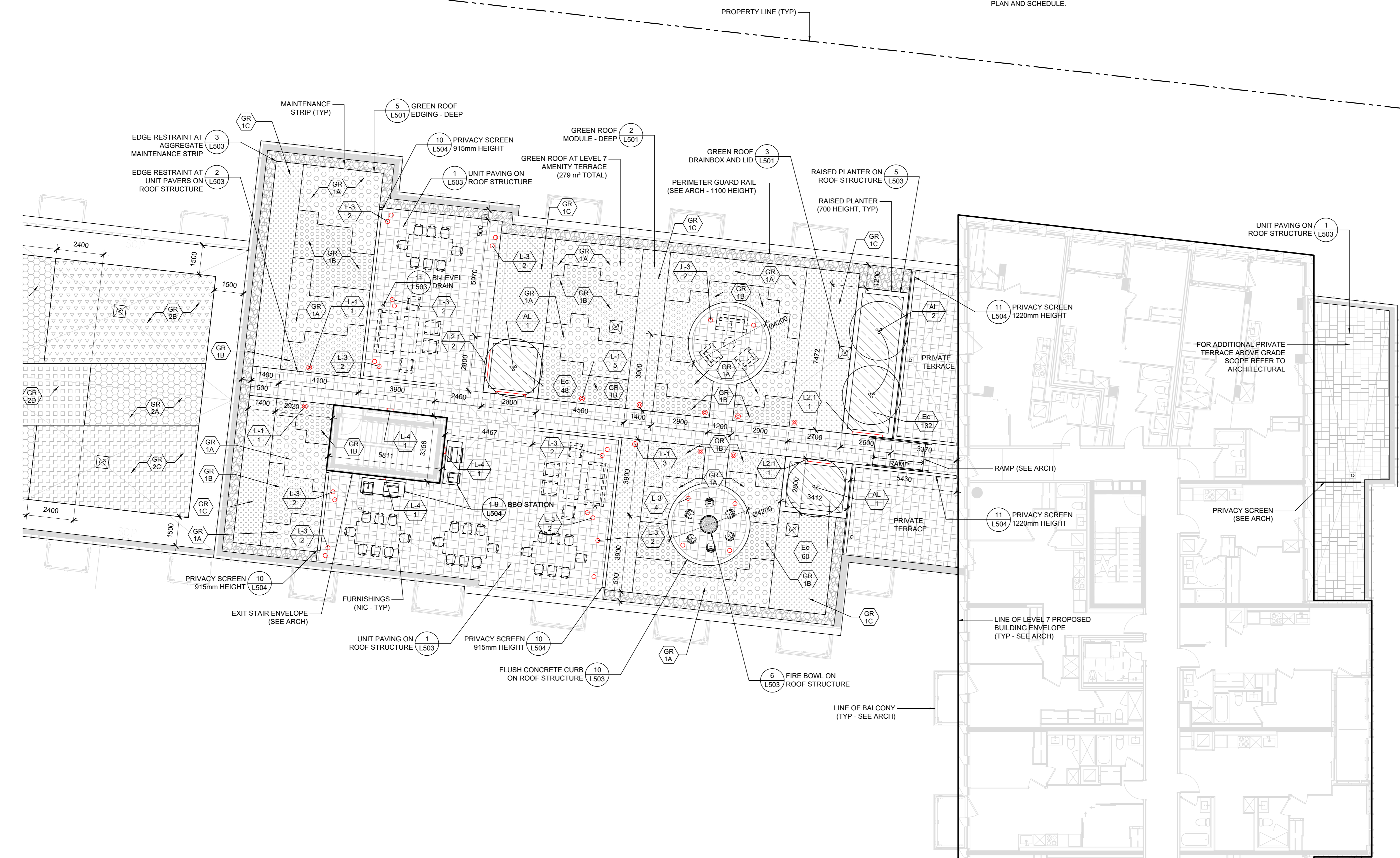
**LUMINAIRE SCHEDULE - LEVEL 7 AMENITY TERRACE**

Quantity	Key	Type	Notes
10	L-1	Bollard	Refer to electrical for specifications and additional information. Refer to Detail 4, L503 for footing detail.
4	L-2.1	Recessed Wall Luminaire	Refer to electrical for specifications and additional information. Refer to Details 5, L503 for installation location.
24	L-3	Floor Lantern	Refer to electrical for specifications and additional information.
3	L-4	Wall Luminaire	Refer to electrical and architectural for specifications and additional information.

**PLANT SCHEDULE - LEVEL 7 AMENITY TERRACE**

Qty	Key	Botanical Name	Common Name	Size	Notes
<b>DECIDUOUS TREES</b>					
4	AL	<i>Ametanchnier laevis</i>	Allegheny Serviceberry	clump 250cm WB	Multi-stem.
<b>SHRUBS</b>					
240	Ec	<i>Euonymus fortunei 'Coloratus'</i>	Wintercreeper euonymus	1 gal	

**PLANTING NOTES:**  
 1) PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS FOR NURSERY STOCK, LATEST EDITION.  
 2) CONTRACTOR TO VERIFY QUANTITIES LISTED ON SCHEDULE. PLANT QUANTITIES TO BE PROVIDED AS SHOWN ON PLAN IN CASE OF DISCREPANCIES BETWEEN PLAN AND SCHEDULE.



**LEGEND**

- UNIT PAVING - TYPE 2  
Manufacturer: Orla  
Product: Rialto  
Colour: Marble Grey (GR-30)  
Size: 150mm x 150mm x 20mm
- RIVER STONE  
Manufacturer: Mat-Co Stone  
Product: Algonquin River Rock  
Size: 1"-2" (25-50mm)
- PLANTING BED
- GREEN ROOF - TYPE 1A  
Manufacturer: LinRoof  
Product: LinRoof Deep  
Depth: 10cm
- GREEN ROOF - TYPE 1B  
Manufacturer: LinRoof  
Product: LinRoof Deep  
Depth: 10cm
- GREEN ROOF - TYPE 1C  
Manufacturer: LinRoof  
Product: LinRoof Deep  
Depth: 10cm
- PROPERTY LINE
- LUMINAIRES

**ISSUE**

- 4 2022-10-06 ISSUED FOR CONSTRUCTION
- 3 2022-07-22 ISSUED FOR ADDENDUM 1
- 2 2022-06-29 ISSUED FOR PERMIT
- 1 2022-06-29 ISSUED FOR TENDER



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 158 Adelaide Avenue, Toronto, Ontario, M5C 2B3 Canada

**1005 DUNDAS STREET INC.**  
 DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
 1005 DUNDAS STREET EAST  
 OAKVILLE, ON L6H 7E8

**ENLARGED LEVEL 7 AMENITY TERRACE LANDSCAPE LAYOUT & PLANTING PLAN**

SCALE: AS NOTED  
 DRAWN: M. MITCHELL  
 CHECKED: W. SWANTON  
 PROJECT NUMBER: 20-015  
 DRAWING DATE: 2020-08-21

**L170.1**

1 ENLARGED LEVEL 7 AMENITY TERRACE LANDSCAPE LAYOUT PLAN  
 SCALE: 1:100

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**NOTES**  
1. REFER TO ARCHITECTURAL FOR ADDITIONAL LAYOUT INFORMATION.

**LEGEND**

	<b>GREEN ROOF - TYPE 2A</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>GREEN ROOF - TYPE 2B</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>GREEN ROOF - TYPE 2C</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>GREEN ROOF - TYPE 2D</b> Manufacturer: LiveRoof Product: LiveRoof Standard Depth: 11cm
	<b>PROPERTY LINE</b>

**ISSUE**

- 3 2022-10-06 ISSUED FOR CONSTRUCTION
- 2 2022-06-29 ISSUED FOR PERMIT
- 1 2022-06-29 ISSUED FOR TENDER



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DEVELOPMENT

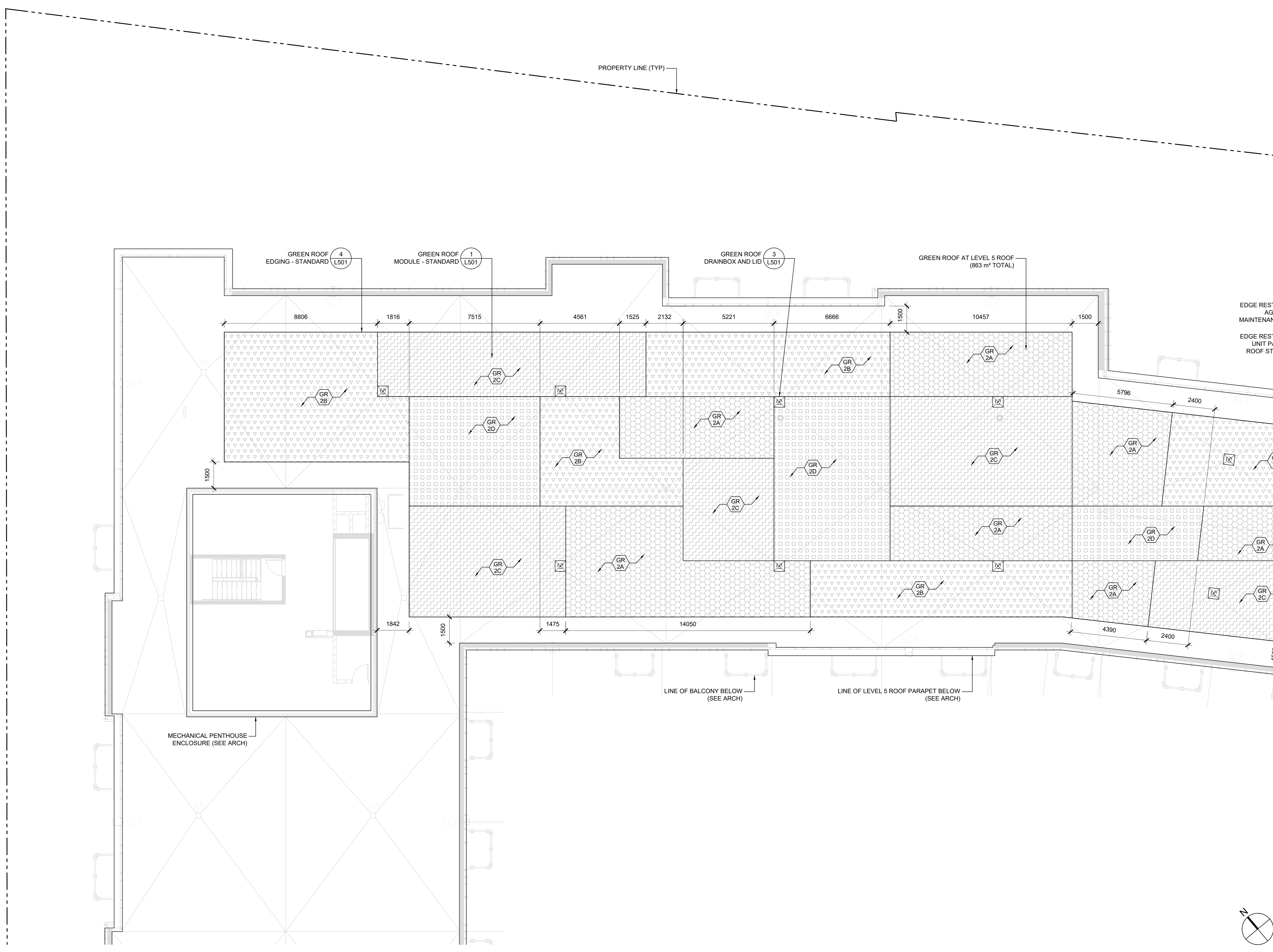
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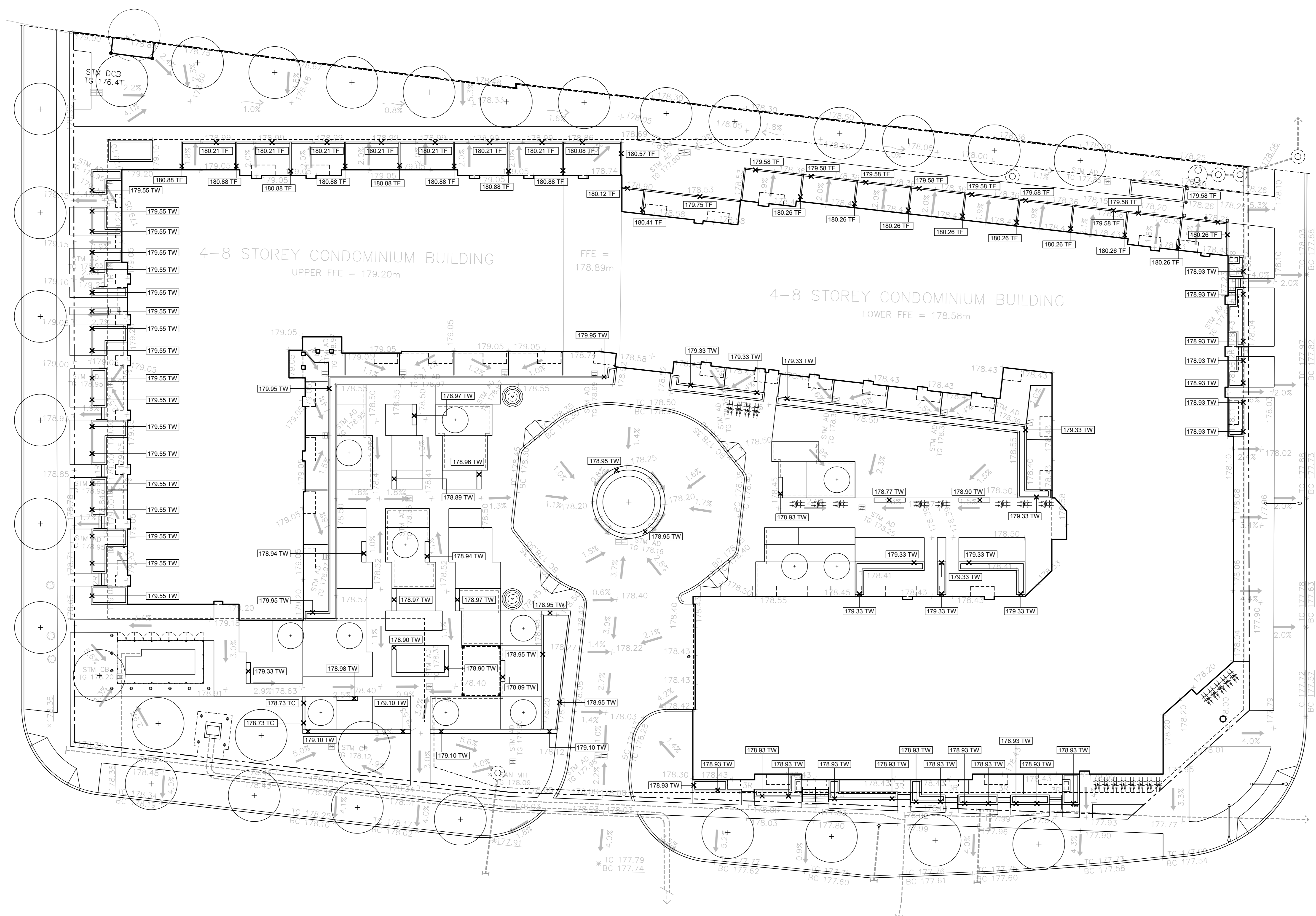
**ENLARGED LEVEL 5 GREEN ROOF LANDSCAPE LAYOUT PLAN**

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L170.2**

1 ENLARGED LEVEL 5 AMENITY GREEN ROOF LANDSCAPE LAYOUT PLAN  
SCALE: 1:100





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- NOTES**
- REFER TO CIVIL AND ARCHITECTURAL FOR ALL MANHOLES AND AREA DRAINS.
  - REFER TO CIVIL, ARCHITECTURAL, MECHANICAL, IRRIGATION AND ELECTRICAL FOR ADDITIONAL SUBGRADE FEATURES.
  - THIS DRAWING TO BE READ IN CONJUNCTION WITH CIVIL SITE GRADING PLAN (C 103) AND ARCHITECTURAL SITE PLAN (A0 04).

- LEGEND**
- DECIDUOUS TREE
  - SERVICE CONNECTION
  - PROPERTY LINE
  - SPOT ELEVATION (TOP OF CURB)
  - SPOT ELEVATION (TOP OF FENCE)
  - SPOT ELEVATION (TOP OF WALL)

**ISSUE**

1 2022-10-06 ISSUED FOR CONSTRUCTION



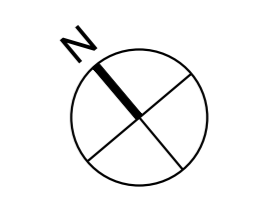
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 155 HURON AVENUE, TORONTO, ONTARIO M5C 2B3 CANADA

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**THE WILMOT** THE WILMOT CONDOS  
 1005 DUNDAS STREET EAST  
 OAKVILLE, ON L6H 7E8

**GROUND FLOOR & STREETSCAPE LANDSCAPE GRADING PLAN**

SCALE: 1:200  
 DRAWN: M. MITCHELL  
 CHECKED: W. SWANTON  
 PROJECT NUMBER: 20-015  
 DRAWING DATE: 2020-08-21



**L200**

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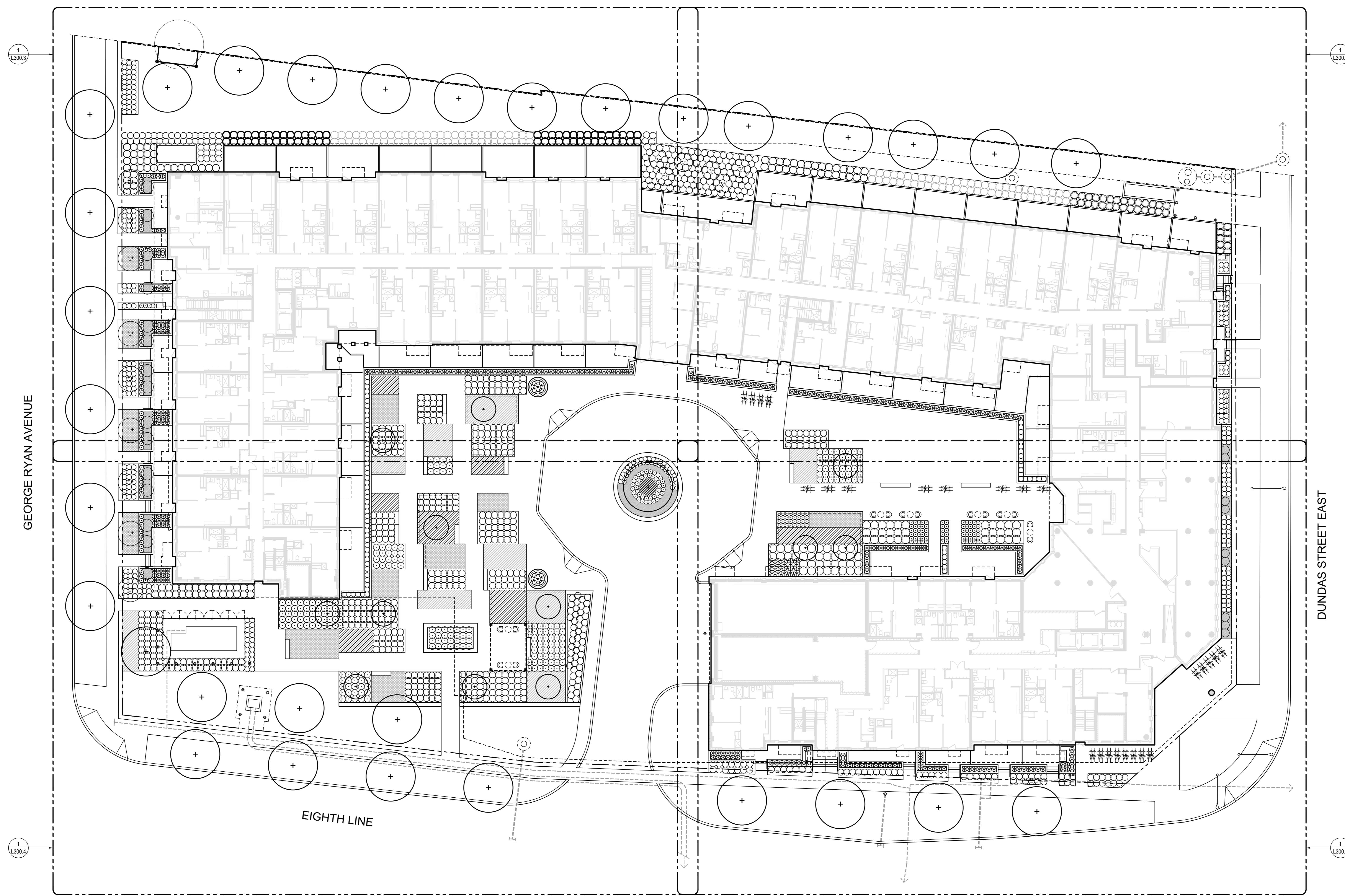
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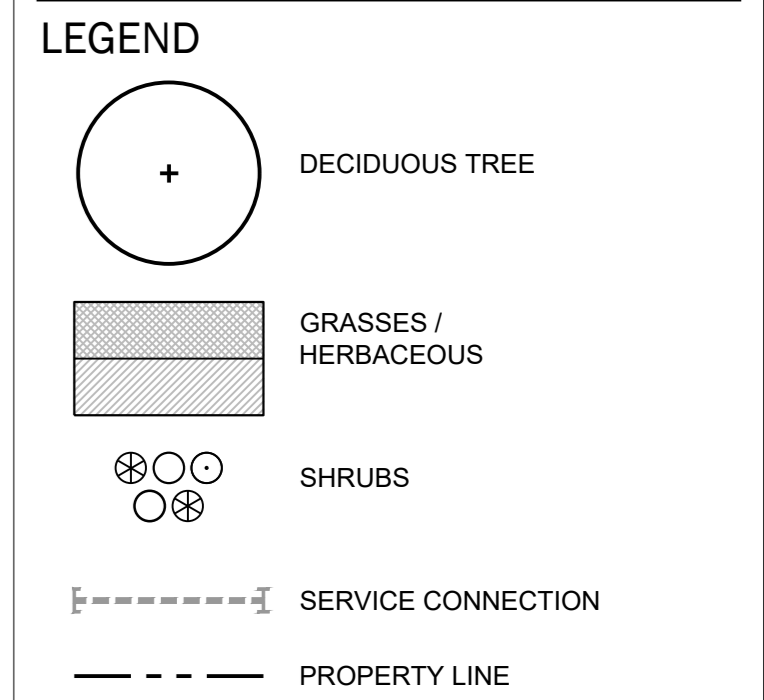
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**ISSUE**

14	2022-10-06	ISSUED FOR CONSTRUCTION
13	2022-08-19	ISSUED FOR ADDENDUM 3
12	2022-08-10	REISSUED FOR SITE PLAN APPROVAL
11	2022-07-29	ISSUED FOR ADDENDUM 2
10	2022-06-29	REISSUED FOR PERMIT
9	2022-06-29	ISSUED FOR TENDER
8	2022-05-06	REISSUED FOR SITE PLAN APPROVAL
7	2022-04-11	REISSUED FOR SITE PLAN APPROVAL
6	2022-03-21	ISSUED FOR PERMIT
5	2021-12-21	REISSUED FOR SITE PLAN APPROVAL
4	2021-11-08	REISSUED FOR SITE PLAN APPROVAL
3	2021-08-31	REISSUED FOR SITE PLAN APPROVAL
2	2021-04-20	REISSUED FOR SITE PLAN APPROVAL
1	2020-08-31	ISSUED FOR SITE PLAN APPROVAL



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 148 Richmond Avenue, Toronto, Ontario, M6C 2R3 Canada

**1005 DUNDAS STREET INC.**  
 DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
 1005 DUNDAS STREET EAST  
 OAKVILLE, ON L6H 7E8

**GROUND FLOOR & STREETSCAPE PLANTING PLAN**

SCALE: 1:200  
 DRAWN: M. MITCHELL  
 CHECKED: W. SWANTON  
 PROJECT NUMBER: 20-015  
 DRAWING DATE: 2020-08-21

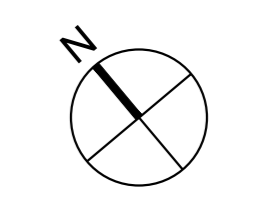
**PLANT SCHEDULE - STREETSCAPE & GROUND FLOOR**

Qty	Key	Botanical Name	Common Name	Size	Notes
<b>DECIDUOUS TREES</b>					
2	AFA	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn blaze freeman maple	80mm WB	High branching - min. 1.8m clearance.
2	AL	<i>Amelanchier laevis</i>	Allegheny Serviceberry	clump 250cm WB	Multi-stem.
4	AS	<i>Acer saccharum</i>	Sugar maple	80mm WB	
3	ASF	<i>Acer saccharum</i> 'Fall Fiesta'	Fall fiesta sugar maple	80mm WB	
1	AFAc	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn blaze maple	clump 70mm WB	
6	AFM	<i>Acer x freemanii</i> 'Marmo'	Marmo freeman maple	80mm WB	
3	CO	<i>Celtis occidentalis</i>	Hackberry	80mm WB	
12	FG	<i>Fagus grandifolia</i> 'Dawyc Green'	Darwyck green common beech	70mm WB	
235	FGh	<i>Fagus grandifolia</i>	Common beech	100cm ht	Quantity to form clipped hedge.
5	LT	<i>Liriodendron tulipifera</i>	Tulip tree	80mm WB	
2	QP	<i>Quercus palustris</i>	Pin oak	80mm WB	
6	UX	<i>Ulmus x Pioneer</i>	Pioneer elm	80mm WB	

Qty	Key	Botanical Name	Common Name	Size	
<b>SHRUBS</b>					
211	Bu	<i>Buxus x 'Green Gem'</i>	Green gem boxwood	50cm S gal	
9	Cc	<i>Cercis canadensis</i>	Eastern redbud	clump 300cm	
422	Cs	<i>Chaenomeles x superba</i> 'Jet Trail'	Flowering quince	40cm 3 gal	
38	Cr	<i>Cornus racemosa</i>	Gray dogwood	50cm 3 gal	
535	Ec	<i>Euonymus fortunei</i> 'Coloratus'	Wintercreeper euonymus	1gal	
16	Efe	<i>Euonymus fortunei</i> 'Emerald n' Gold'	Emerald n' Gold Wintercreeper	3 gal	
240	Efs	<i>Euonymus fortunei</i> 'Sarcosia'	Sarcosia wintercreeper	60cm 3 gal	
209	Hp	<i>Hydrangea paniculata</i> 'Bobo'	Bobo hydrangea	80cm 7 gal	
73	Hpl	<i>Hydrangea paniculata</i> 'Little Quickfire'	Quick Fire hydrangea	80cm 7 gal	
9	Hll	<i>Hydrangea paniculata</i> 'Little Lime'	Little lime hydrangea	80cm 7 gal	
126	Hk	<i>Hypericum kalmianum</i>	Kalm's St. John's wort	3 gal	
60	Po	<i>Physocarpus opulifolius</i>	Ninebark	50cm 3 gal	
97	Ra	<i>Rhus aromatica</i>	Fragrant sumac	50cm 3 gal	
74	Rag	<i>Rhus aromatica</i> 'Gro Low'	Gro lo sumac	3 gal	
188	Sa	<i>Symphoricarpos albus</i>	Snowberry	50cm 3 gal	
15	Tm	<i>Taxus media</i> 'Densaformis'	Densaformis yew	60cm 7 gal	
298	Tmd	<i>Taxus media</i> 'Hicksii'	Hickii yew	100cm BBC	Quantity to form clipped hedge.
15	Vi	<i>Viburnum lentago</i>	Nannyberry viburnum	clump 200cm WB	
6	Vt	<i>Viburnum trilobum</i>	Highbush Cranberry	80cm 7 gal	

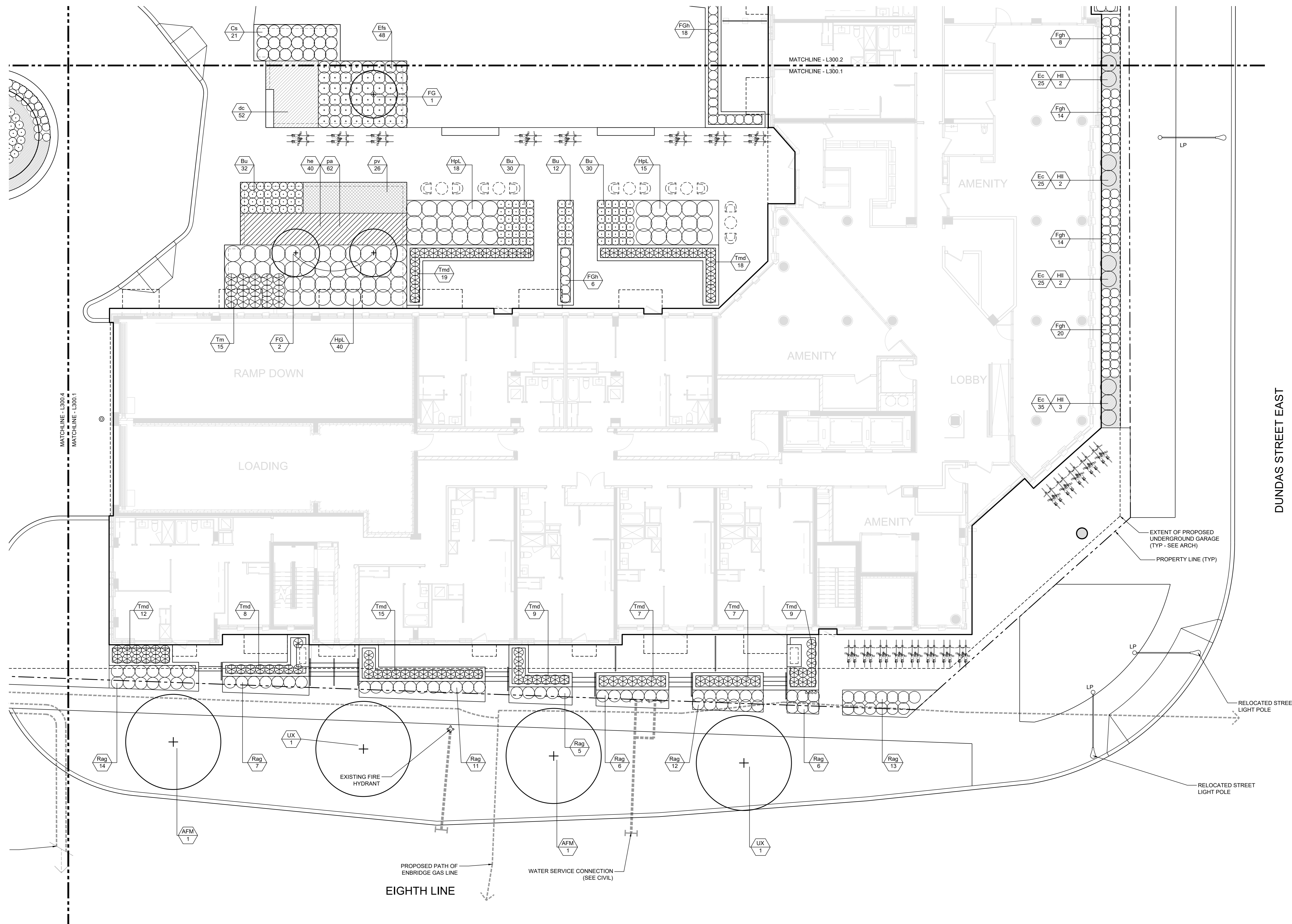
Qty	Key	Botanical Name	Common Name	Size
<b>HERBACEOUS</b>				
216	he	<i>Hemerocallis</i> 'Gentle Shepherd'	Gentle shepherd daylily	1 gal
293	pa	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little spire russian sage	1 gal
<b>GRASSES</b>				
558	dc	<i>Deschampsia cespitosa</i> 'Goldtau'	Gold dew tufted hair grass	1 gal
292	pv	<i>Panicum virgatum</i> 'Prairie Winds'	Prairie winds switch grass	1 gal

**PLANTING NOTES:**  
 1) PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS FOR NURSERY STOCK, LATEST EDITION.  
 2) CONTRACTOR TO VERIFY QUANTITIES LISTED ON SCHEDULE. PLANT QUANTITIES TO BE PROVIDED AS SHOWN ON PLAN IN CASE OF DISCREPANCIES BETWEEN PLAN AND SCHEDULE.



**L300**





1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1:100

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**NOTES**

1. REFER TO DRAWING L300 FOR PLANT SCHEDULE.

**LEGEND**

- DECIDUOUS TREE
- GRASSES / HERBACEOUS
- SHRUBS
- SERVICE CONNECTION
- PROPERTY LINE

**ISSUE**

- 5 2022-10-06 ISSUED FOR CONSTRUCTION
- 4 2022-08-19 ISSUED FOR ADDENDUM 2
- 3 2022-07-29 ISSUED FOR ADDENDUM 2
- 2 2022-06-29 ISSUED FOR PERMIT
- 1 2022-06-29 ISSUED FOR TENDER



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1005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

ENLARGED GROUND FLOOR & STREETSCAPE PLANTING PLAN  
PART 1 - SOUTHEAST

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L300.1**

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Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Landscape Architect before commencing work.

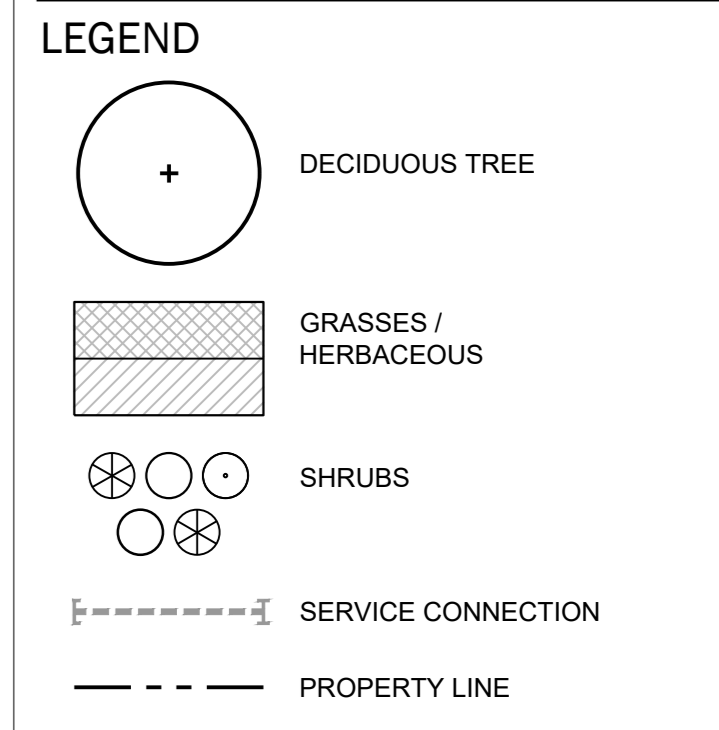
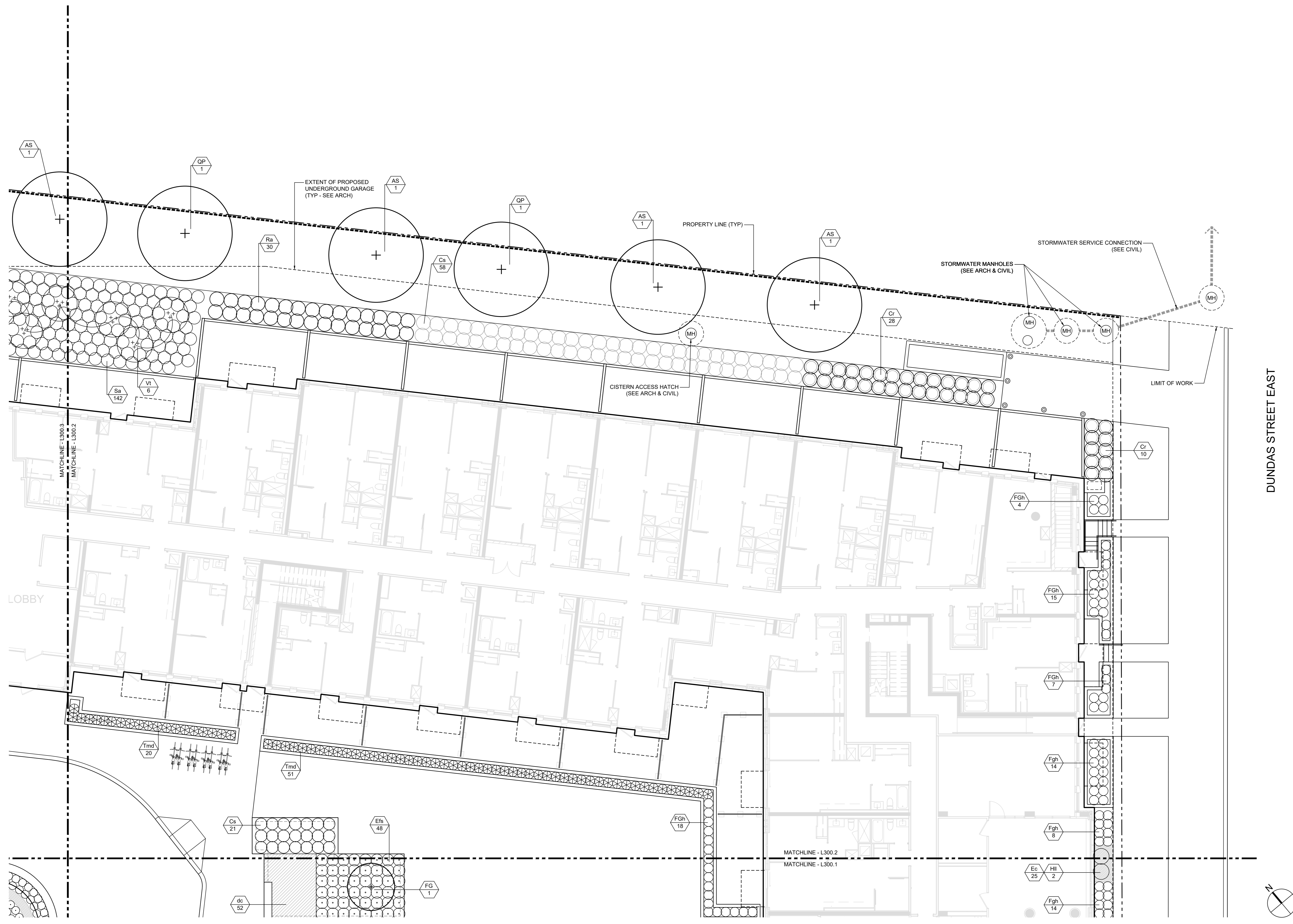
Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on Landscape Architectural drawings. The locations shown on the Landscape Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Landscape Architect.

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**NOTES**  
1. REFER TO DRAWING L300 FOR PLANT SCHEDULE.



**ISSUE**

- 5 2022-10-06 ISSUED FOR CONSTRUCTION
- 4 2022-08-19 ISSUED FOR ADDENDUM 3
- 3 2022-07-29 ISSUED FOR ADDENDUM 2
- 2 2022-06-29 ISSUED FOR PERMIT
- 1 2022-06-29 ISSUED FOR TENDER



**1005 DUNDAS STREET INC.**  
DEVELOPMENT

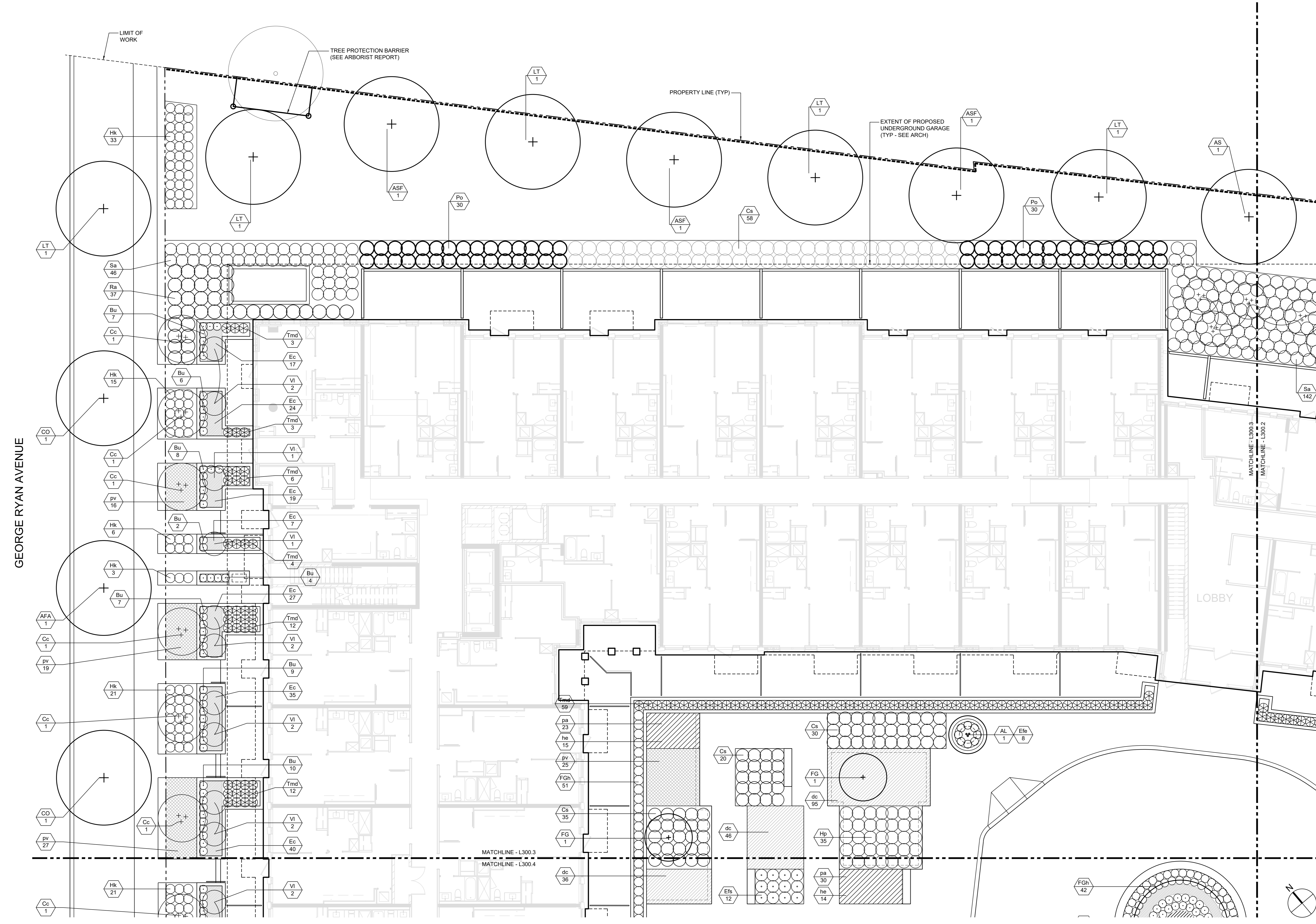
**THE WILMOT**  
THE WILMOT CONDOS

**ENLARGED GROUND FLOOR & STREETSCAPE PLANTING PLAN PART 2 - NORTHEAST**

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L300.2**

1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1:100



1 ENLARGED GROUND FLOOR LANDSCAPE LAYOUT PLAN  
SCALE: 1:100

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**LEGEND**

- DECIDUOUS TREE
- GRASSES / HERBACEOUS
- SHRUBS
- SERVICE CONNECTION
- PROPERTY LINE

**ISSUE**

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**1005 DUNDAS STREET INC.**  
DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
1005 DUNDAS STREET EAST  
OAKVILLE, ON L6H 7E8

**ENLARGED GROUND FLOOR & STREETScape PLANTING PLAN PART 3 - NORTHWEST**

SCALE: AS NOTED  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

**L300.3**



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**NOTES**

**LEGEND**

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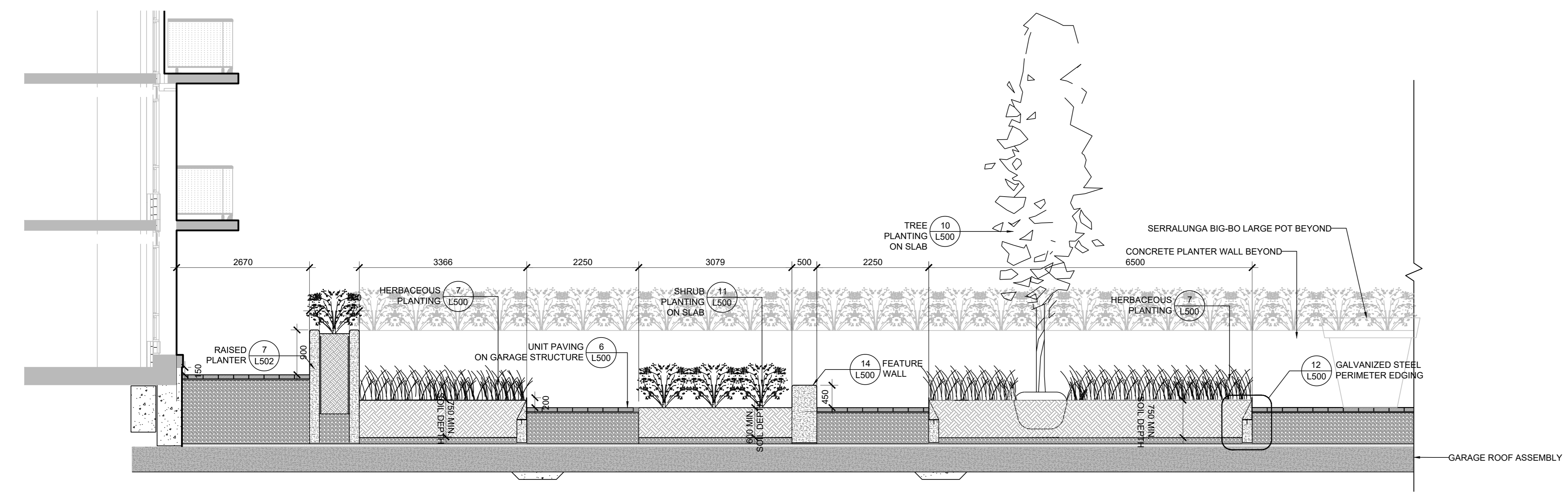
**1005 DUNDAS STREET INC.**  
 DEVELOPMENT

**THE WILMOT** THE WILMOT CONDOS  
 1005 DUNDAS STREET EAST  
 OAKVILLE, ON L6H 7E8

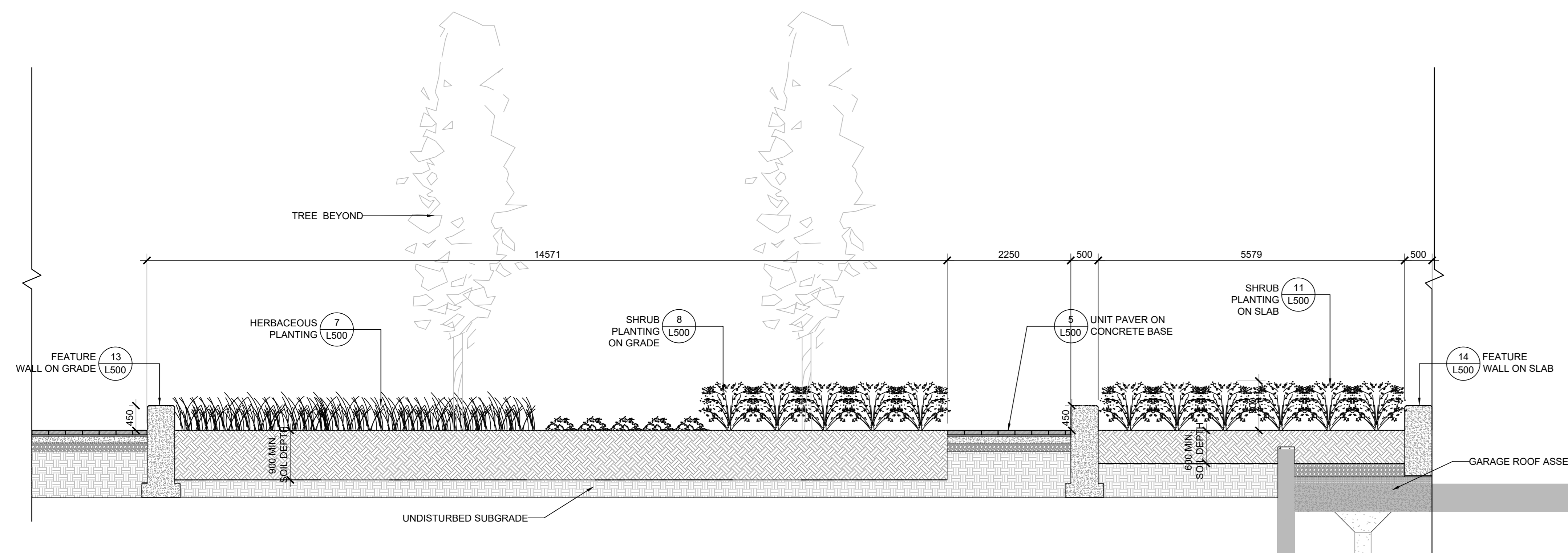
**LANDSCAPE SECTIONS - GROUND FLOOR COURTYARD**

SCALE: 1:50  
 DRAWN: M. MITCHELL  
 CHECKED: W. SWANTON  
 PROJECT NUMBER: 20-015  
 DRAWING DATE: 2020-08-21

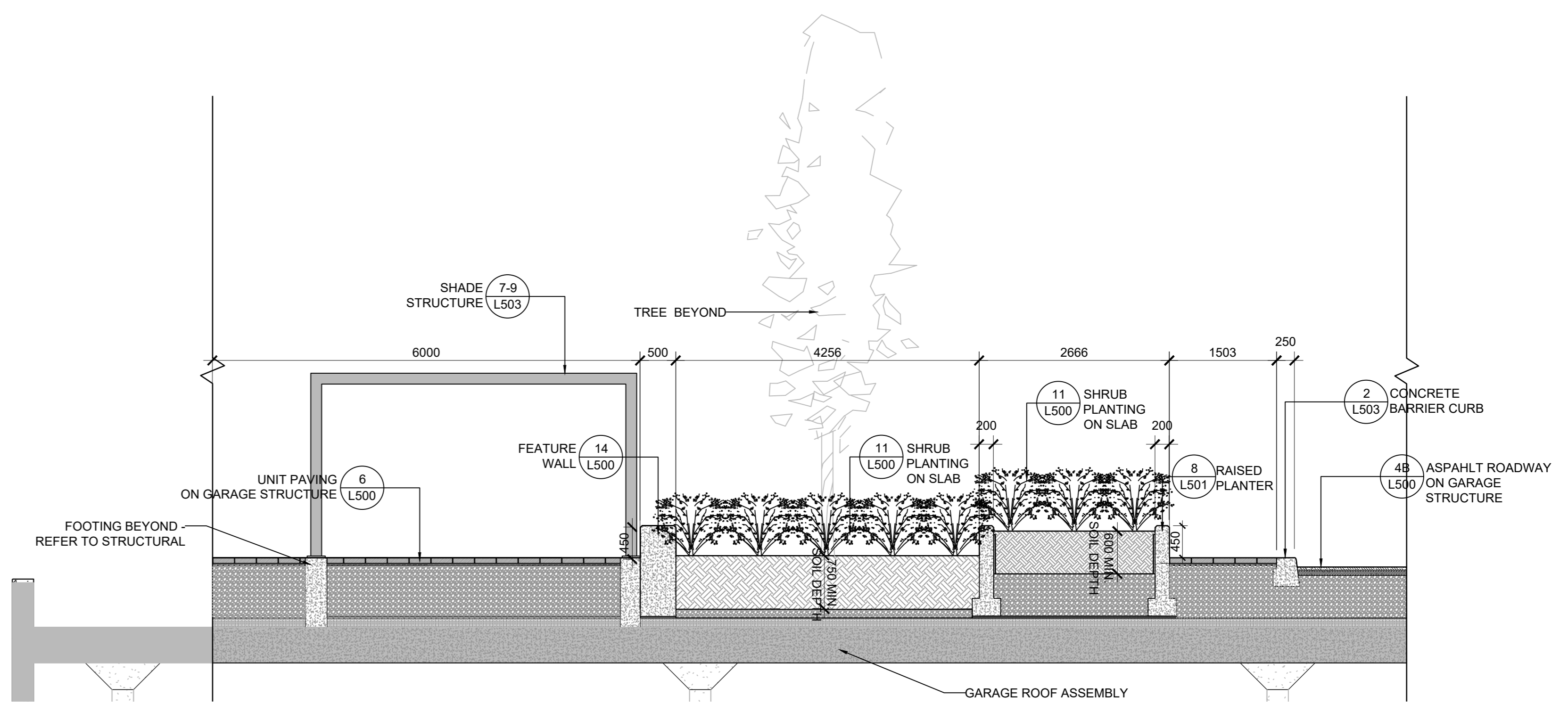
**L400**



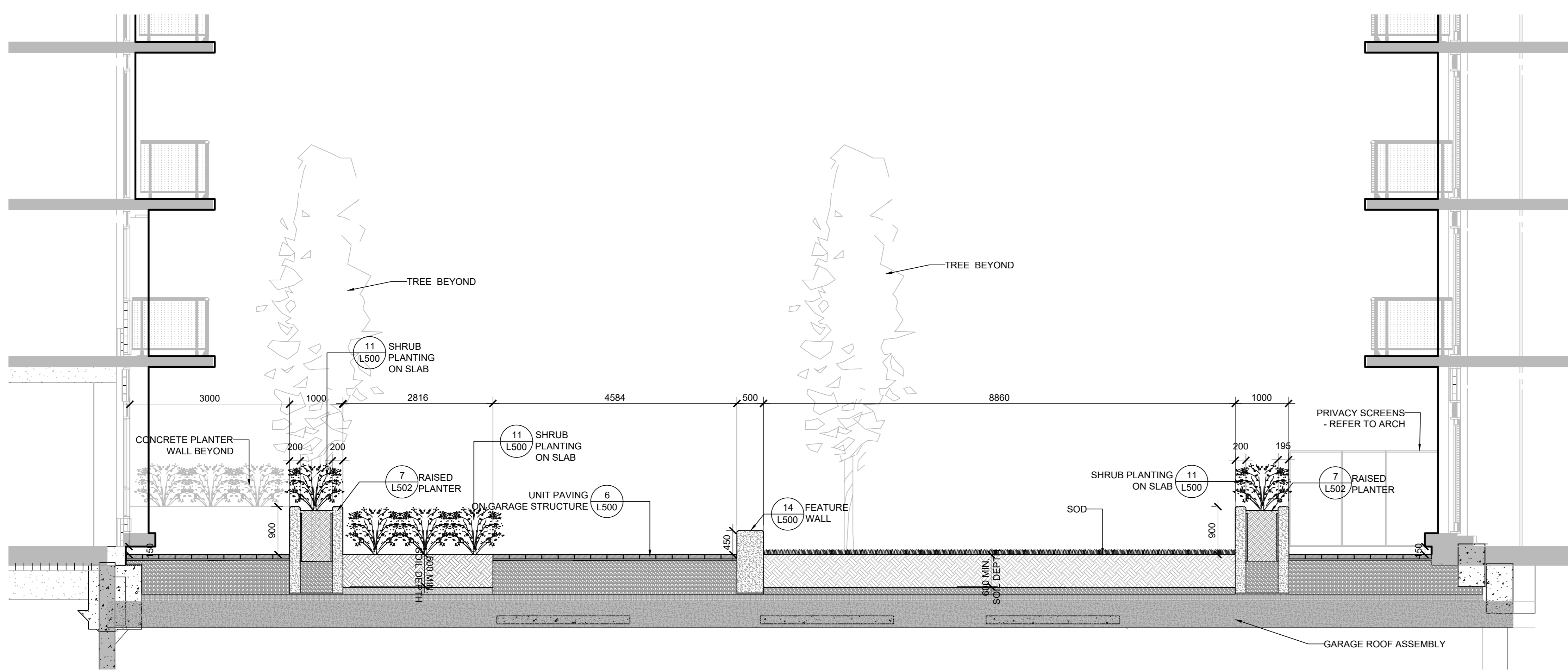
1 Courtyard Section at Planting Bed  
 SCALE: 1:50



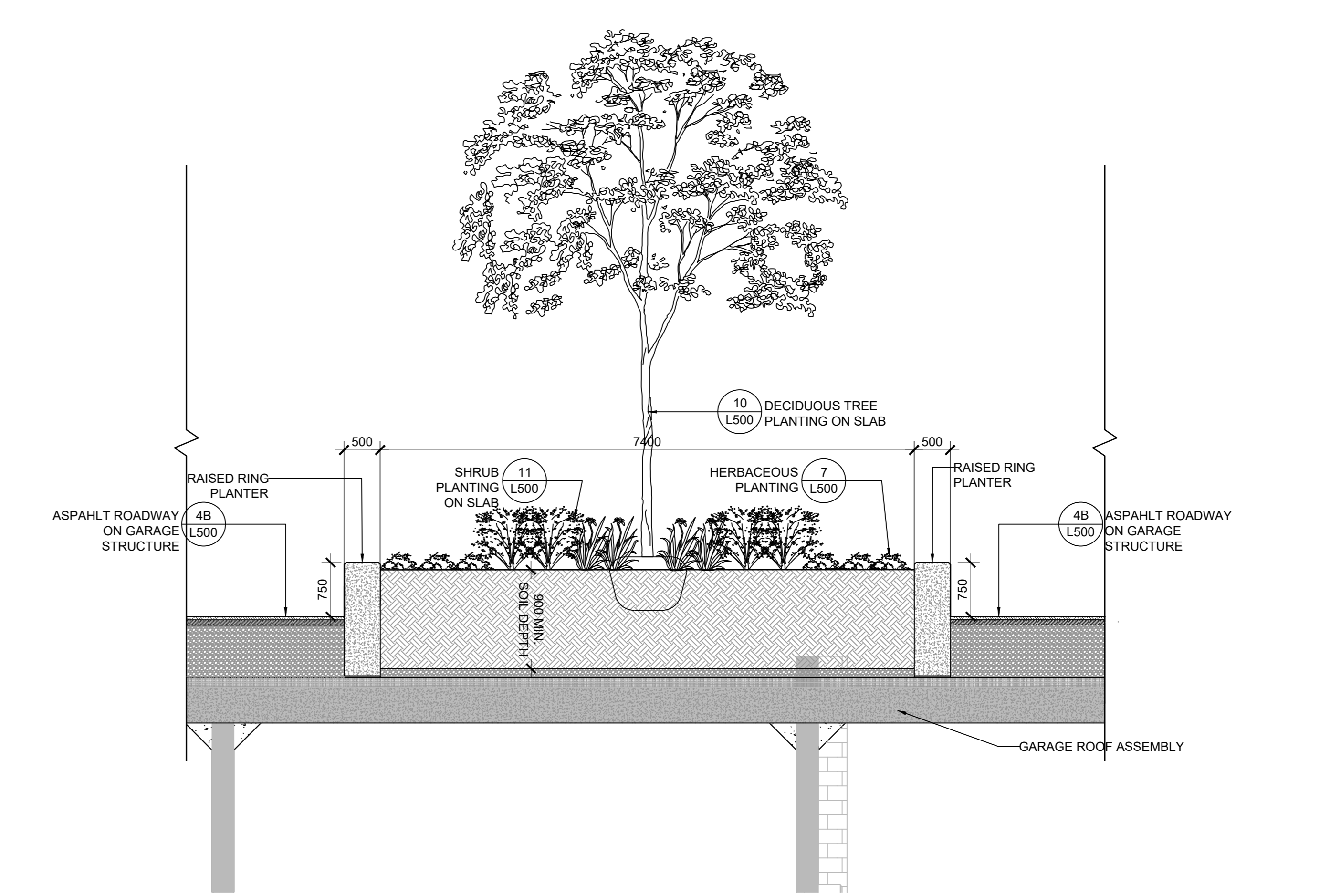
2 Courtyard Section at Planting Bed  
 SCALE: 1:50



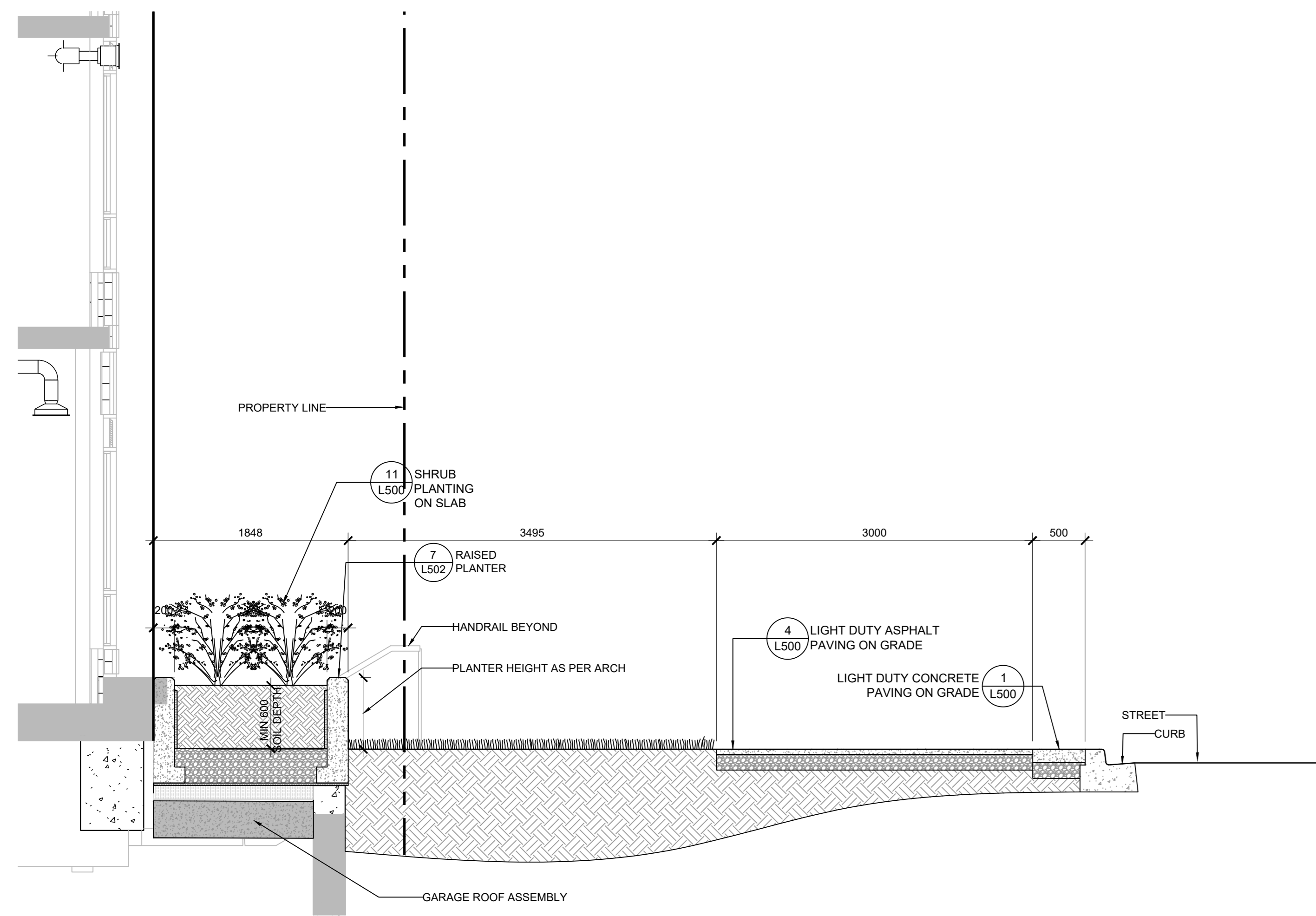
3 Courtyard Section at Planting Bed  
 SCALE: 1:50



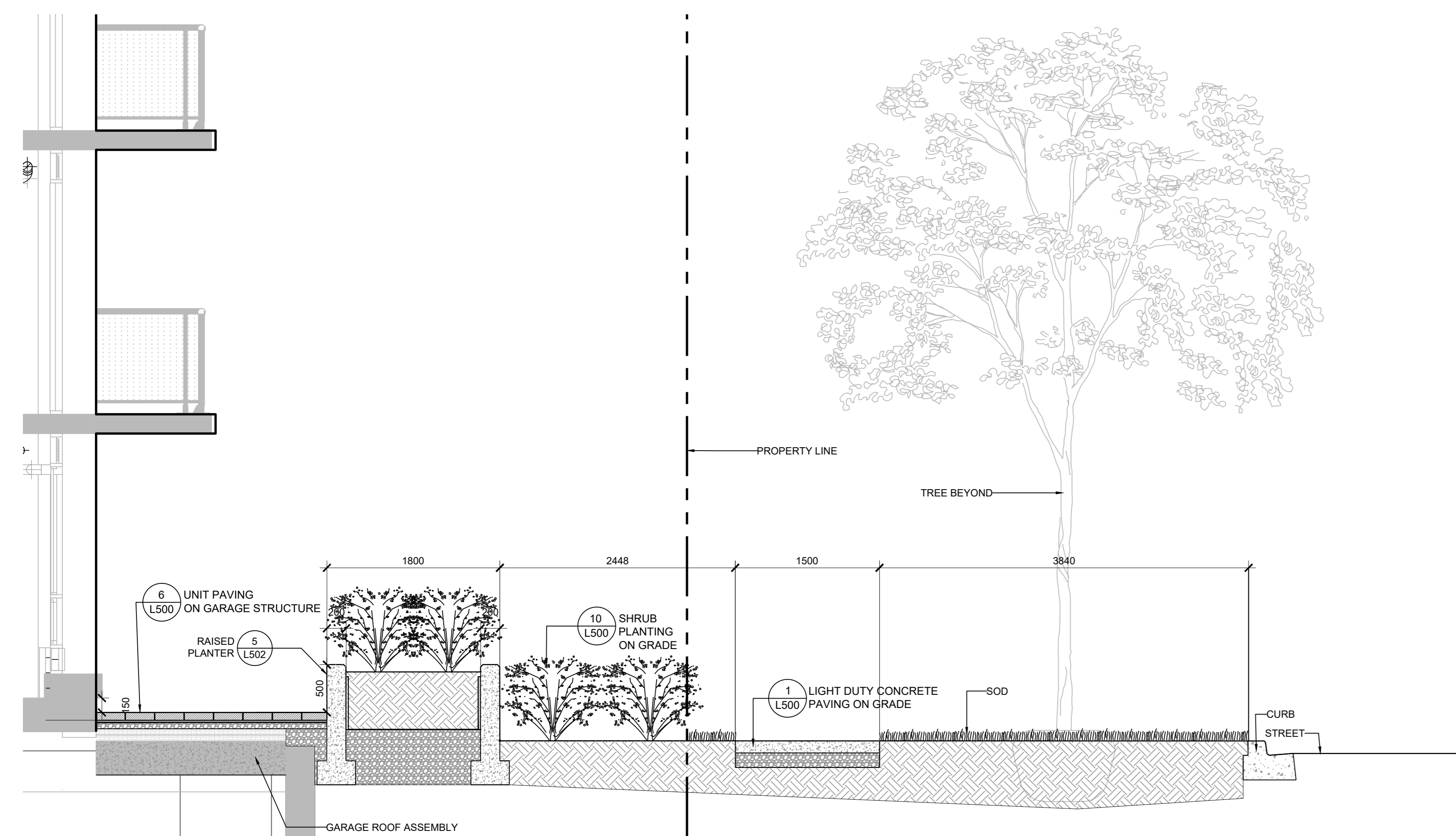
4 Courtyard Section at Planting Bed  
 SCALE: 1:50



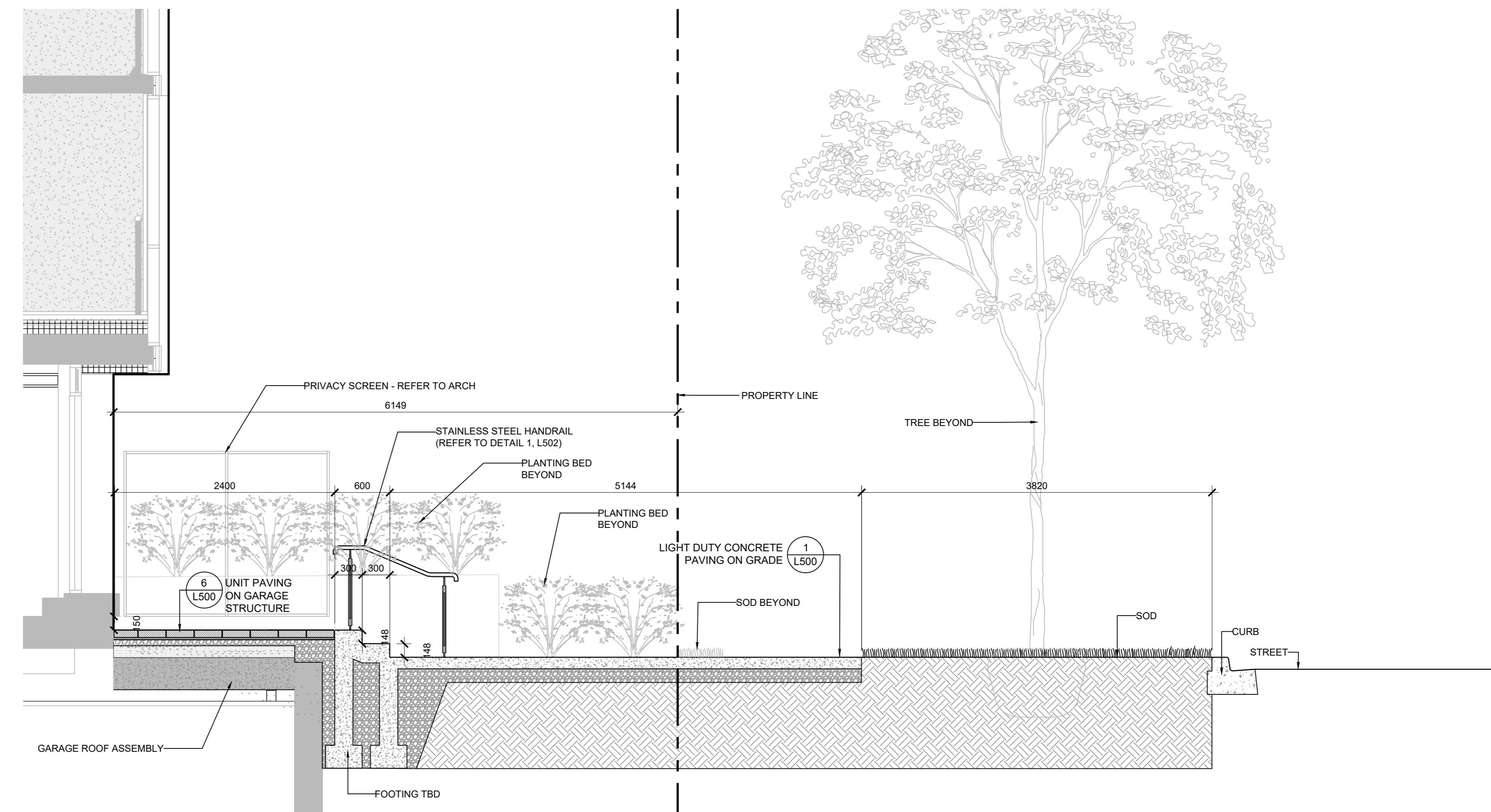
5 Courtyard Section at Raised Planter Bed  
 SCALE: 1:50



1 Streetscape Section at Planting Bed  
SCALE: 1 : 50



2 Streetscape Section at Planting Bed  
SCALE: 1 : 50



3 Streetscape Section at Stairs  
SCALE: 1 : 50

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OAKVILLE, ON L6H 7E8

LANDSCAPE SECTIONS - GROUND FLOOR STREETScape

SCALE: 1:50  
DRAWN: M. MITCHELL  
CHECKED: W. SWANTON  
PROJECT NUMBER: 20-015  
DRAWING DATE: 2020-08-21

L401