

# MCCRANEY RETIREMENT RESIDENCE

Branthaven McCraney Inc.  
1105 McCraney Street East  
Oakville, Ontario

**ISSUED FOR:**

- ISSUED FOR SPA
- ISSUED FOR COORDINATION
- ISSUED FOR 50% COMPLETION
- ISSUED FOR 75% COMPLETION
- ISSUED FOR FINAL COORDINATION
- ISSUED FOR TENDER
- ISSUED FOR FOUNDATION BUILDING PERMIT
- ISSUED FOR BUILDING PERMIT REVIEW
- ISSUED FOR BUILDING PERMIT
- ISSUED FOR CONSTRUCTION
- AS NOTED
- AS-BUILT

DATE: July 2019

PROJECT No. C8046

**PLANNER**

**Ruth Victor & Associates**

1243 Valleybrook Drive,  
Oakville, Ontario, L6L 4Y1  
Contact: Ruth Victor  
Tel: 905-257-3590  
Fax: 905-257-1521

**TRAFFIC ENGINEER**

**GHD**

6705 Millcreek Drive, Unit 1  
Mississauga, Ontario, L5G 5M4  
Contact: Scott Henderson  
Tel: 905-526-8876

**SOIL ENGINEER**

**Soil-Mat Engineers & Consultants Ltd.**

130 Lancing Dr., Unit 1  
Hamilton, Ontario, L8P 3A1  
Contact: Ian Shaw  
Tel: 905-318-7440  
Fax: 905-318-7455

**ENVIRONMENTAL ENGINEER**

**Beacon Environmental**

148 Coastline Dr.  
Guelph, Ontario, N1H 3W4  
Contact: Ken Ursic  
Tel: 519-826-0419

**OWNER**

**Branthaven Homes**

720 Oval Court  
Burlington, Ontario, L7L 6A9  
Contact: Anthony Girolami  
Tel: 905-333-8364  
Fax: 905-333-1720

**ARCHITECT**

**Michael Spaziani Architect Inc.**

6 Helene St. North, Unit 100  
Mississauga, Ontario, L5G 3B2  
Contact: Jason DeBrum  
Tel: 905-891-0691 Ext. 7  
Fax: 905-891-0541

**LANDSCAPE ARCHITECT**

**Adesso Design Inc.**

218 Locke St. South  
Hamilton, Ontario, L8P 4B4  
Contact: Matthew Madigan  
Tel: 905-526-8876 Ext. 202

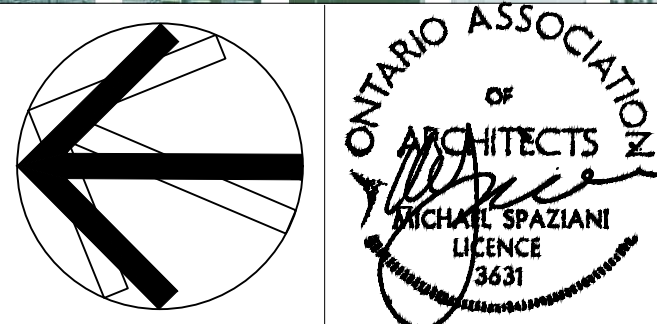
**CIVIL ENGINEER**

**WSP Engineering Consulting Service**

148 Coastline Dr.  
Brampton, Ontario, L6Y 0S2  
Contact: Au Lu  
Tel: 289-982-4308

**ARCHITECTURAL DRAWINGS LIST**

- SP 1 SITE PLAN
- SP 2 MISCELLANEOUS DETAILS
- SP 3 PEDESTRIAN/ BIKE CIRCULATION DIAGRAM
  
- A101 UNDERGROUND LAYOUT
- A102 GROUND FLOOR PLAN
- A103 SECOND FLOOR PLAN
- A104 THIRD - FIFTH FLOOR PLAN
- A105 SIXTH FLOOR PLAN
- A106 SEVENTH FLOOR PLAN
- A107 EIGHTH - NINTH FLOOR PLAN
- A108 ROOF PLAN
  
- A201 BUILDING ELEVATIONS
- A202 BUILDING ELEVATIONS
  
- A301 BUILDING SECTIONS
- A302 BUILDING SECTIONS
  
- A501 SHADOW STUDY - APRIL
- A502 SHADOW STUDY - JUNE
- A503 SHADOW STUDY - MARCH/SEPTEMBER
- A504 SHADOW STUDY - DECEMBER
  
- A601 3D PERSPECTIVE VIEWS
- A602 3D PERSPECTIVE VIEWS



1105 MCCRANEY STREET EAST, OAKVILLE, ON		ONTARIO BUILDING CODE (2012) DATA MATRIX PARTS 3 & 9		OBC REFERENCE							
ITEM		References are to Division B unless noted [A] for Division A or [C] for Division C									
1	PROJECT DESCRIPTION:	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> PART 11	<input type="checkbox"/> PART 3	<input type="checkbox"/> PART 9						
		<input type="checkbox"/> ADDITION	11.1 TO 11.4	1.1.2 [A]	2.1.1 [A]						
		<input type="checkbox"/> ALTERATION			9.10.1.3						
2	MAJOR OCCUPANCY(S)	GROUP C - RESIDENTIAL (RETIREMENT HOME)		3.1.2.1(1)	9.10.2						
3	BUILDING AREA (SQ. M.)	EXISTING 0	NEW 3,143 SM	TOTAL 3,143 SM	1.4.1.2 [A]						
4	GROSS AREA OF SUITE	EXISTING 0	NEW 25,070.0 SM	TOTAL 25,070.0 SM	1.4.1.2 [A]						
5	NUMBER OF STOREYS	ABOVE GRADE 9	BELOW GRADE 1	1.4.1.2 [A] & 3.2.1.1	1.4.1.2 [A] & 9.10.4						
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS	1		3.2.2.10 & 3.2.5	9.10.20						
7	BUILDING CLASSIFICATION	3.2.2.48A - GROUP C - RETIREMENT		3.2.2.20 - 83	9.10.2						
8	SPRINKLER SYSTEM PROPOSED	HOME		<input checked="" type="checkbox"/> ENTIRE BUILDING	3.2.2.20 - 83						
				<input type="checkbox"/> SELECTED COMPARTMENTS	3.2.1.5						
				<input type="checkbox"/> SELECTED FLOOR AREAS	3.2.2.17						
				<input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING	INDEX						
				<input type="checkbox"/> NOT REQUIRED	INDEX						
9	STANDPIPE REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.9	N/A						
10	FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.4	9.10.18						
11	WATER SERVICES/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7	N/A						
12	HIGH BUILDING	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.6	N/A						
13	CONSTRUCTION RESTRICTIONS	COMBUSTIBLE PERMITTED	<input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20 - 83	9.10.6						
	ACTUAL CONSTRUCTION	COMBUSTIBLE PERMITTED	<input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH								
14	MESSANINE(S) AREA (SQ. M.)	N/A		3.2.1.1(3)-(8)	9.10.6						
15	OCCUPANT LOAD BASED ON	SQ. M./PERSON	DESIGN OF BUILDING	3.1.17	9.9.1.3						
	FLOOR OR OCCUPANCIES	OCCUPANT LOAD FACTOR	FLOOR AREA (SM)	OCCUPANT LOAD (PERSONS)							
	BASEMENT										
	GROUND FLOOR										
	SECOND FLOOR										
	(Additional floor areas to be inserted)										
16	BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN):		3.8	9.5.2						
17	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 8.3.3.1.18	9.10.1.3(4)						
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HRS)	LISTED DESIGN NO. OR DESCRIPTION (SB)								
		FLOORS 2 HOURS	N/A								
		ROOF 0 HOURS	N/A	3.2.2.20 - 83 & 3.2.1.4	9.10.8 & 9.10.9						
		MEZZANINE N/A HOURS	N/A								
		FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SB)								
		FLOORS 2 HOURS	N/A								
		ROOF 0 HOURS	N/A								
		MEZZANINE N/A HOURS	N/A								
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS			3.2.3.1.D	9.10.14						
	Wall	Facing	Area of EBF (m2)	L.D. (m)	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. None. Cladding	Non-comb. Constr.
	North	Property Line	1,634	38.4	100 %					No Restrictions	
	South	McCraney Street	1,633	14.6	100 %					No Restrictions	
	East	Property Line	2,450	16.9	100 %					No Restrictions	
	West	Property Line	2,380	15.2	100 %					No Restrictions	

1 OBC Matrix  
A000 NTS



3		
2	Issued for SPA Resubmission	Oct 21, '19
1	Issued for SPA Resubmission	July 17, '19

NO: REVISIONS: ISSUED:

NOTE: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The contractor is to verify all dimensions and conditions on the project and to report any discrepancies to the Architect prior to commencing work. These drawings are not to be used for construction purposes unless indicated as "Issued for construction".

CLIENT:  
**Branthaven McCraney Inc.**  
  
Oakville, Ontario

PROJECT:  
**McCraney Retirement Residence**  
1105 McCraney Street East  
Oakville, Ont.  
SP1514021/01

SHEET TITLE:  
**Cover**

PROJECT NO. C8046	SCALE: 1:300	DATE: July 2019	SHEET NO.:
CHECKED: msai	FILE NO. C8046	<b>A000</b>	

# ZONING REGULATIONS

Regulation	Required	Provided
Frontage	24m	64.4m
Lot Area	1,858m <sup>2</sup>	11,880m <sup>2</sup>
Front Yard	7.5m	7.5m
Rear Yard	7.5m	12.4m after dedication
North Side Yard	50% of building height (30.5m) therefore 15.25m	16.5m
South Side Yard	50% of building height	16.8m
Maximum Building Height	N/A	30.980m
Maximum Lot Coverage	35%	26.46%
Minimum Landscaping	10%	40.17%
Parking for Retirement Home:		
Apartment Dwelling	0.33 per unit (62 units) =20	
Assisted Living	0.33 per unit (157 units) =52	
Landscape Buffer N	3m	7m
Landscape Buffer for S	3m	3m
Maximum Number of Dwelling Units	127	62 dwelling units; 132 assisted living; 25 long-term care
Bicycling Parking	1/ dwelling unit; 0.25/ assisted living unit (30 required of which 0.25 are marked as visitor)	34 of which 9 must be outside and signed for visitors
DEVELOPMENT AREA	AREA: 11,880.00 sq.m PERCENTAGE: 26.46%	
O.B.C. BUILDING AREA (footprint):	AREA: 3,964.84 sq.m PERCENTAGE: 33.37%	
PAVED AREA:	AREA: 4,771.94 sq.m PERCENTAGE: 40.17%	
LANDSCAPED AREA:	AREA: 11,880.00 sq.m PERCENTAGE: 100%	

# SITE STATISTICS

<b>OWNER &amp; APPLICANT:</b> Branthaven McCraney Inc. 720 Oval Court, Burlington, ON L7L 9K2 TEL: 905-333-8364	
<b>SITE PLAN APPLICATION NUMBER:</b> ZONING: MUNICIPAL ADDRESS: LEGAL DESCRIPTION: PROPOSED USE: SITE AREA:	SP1514021/01 RH4 SP-330 1105 McCraney Street East Topographic Survey of Block E, Registered Plan M-172 In the Town of Oakville, Regional Municipality of Halton Retirement Residence 1,1880 HA (11,880.00 sq.m)
<b>TOTAL PARKING REQUIRED:</b> <b>PARKING RATIO:</b> <b>TOTAL NUMBER OF UNITS:</b> <b>TOTAL PARKING PROVIDED:</b>	0.33 / Unit 219 Units X 0.33 = 72.27 (73 Cars Required) 146 Spaces 44 Surface Parking (including 4 BF) 102 Underground Parking (including 1 BF)
<b>TOTAL BIKE PARKING PROVIDED:</b>	34 Spaces 12 Visitor Parking - on Site 22 Resident Parking - in underground

# DRAWING LEGEND

B.F.	BARRIER FREE ENTRANCE / EXIT	(S1)	STOP SIGN DETAIL
ENTRANCE / EXIT		(S2)	PARKING SIGN DETAIL
LOADING DOORS		(S3)	ACCESSIBLE PARKING SIGN DETAIL
DIRECTION OF VEHICULAR TRAFFIC			
DEMOTES SIAMESE CONNECTION			
EXISTING FIRE HYDRANT			
POLE LIGHT FIXTURE	See Fortech Eng. Site Lighting Plan for Details		
			NOTE: SEE SP2 FOR SIGN DETAIL

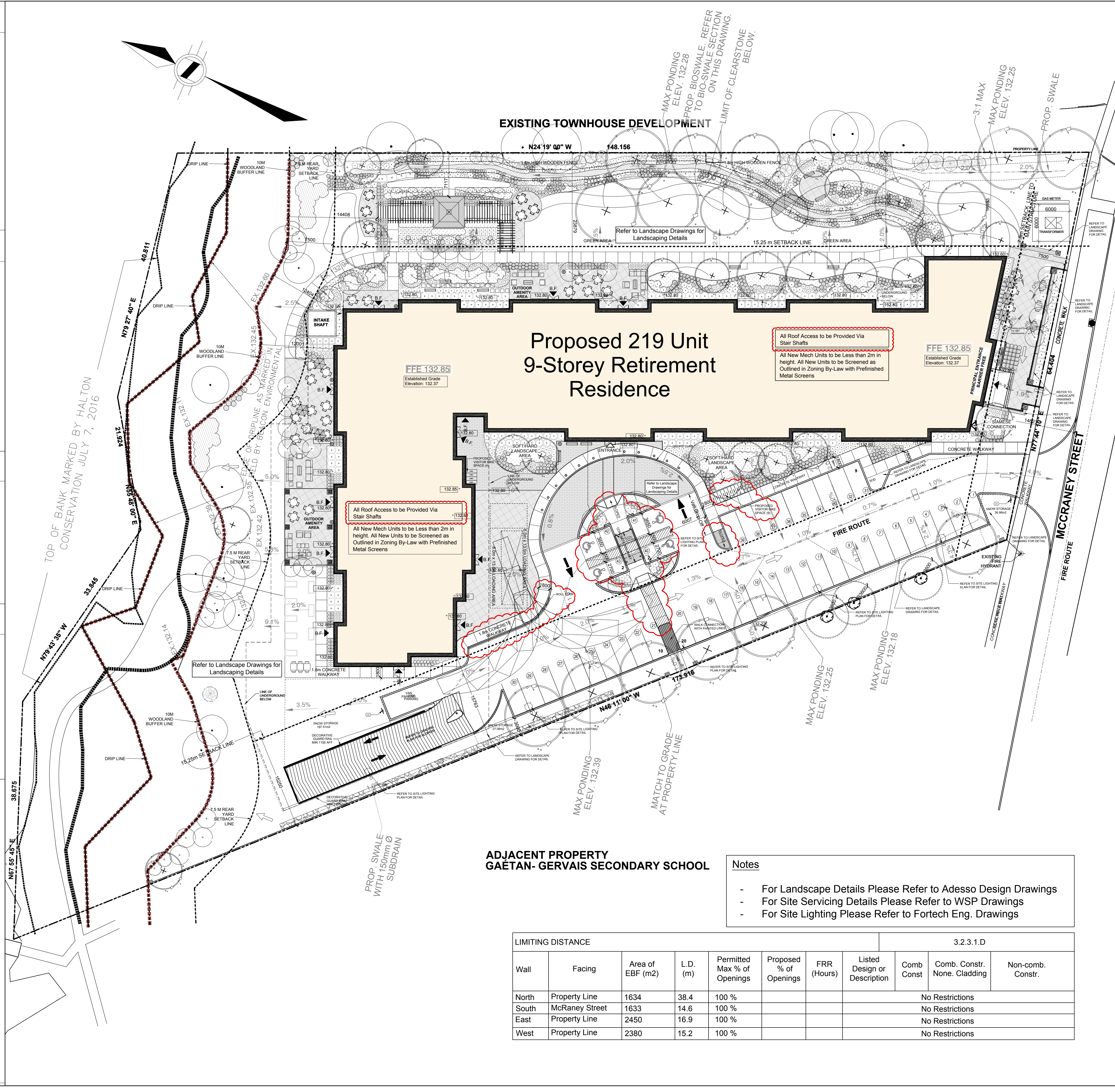
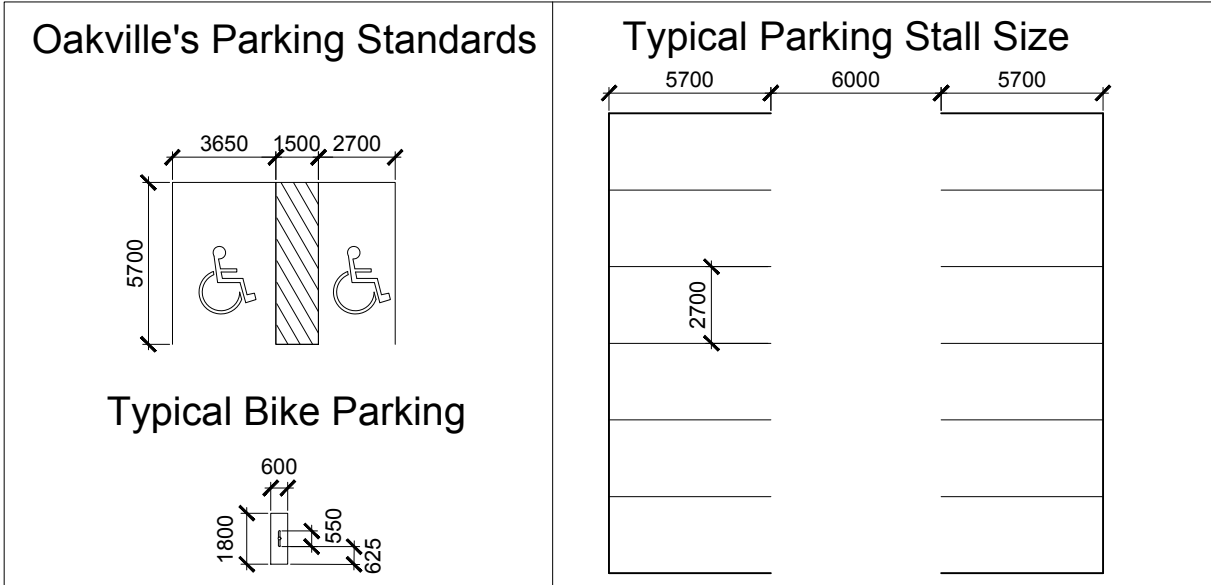
# UNIT COUNT

	Assisted Living				Senior Apartment			
	Studio	1 Bed	2 Bed	Sub Total	1 Bed	1+Den	2 Bed	Sub Total
Ground Floor				0				0
Second Floor	27	9	4	40				0
Third Floor	8	20	11	39				0
Fourth Floor	8	20	11	39				0
Fifth Floor	8	20	11	39				0
Sixth Floor				0	16	3	13	32
Seventh Floor				0	4	4	5	13
Eighth Floor				0	2	4	2	8
Ninth Floor				0	2	4	2	8
Sub-Total:				157				62
<b>TOTAL UNITS PROPOSED:</b>					<b>219 UNITS</b>			

# CONSTRUCTION AREA

	SM	SF
Underground	4,479.00	48,212
Ground Floor	3,134.00	33,729
Second Floor	3,039.00	32,714
Third Floor	3,039.00	32,714
Fourth Floor	3,039.00	32,714
Fifth Floor	3,039.00	32,714
Sixth Floor	2,689.00	28,945
Seventh Floor	1,122.00	12,075
Eighth Floor	751.00	8,081
Ninth Floor	751.00	8,081
Sub-Total:	25,082.00	269,979

# PARKING



- Notes**
- For Landscape Details Please Refer to Adesso Design Drawings
  - For Site Servicing Details Please Refer to WSP Drawings
  - For Site Lighting Please Refer to Fortech Eng. Drawings

LIMITING DISTANCE							3.2.3.1.D			
Wall	Facing	Area of EBF (m2)	L.D. (m)	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. None. Cladding	Non-comb. Constr.
North	Property Line	1634	38.4	100 %					No Restrictions	
South	McCraney Street	1633	14.6	100 %					No Restrictions	
East	Property Line	2450	16.9	100 %					No Restrictions	
West	Property Line	2380	15.2	100 %					No Restrictions	



3		
2	Issued for SPA Resubmission	Oct 21, '19
1	Issued for SPA Resubmission	July 17, '19
NO:	REVISIONS:	ISSUED:

NOTE: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The contractor is to verify all dimensions and conditions on the project and to report any discrepancies to the Architect prior to commencing work. These drawings are not to be used for construction purposes unless indicated as "Issued for construction".

**CLIENT:**  
**Branthaven McCraney Inc.**  
  
Oakville, Ontario

**PROJECT:**  
**McCraney Retirement Residence**  
1105 McCraney Street East  
Oakville, Ont.  
SP1514021/01

**SHEET TITLE:**  
**Site Plan**

**PROJECT NO.:**  
C8046

**SCALE:**  
1:300

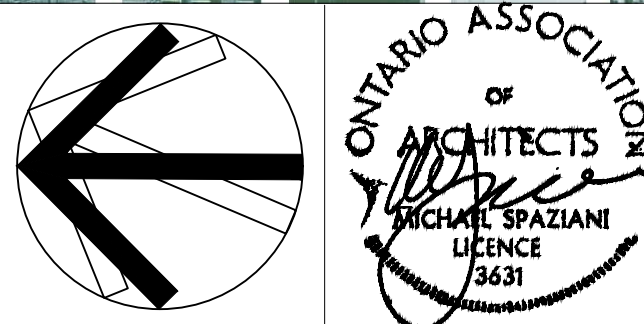
**DATE:**  
July 2019

**DRAWN:**

**CHECKED:**  
msai

**FILE NO.:**  
C8046

**SHEET NO.:**  
**SP1**



3		
2	Issued for SPA Resubmission	Oct 21, '19
1	Issued for SPA Resubmission	July 17, '19

NO: REVISIONS: ISSUED:

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Name: Joe Crozier, P.Eng. Date: 2011-FEB-06  
P.Eng. Approval By: Joe Crozier

CLIENT:

**Branthaven McCraney Inc.**

Oakville, Ontario

PROJECT:  
**McCraney Retirement Residence**  
1105 McCraney Street East  
Oakville, Ont.  
SP1514021/01

SHEET TITLE:  
**Miscellaneous Details**

PROJECT NO. C8046	
SCALE: As Noted	DATE: July 2019
DRAWN BY: msai	
SHEET NO.: <b>SP2</b>	
CHECKED BY: msai	
FILE NO. C8046	

## Construction Standard 17-107

Handicap Sign Mounted on Galvanized Uni-Strut and Embedded into Concrete Filled Steel Bollard

Spherical Concrete Top

4" Dia. 1/4" Thick Painted (Yellow) Concrete Filled Steel Pipe Bollard.

Concrete Footing in 8" Sonotube.

GUARD POST IF REQUIRED

EQUIPMENT FOUNDATION

DOOR/HOOD SIDE

CURB

EDGE OF VAULT

MIN. TYP.

DETAIL 'A' (SEE NOTE 2, 3 & 4)

HDPE COVER

GALVANIZED STEEL GUARD POST

FOAM SPACER STRIPS

DETAIL 'B' (SEE NOTE 7)

**NOTES:**

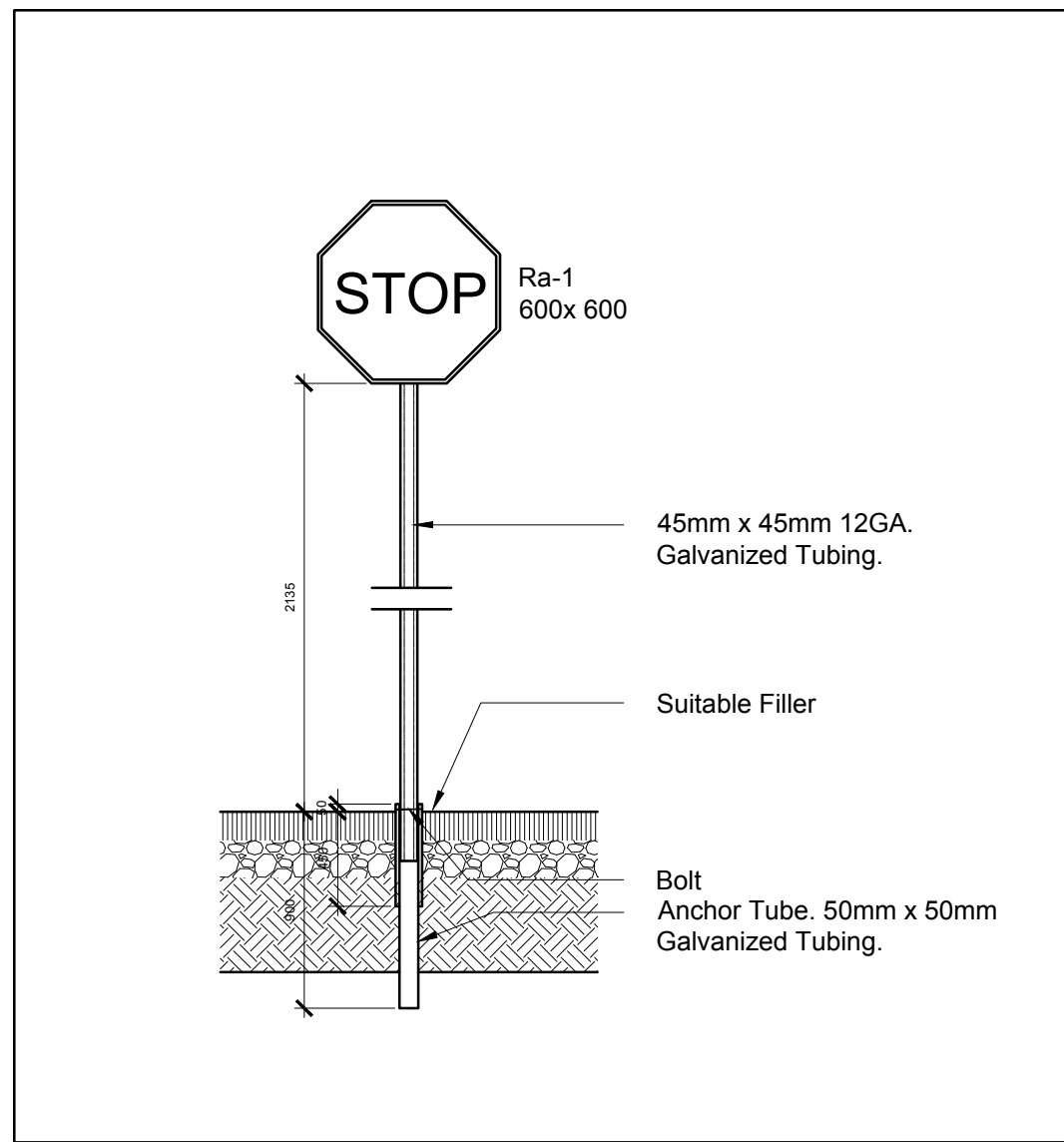
- CUSTOMER IS TO SUPPLY AND INSTALL GUARD POSTS (BOLLARDS) IF THE EQUIPMENT IS LESS THAN 300cm (120") FROM THE TRAVELED AREA OR ANYWHERE POWERSTREAM DEEMS NECESSARY.
- NUMBER OF GUARD POSTS AND LOCATIONS ARE EXAMPLES ONLY. ACTUAL LOCATIONS AND NUMBERS TO BE DETERMINED BY POWERSTREAM ENGINEERING TECHNICIAN AND MODIFICATIONS CAN BE MADE BY POWERSTREAM INSPECTORS IN THE FIELD WITH THE APPROVAL OF THE ENG. TECHNICIAN AND WITH THE FOLLOWING CRITERIA:
  - A) GUARD POST INSTALLATIONS SHALL ALLOW EQUIPMENT DOORS TO BE OPENED THEIR FULL RANGE. GUARD POSTS AT THE EDGES OF THE SHADED AREA MUST BE INSTALLED AT THE EDGE OF THE VAULT.
  - B) GUARD POST INSTALLATIONS SHALL ALLOW POWERSTREAM PERSONNEL UNIMPEDED ACCESS TO THE EQUIPMENT.
- THE GUARD POSTS SHALL BE INSTALLED A MINIMUM OF 130cm (12") FROM THE EDGE OF THE VAULT.
- INSTALL GUARD POSTS AT THE CORNERS FIRST, THEN INSTALL THE INTERMEDIATE GUARD POSTS. THE DISTANCE BETWEEN TWO GUARD POSTS SHALL BE MAXIMUM OF 200cm (79").
- POWERSTREAM APPROVED GUARD POST SHALL BE 15cm (6") DIAMETER x 244cm (96") LONG 0.76cm (3/16") THICK WELDED SEAM GALVANIZED STEEL PIPE (MINIMUM GAUGE SCHEDULE 40) COVERED WITH A 18cm (7") DIAMETER x 152cm (60") LONG SEAMLESS HIGH DENSITY POLYETHYLENE (HDPE) RESIN PIPE COVER.
- DIG 45cm (14") DIAMETER x 137cm (54") DEEP HOLE IN GROUND AND POUR 110cm (42") OF 20Mpa (2900 PSI) CONCRETE AROUND THE GUARD POST KEEPING 15cm (6") BELOW THE GUARD POST AS A BASE. FILL THE REMAINING 27cm (11") AROUND THE GUARD POST WITH FILL COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- STEEL GUARD POSTS SHALL BE FILLED WITH 20Mpa (2900 PSI) CONCRETE WITH THE TOP ROUNDED. TWO FOAM SPACER STRIPS ARE REQUIRED TO BE PLACED ACROSS THE TOP BETWEEN THE STEEL GUARD POST AND THE HDPE COVER.
- BOLLARDS, GROUNDING GRIDS, AND VAULTS MUST BE INSPECTED BY POWERSTREAM INSPECTIONS DEPARTMENT PRIOR TO THE ENERGIZATION TO THE TRANSFORMER POWERSTREAM INSPECTION DEPARTMENT MUST BE CONTACTED 48HOURS PRIOR TO AN INSPECTION.
- ALL DIMENSIONS ARE IN CENTIMETERS.

**CONVERSION TABLE**

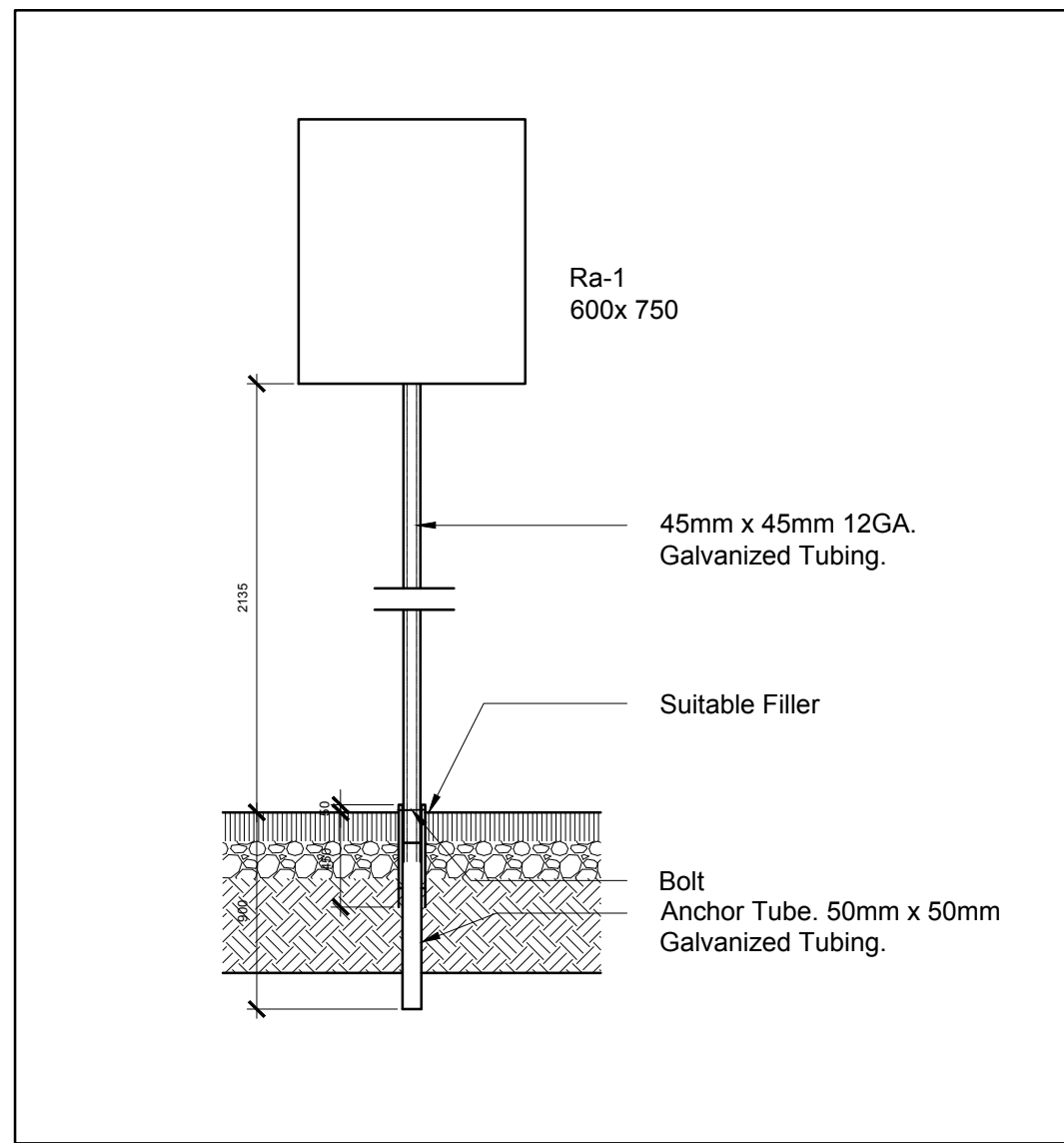
METRIC	IMPERIAL (APPROX.)
5cm	0'-2"
15cm	0'-6"
27cm	0'-11"
30cm	1'-0"
50cm	1'-8"
100cm	3'-3"
110cm	3'-7"
122cm	4'-0"
130cm	4'-3"
200cm	6'-7"

**GUARD POSTS (BOLLARDS) INSTALLATION OUTSIDE OF GROUNDING GRID 3Ø OR 1Ø TX. EQUIPMENT PROTECTION (NON RESIDENTIAL)**

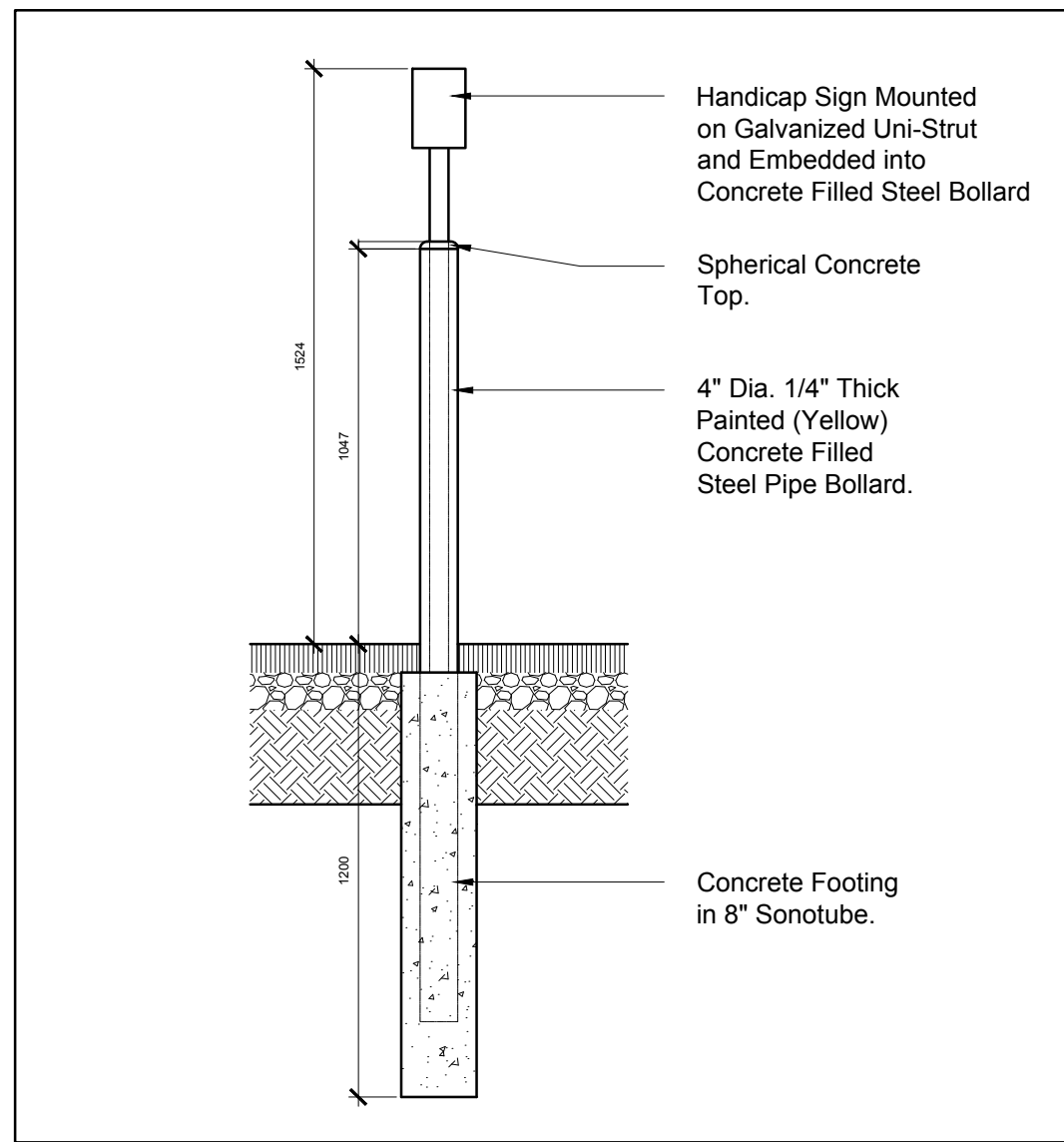
ORIGINAL ISSUE DATE: 2010-NOV-30 REVISION NO: R2 REVISION DATE: 2012-FEB-06



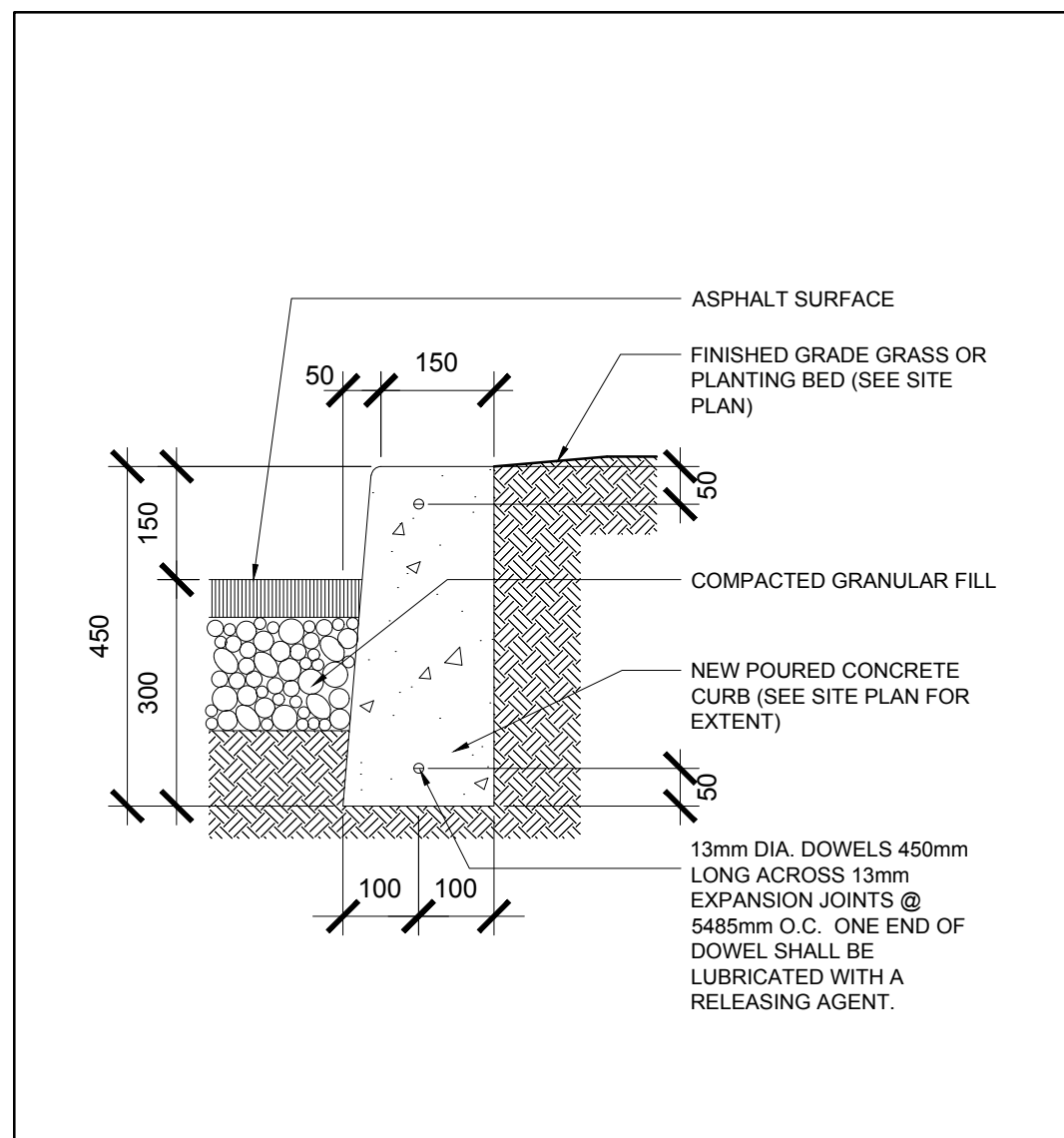
**1 Stop Sign Detail**  
Scale: 1:20



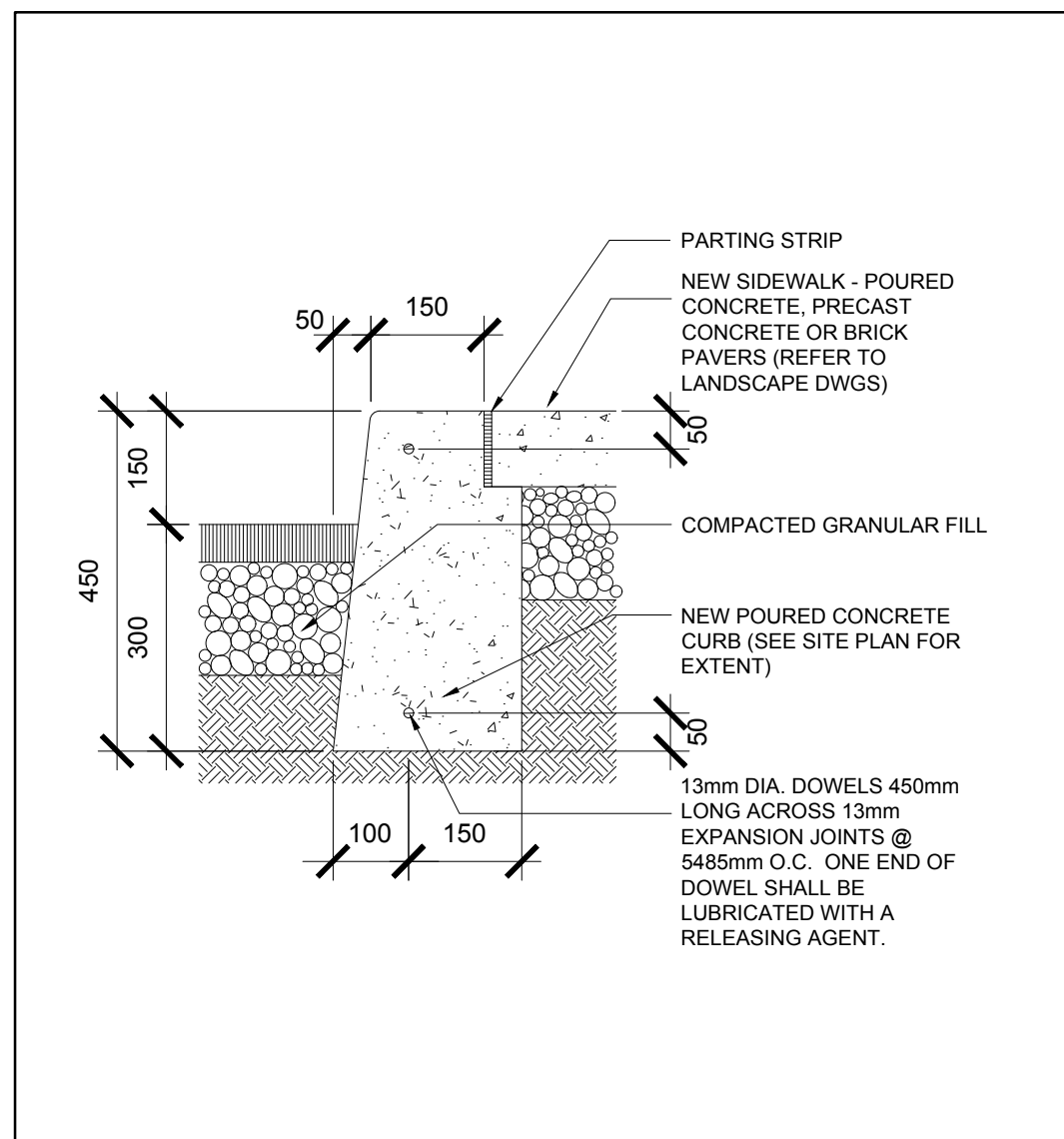
**2 Parking Sign Detail**  
Scale: 1:20



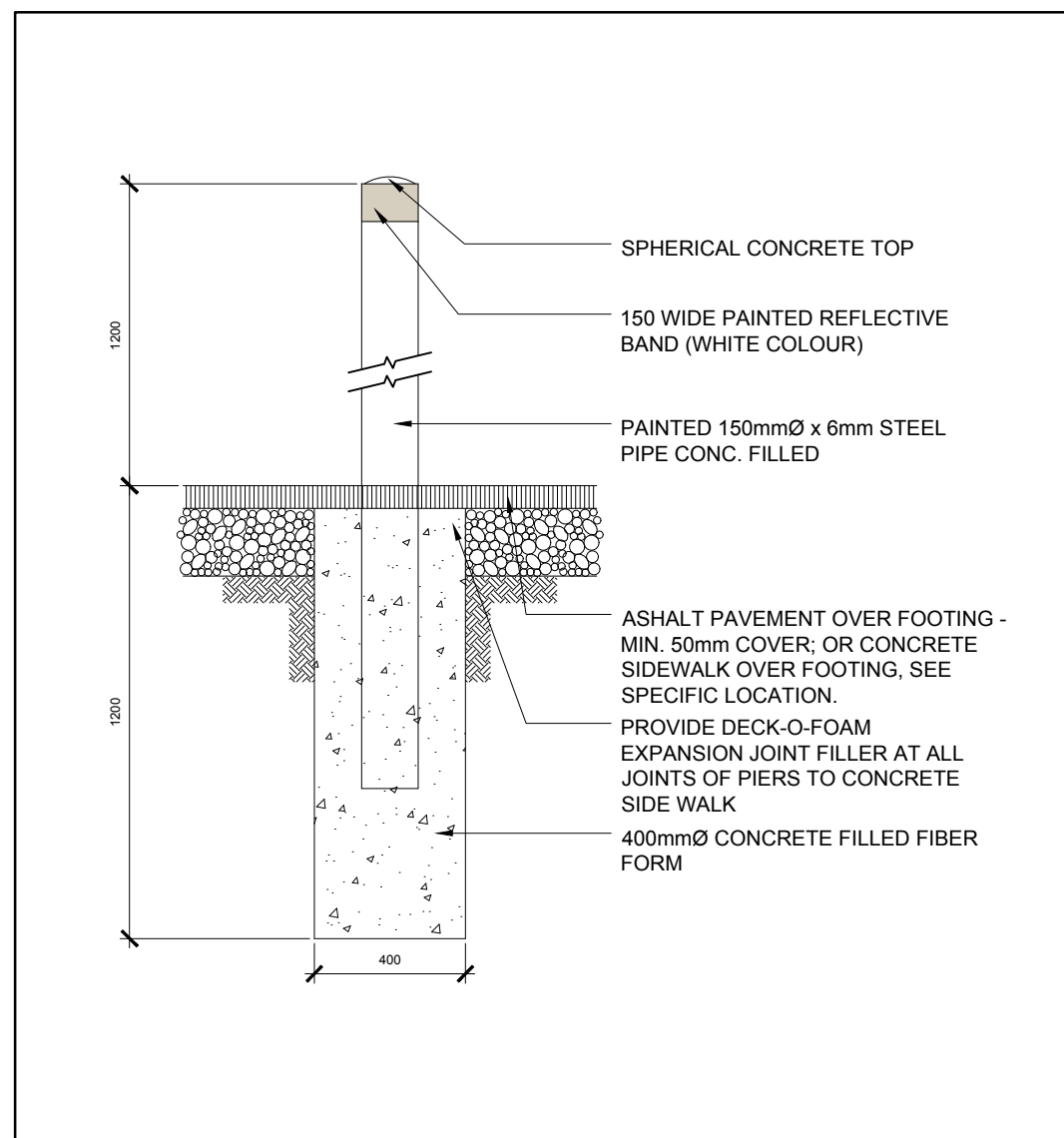
**3 Accessible Parking Sign Detail**  
Scale: 1:20



**4 Concrete Curb @ Landscape**  
Scale: 1:10

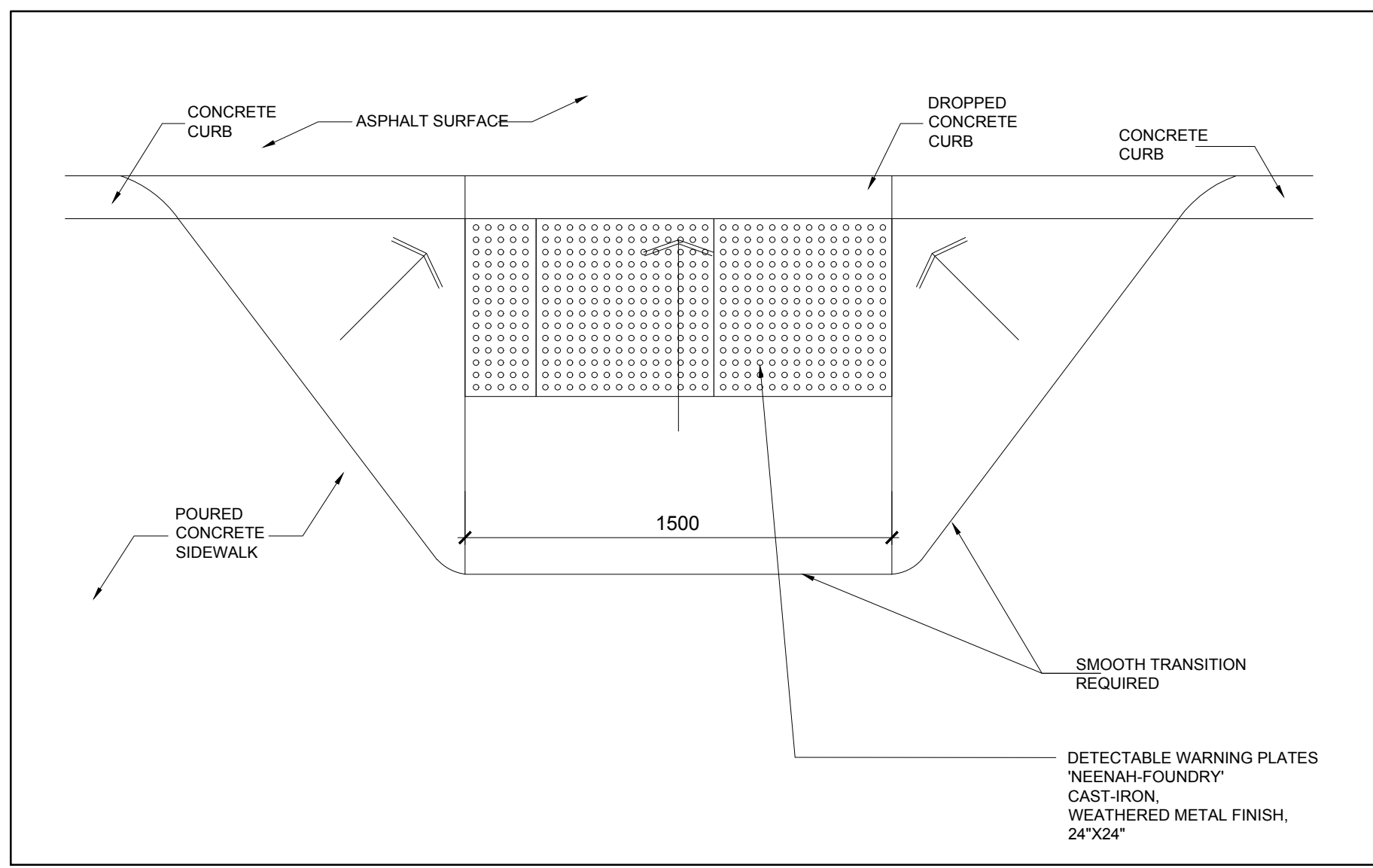


**5 Concrete Curb @ Sidewalk**  
Scale: 1:10



**6 Typ. Bollard**  
Scale: 1:20

**7 Typ. Bollard for Hydro Transformer**  
NTS



**8 BF Sidewalk Detail**  
Scale: 1:10