

SITE & BLDG. STATS

ZONING : INSTITUTIONAL (I), sp 121

OCCUPANCY: Public Elementary School
KINDERGARTEN - GRADE 8

LOT AREA (27.375m²) 2.737 HECTARES
7.0 ACRES

GROSS FLOOR AREA

GROUND FLOOR	3,261 sq.m.
SECOND FLOOR	2,935 sq.m.
THIRD FLOOR	3,787 sq.m.
TOTAL GROSS FLA	7,983 sq.m. (85,928 sq.ft.)

CHILD CARE

TOTAL BUILDING GFA	6,732 sq.m. (72,590 sq.ft.)
FOOTPRINT	4,010 sq.m. (43,163 sq.ft.)

LEASABLE FLOOR AREA
(total area of all floors of a building within the outside walls, but does not include the area of walls, shafts, elevators, staircases, ventilating ducts, attics, attached enclosed and covered loading docks and related enclosed corridors used for loading purposes, parking garages, rooms for garbage containment, rooms for bicycle parking and mechanical rooms. (S22, S27)

LEASABLE FLOOR AREA

GROUND FLOOR	2,719 sq.m.
SECOND FLOOR	2,596 sq.m.
THIRD FLOOR	1,616 sq.m.
TOTAL LEASABLE FLA	6,931 sq.m. (74,605 sq.ft.)

CHILD CARE

TOTAL BUILDING FLA	7,589 sq.m. (81,666 sq.ft.)
FOOTPRINT	4,010 sq.m. (43,163 sq.ft.)

PARKING STATISTICS

	MAX	MIN	PROVIDED
2.0m x 5.0m min. size with 7.0m lanes	135	45	90 (45 class @ 1.8 + 45)

3 per classroom max.
1 per classroom min.
max. 5m
(45 class @ 3 x 125 min)

Portable Classrooms or Addition (1 per classroom max.) (17 portable @ 3 x 125 min)	54	18	18 (18 class @ 1 + 18)
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Dwelling (655 sq.m.)
1.0 per 18.0-sq. net floor area min. (no maximum)

TOTAL PROVIDED = (92 @ 35 + 182 @ 101)	136
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SNOW STORAGE (MINIMUM HARD SURFACE AREA)

HARD SURFACE AREA	= 4,766 m ²
MIN. SNOW STORAGE AREA	= 720 m ²

SNOW STORAGE AREA PROVIDED = 747 m²

SITE STATISTICS per Zoning By-law 2009-189 amend. May 2022

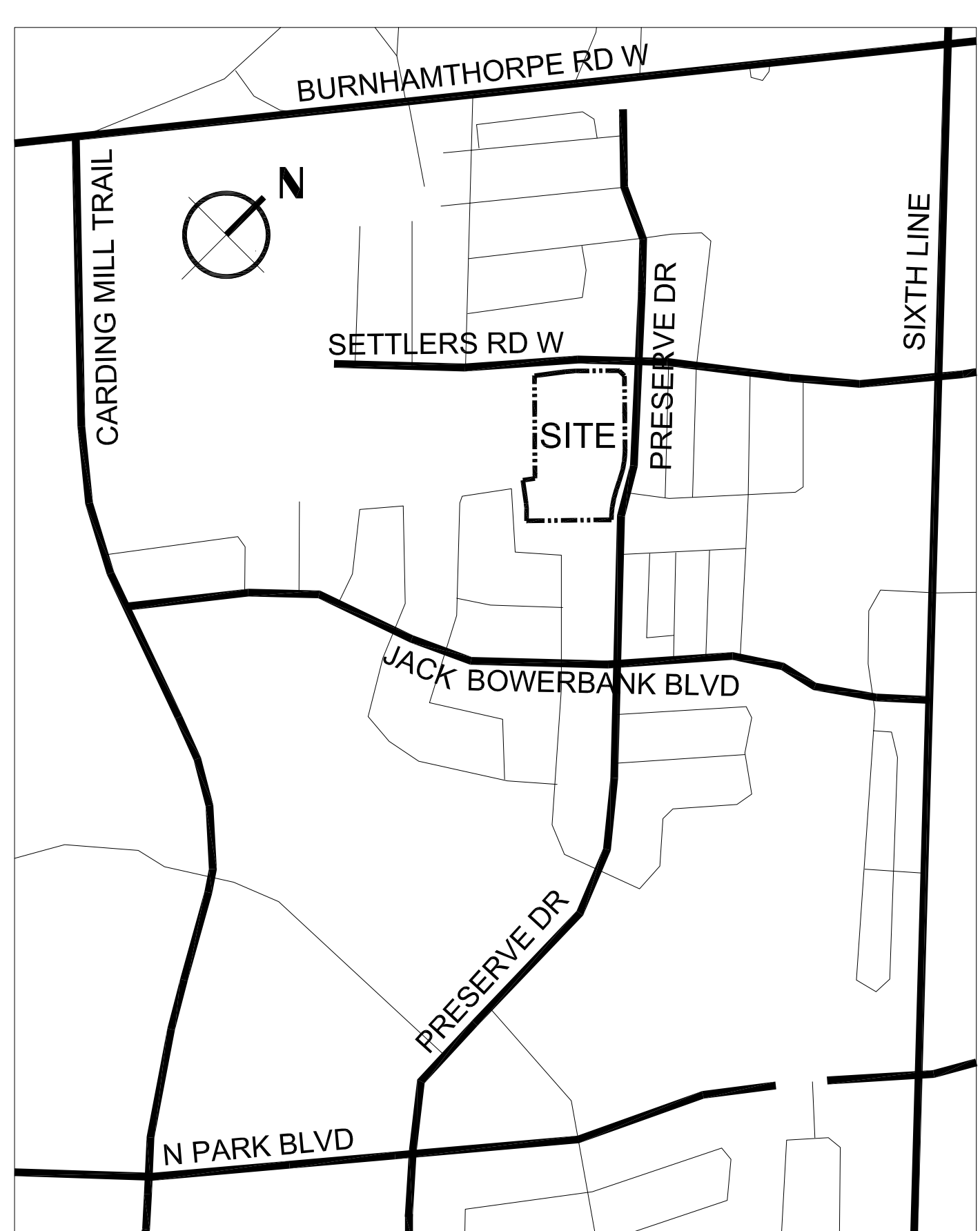
ZONING : INSTITUTIONAL (I), sp 121

	REQ.	PROVIDED
FRONT YARD SETBACK	3.0 m MIN. MAX = SMALL NOT APPLY	5.00 m
INTERIOR SIDE YARD SETBACK	1.5 m MIN.	38.48 m
FLANKAGE YARD	3.0m MIN.	4.40m
REAR YARD SETBACK	7.5 m MIN.	128.30 m
BUILDING HEIGHT	0 m - 19.0 m	12.65 m
FLOOR SPACE INDEX	n/a	0.280
MIN. LANDSCAPE ETRP INT. & REAR	4.5 m min.	4.5 m

GENERAL NOTES

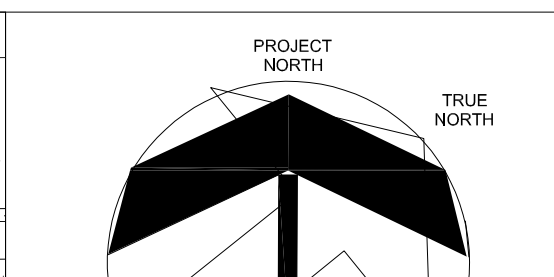
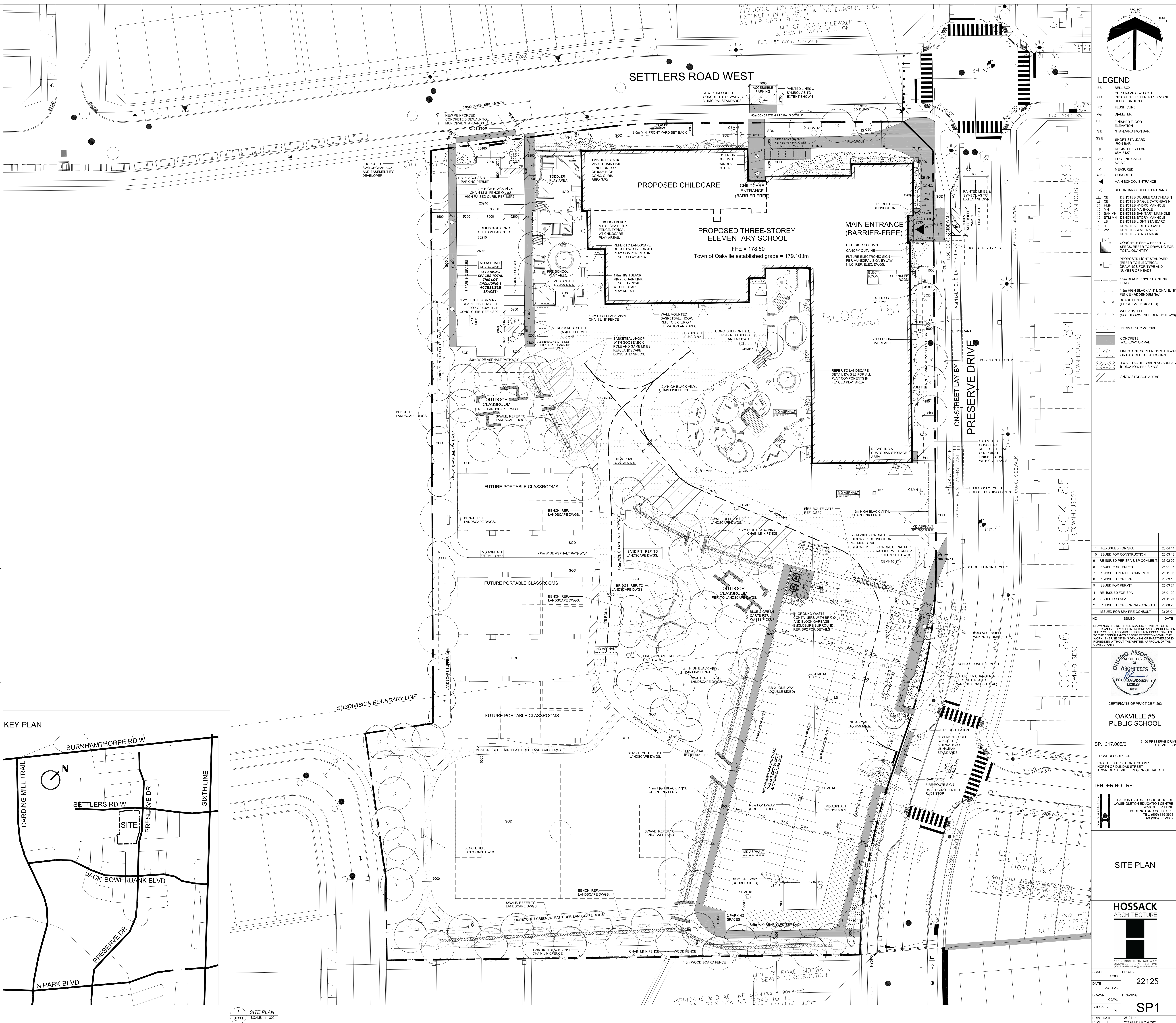
- All exterior lighting will be directed onto the site and will not intrude on adjacent properties.
- Grades will be met with 3% maximum slope at the property lines and within.
- Parking spaces reserved for the physically handicapped must be identified by appropriate signage, installed at the applicant's expense, in accordance with the designated specifications of City By-law.
- There are no underground parking structures on this project.
- The structural design of any retaining wall over 0.6 meters in height or any retaining wall located on a property line to be shown on the Site Grading Plan for this project and to be approved by a Structural Engineer.
- Location of signs indicating the routes shall be to the Town of Oakville Fire Department approval.
- All roads and driveways which are to be designated as the routes shall be so designated as per the Town's By-law, prior to occupancy of the building.
- Fire route access shall be constructed of heavy duty asphalt surface material or reinforced concrete conforming to municipal standards and have a charge of gradient not more than 1:12 over a minimum distance of 15 m.
- Standard parking spaces shall be 2.0m x 5.0m min. hard surface area.
- Accessible parking spaces shall be Type 3, 3.0m x 5.2m, Type 2, 2.7m x 5.2m min. hard surface area with access lanes where indicated and paved road and signage per Town's By-law requirements.
- Continuous concrete curbing typical throughout parking areas. All curbs to be 150mm high barrier type rounded concrete.
- All surface drainage shall be self contained and collected and discharged at a location to be approved prior to issuance of a building permit. Existing drainage pattern to be maintained.
- In the event of a fire, the municipal curb and sidewalk will be continuous through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb depression will be provided for each driveway at the point of connection.
- The top of any curbing bordering the driveway within the municipal boulevard shall flush with the municipal sidewalk and road curb.
- The portions of the driveways within the municipal boulevard will be paved as part of this contract.
- Sedimentation control measures as per Town's standards are to be implemented during construction.
- All underground service materials and installations to be in accordance with the latest standards and codes.
- Final occupancy permit must be obtained by Contractor 48 hours prior to commencing any works within the municipal road allowance.
- All catchbasin manholes to have a minimum 0.3 sump and top as per municipal standards.
- All storm sewer materials and construction methods must correspond to current municipal standards and specifications.
- Building construction is interrupted and/or inactivity exceeds 30 days, unimpervious areas will be established by seeding.
- All excess excavated material will be removed from site.
- All above ground utilities are to be either a minimum distance of 1500mm from all proposed driveways.
- The contractor is required to supply all labour, materials and equipment for the installation of assumed signage, temporary or permanent, as illustrated in the site plan drawings and in accordance with the Ontario Traffic Manual and Town of Oakville.
- Refer to AD Drawing 100 for weeding list required at perimeter and interior of building at footing levels. AD 100 to be read in conjunction with Site Servicing Drawing and Landscape Drawings for additional weeding list requirements.
- Refer to Drawing SP2 for site plan details. This drawing to be read in conjunction with site landscape, grading and civil drawings.
- Refer to AD drawings for exterior storage and additional site plan details. This drawing to be read in conjunction with site landscape, grading and civil drawings.
- Electrical room to be equipped with Stanley locks for direct access from exterior by Oakville Hydro.
- SEE PLAN FILE NUMBER: SP-1317-0501

KEY PLAN



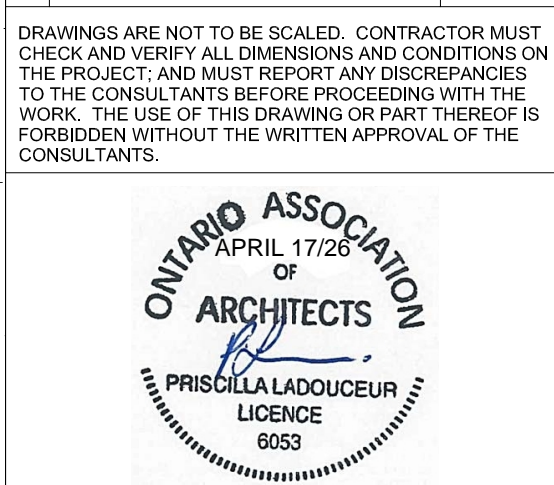
2 BICYCLE RACK
SCALE: NTS

1 SITE PLAN
SCALE: 1:300



- LEGEND**
- BB BELL BOX
 - CB CURB BARRIERS ON TACTILE INDICATOR. REFER TO SP2 AND SPECIFICATIONS
 - FC FINISH CURB
 - FL FLUSH CURB
 - da DIAMETER
 - F.F.E. FINISHED FLOOR ELEVATION
 - SSB SHORT STANDARD IRON BAR
 - SSB SHORT STANDARD IRON BAR REGISTERED PLAN 69M-3427
 - P POST INDICATOR VALUE
 - M MEASURED
 - CONC. CONCRETE
 - ▲ MAIN SCHOOL ENTRANCE
 - ▲ SECONDARY SCHOOL ENTRANCE
 - CB DENOTES DOUBLE CATCHBASIN
 - CB DENOTES BRICK CATCHBASIN
 - HM DENOTES HYDRO MANHOLE
 - SM DENOTES SANITARY MANHOLE
 - SM DENOTES STORM MANHOLE
 - LS DENOTES LIGHT STANDARD
 - LS DENOTES HYDRANT
 - WV DENOTES WATER VALVE
 - WV DENOTES WET WELL
 - CONC. SHED. REFER TO DRAWING FOR TOTAL QUANTITY
 - LS PROPOSED LIGHT STANDARD REFER TO ELECTRICAL DRAWINGS FOR TYPE AND NUMBER OF HEADS
 - 1.2m HIGH BLACK VINYL CHAIN LINK FENCE - ADDENDUM No.1
 - ROAD FENCE - REFER TO LANDSCAPE (HEIGHT AS INDICATED)
 - WEAVING TILE (NOT SHOWN. SEE GEN NOTE #28)
 - HEAVY DUTY ASPHALT
 - CONCRETE WALKWAY OR PAD
 - LIMESTONE SCREENING WALKWAY OR PAD TO BE INSTALLED TO LANDSCAPE
 - TWIS - TACTILE WARNING SURFACE INDICATOR, REF. SPECS.
 - SNOW STORAGE AREAS

11	ISSUED FOR SPA	26 04 11
10	ISSUED FOR CONSTRUCTION	26 03 18
9	RE-ISSUED PER SPA & 6P COMMENTS	26 02 02
8	ISSUED FOR TENDER	26 01 15
7	RE-ISSUED PER 6P COMMENTS	25 11 05
6	ISSUED FOR SPA	25 09 15
5	ISSUED FOR PERMIT	25 03 24
4	RE-ISSUED FOR SPA	25 01 29
3	ISSUED FOR SPA	24 11 27
2	REISSUED FOR SPA PRE-CONSULT	23 08 25
1	ISSUED FOR SPA PRE-CONSULT	23 05 01

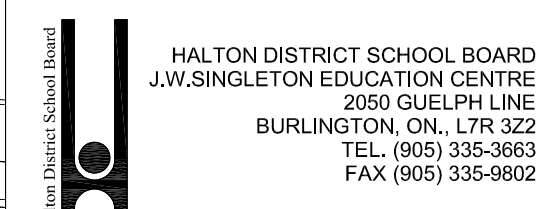


CERTIFICATE OF PRACTICE #4922
OAKVILLE #5 PUBLIC SCHOOL

SP.1317.005/01 3400 PRESERVE DRIVE OAKVILLE, ON

LEGAL DESCRIPTION:
PART OF LOT 17, CONVESSION 1,
NORTH OF GARDING STREET,
TOWN OF OAKVILLE, REGION OF HALTON

TENDER NO. RFT



HALTON DISTRICT SCHOOL BOARD
J.W. SINGLETON EDUCATION CENTRE
BURLINGTON, ON L7R 3Z2
TEL: (905) 335-2663
FAX: (905) 335-9602

SITE PLAN



SCALE: 1:300 PROJECT
DATE: 23 04 23 22125
DRAWN: C.C.P.L. DRAWING
CHECKED: P.L. SP1
PRINT DATE: 26 01 14
REVIT FILE: 22125-4538-04502