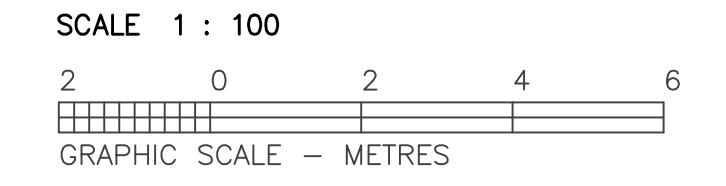


SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY OF
PART OF LOT A
BLOCK 26
REGISTERED PLAN 1
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON



INTEGRATION DATA

BEARINGS ARE UTM GRID, DERIVED FROM THE OBSERVED REFERENCE POINTS "A" AND "B" BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS-2010.0)

OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD-83 (CSRS-2010.0). CO-ORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O. REG. 216/10.

POINT N°	NORTHING	EASTING
A	4,811,397.15	607,838.22
B	4,811,450.94	607,852.71

CO-ORDINATES CAN NOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ALL BEARINGS IN COMPARISONS ARE ASTRONOMIC.

DISTANCE NOTE
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED INTO GRID DISTANCES BY MULTIPLYING BY A COMBINE SCALE FACTOR OF 0.99973110.

METRIC NOTE
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

DIMENSION NOTE
ALL BEARINGS AND DISTANCES SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.

ELEVATION NOTE
ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND WERE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK C-251 HAVING AN ELEVATION OF 118.729m (CGVD-1928:1978).

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SIB DENOTES STANDARD IRON BAR
 - ISIB DENOTES STANDARD IRON PIPE
 - IB DENOTES IRON BAR
 - CC DENOTES CUT CROSS
 - PC DENOTES CONCRETE PIN
 - PB DENOTES PLASTIC BAR
 - P.I.N. DENOTES IDENTIFICATION NUMBER
 - (E1) DENOTES ENCROACHMENT REFERENCE
 - (N) DENOTES NO IDENTIFICATION
 - (950) DENOTES CUNNINGHAM MCCONNELL LIMITED
 - (C&S) DENOTES CALCULATED AND SET
 - (B) DENOTES BRICK
 - (Fdn) DENOTES FOUNDATION
 - (M) DENOTES MEASURE
 - P-1 DENOTES PLAN BY J.D. BARNES JULY 21, 1987
 - P-2 DENOTES PLAN BY F.G. CUNNINGHAM JUNE 8, 1988
 - P-3 DENOTES REGISTERED PLAN 1
 - P-4 DENOTES PLAN BY MCCONNELL MAUGHAN NOVEMBER 6, 1980
 - P-5 DENOTES PLAN BY S. JACOBS FEBRUARY 16, 2006

- TOPOGRAPHIC LEGEND**
- AW DENOTES ANCHOR WIRE(S)
 - SB DENOTES BELL BOX
 - CB DENOTES U/G BELL CABLE
 - COM-0.20 DENOTES CONIFEROUS TREE 0.20 DIA
 - DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA
 - TH DENOTES TREE HYDRANT
 - GM DENOTES GAS METER
 - GV DENOTES GAS VALVE
 - G- DENOTES U/G GAS MAIN
 - H- DENOTES U/G HYDRO CABLE
 - LS DENOTES LIGHT STANDARD (LAMP)
 - MH DENOTES MANHOLE
 - OW- DENOTES OVER HEAD WIRE(S)
 - SAN- DENOTES SANITARY SEWER
 - STM- DENOTES STORM SEWER
 - UP DENOTES UTILITY POLE
 - UPLS DENOTES UTILITY POLE/LIGHT STANDARD
 - WV DENOTES WATER VALVE (KEY)
 - W- DENOTES U/G WATER MAIN

PART 2 - SURVEY REPORT

- DESCRIPTION OF LAND:**
PART OF LOT A, BLOCK 26, REGISTERED PLAN 1.
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:**
NONE REGISTERED ON TITLE AND AFFECTING THE SUBJECT LANDS.
- BOUNDARY FEATURES:**
ASIDE FROM FENCING, THE FOLLOWING FEATURES MAY AFFECT THE BOUNDARY:
(E1) THREE FLOODLIGHTS ARE EXTENDING FROM THE BUILDING ON THE SUBJECT LANDS INTO THE PUBLIC ROAD KNOWN AS TRAFALGAR ROAD.
- MUNICIPAL ZONING COMPLIANCE:**
TO BE DETERMINED BY THE ZONING DEPARTMENT OF THE TOWN OF OAKVILLE.
- PARCEL AREA:**
THE TOTAL AREA OF THE SUBJECT LANDS WAS CALCULATED AS 683.5 m².

UNDERGROUND SERVICES NOTE
ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.
THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 1, 2022.
DATE: NOVEMBER 1, 2022
JARD M. LEGAT, M.Sc.
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM
V-36503

CUNNINGHAM MCCONNELL LIMITED
ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38
OAKVILLE, ONTARIO L6L 2X4
PHONE (905) 845-3497
FAX (905) 845-3519
info@cmilsurveyors.ca

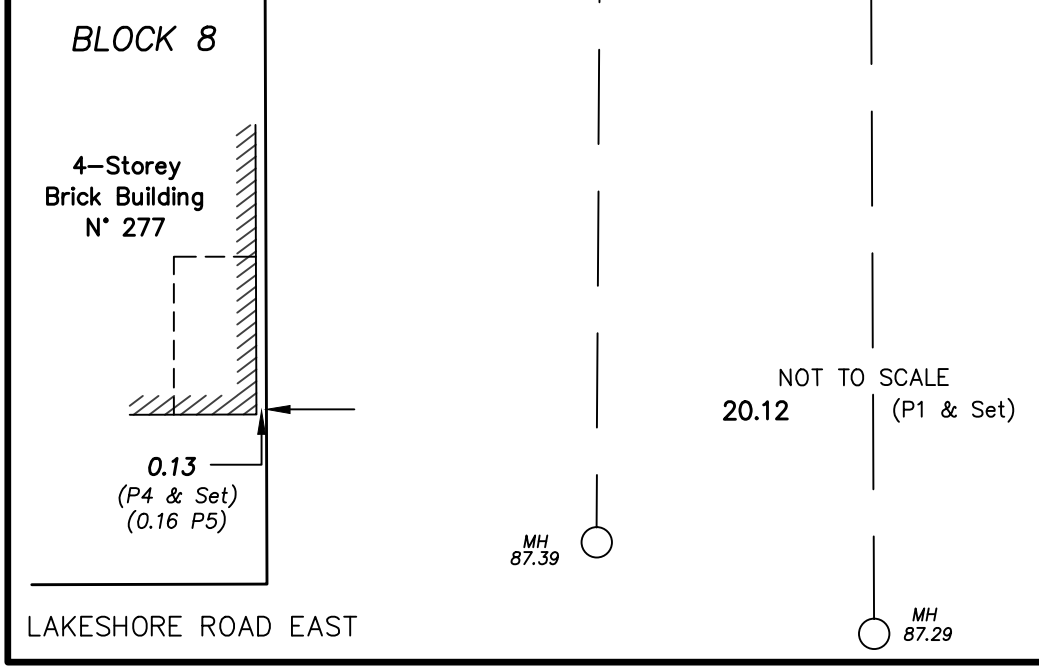
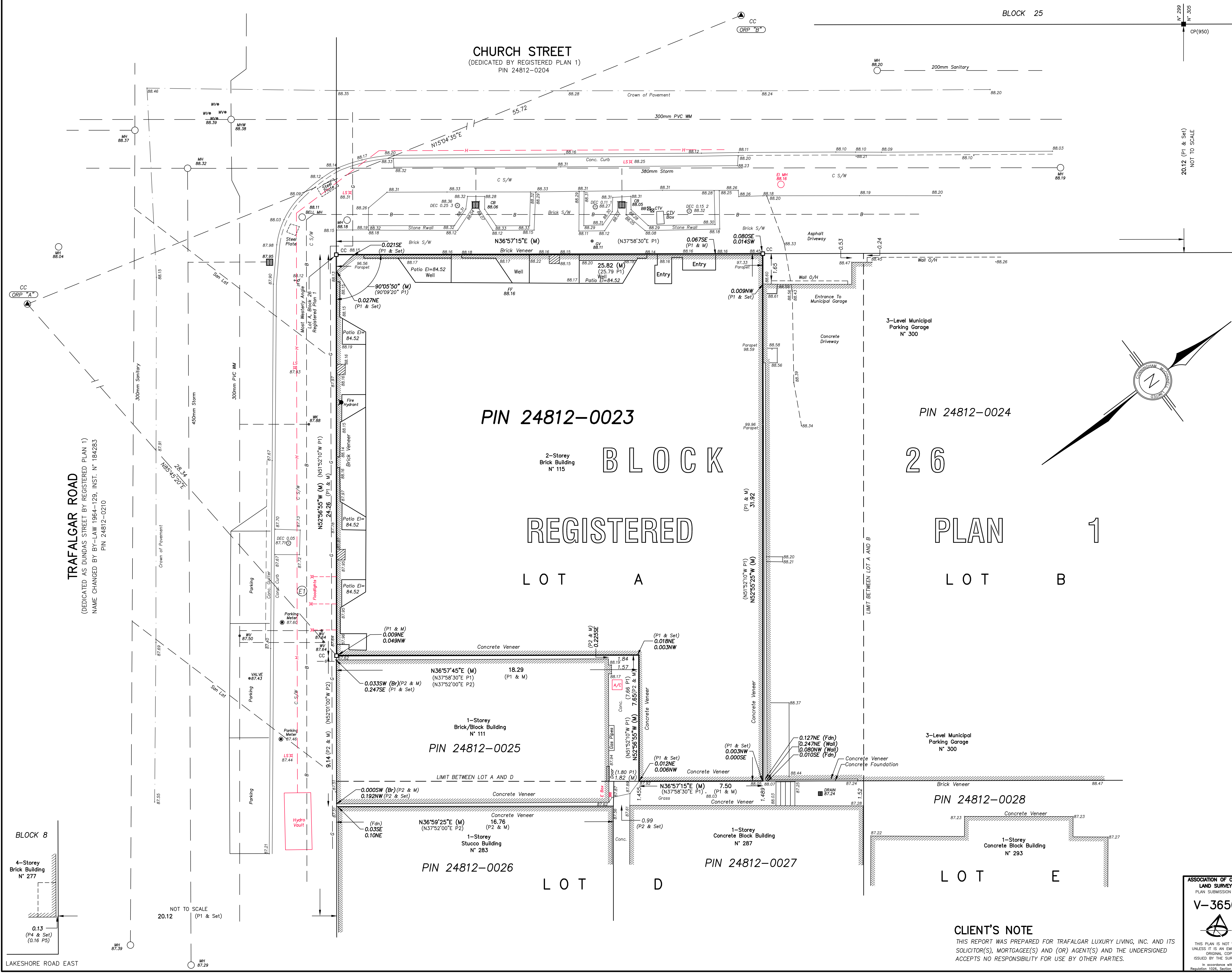
205 MAIN STREET
MILTON, ONTARIO L9T 1N7
PHONE (905) 878-7810
FAX (905) 878-6672
milton.office@cmilsurveyors.ca

PLAN 122-22-1

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CLIENT'S NOTE
THIS REPORT WAS PREPARED FOR TRAFALGAR LUXURY LIVING, INC. AND ITS SOLICITOR(S), MORTGAGEE(S) AND (OR) AGENT(S) AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.



TRAFALGAR ROAD
(DEDICATED AS DUNDAS STREET BY REGISTERED PLAN 1)
NAME CHANGED BY BY-LAW 1964-119, INST. N° 184283
PIN 24812-0210

NOT TO SCALE
20.12 (P1 & Set)

CHURCH STREET
(DEDICATED BY REGISTERED PLAN 1)
PIN 24812-0204

PIN 24812-0023

PIN 24812-0024

BLOCK 26
REGISTERED LOT A

PLAN 1
LOT B

PIN 24812-0025

PIN 24812-0026

PIN 24812-0027

PIN 24812-0028

PIN 24812-0029

LAKESHORE ROAD EAST