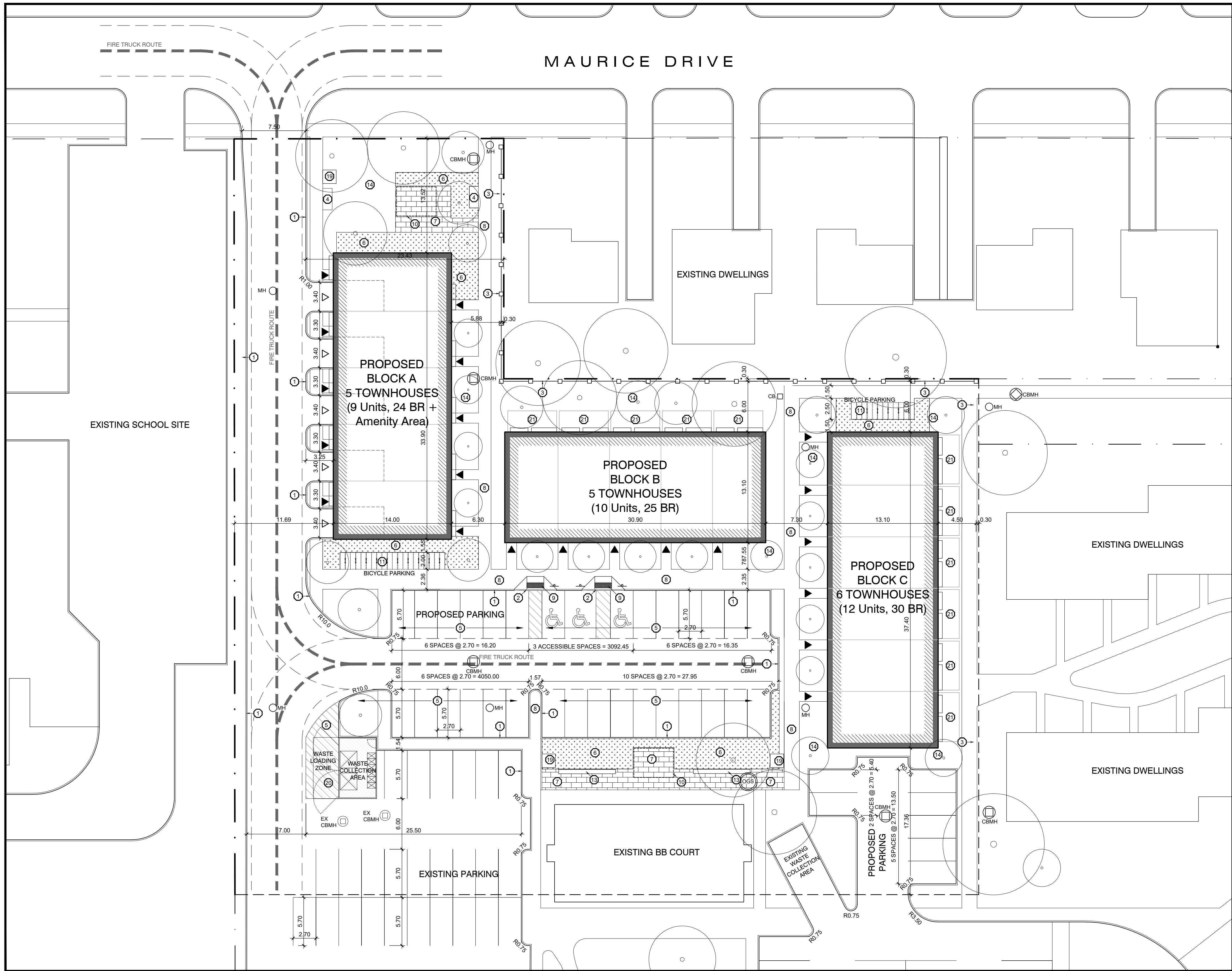
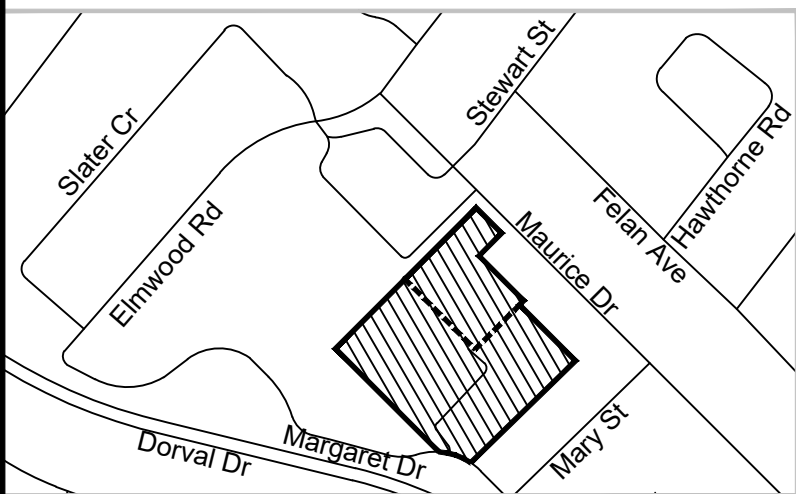
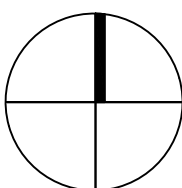




SITE LEGEND			
—	PROPERTY LINE	MH	NEW MANHOLE
▼	PRINCIPAL ENTRANCE	STC	NEW STORMCEPTOR
—	BF - BARRIER FREE	HW	NEW HEADWALL
—	GRADE LEVEL	CO	NEW CLEAN-OUT
—	OVERHEAD DOOR	WV	NEW WATER VALVE
—	DENOTES FIRE ROUTE	FH	NEW FIRE HYDRANT
—	MIN. 6.0m WIDE WITH MIN. 12.0m CENTRELINE RADIUS	FDC	NEW FIRE DEPARTMENT CONNECTION
—	BARRIER FREE PARKING	LS	NEW LIGHT STANDARD
—	PROPOSED 1.8m HIGH FENCE	LS	NEW LIGHT MOUNTED LIGHT FIXTURE
CB	NEW CATCH BASIN	RL	NEW WALL MOUNTED LIGHT - SOFFIT MOUNTED
DCR	NEW DOUBLE CATCH BASIN	RL	NEW TRAFFIC SIGNAGE - REFERS TO SIGNAGE LEGEND
CBMH	NEW CATCH BASIN MANHOLE	EX	EXISTING CATCH BASIN MANHOLE
DCBMH	NEW DOUBLE CATCH BASIN MANHOLE	EX	EXISTING CATCH BASIN
OGS	NEW OIL AND GRIT SEPARATOR	EX	EXISTING MANHOLE
AD	NEW AREA DRAIN		

SIGNAGE LEGEND	
VP - VISITOR PARKING	NOTE: ALL SIGNAGE ON SITE WILL ADHERE TO TOWN OF OAKVILLE SIGNAGE BYLAW AND WILL HAVE PERMITS APPLIED FOR UNDER THIS BYLAW.
AP - ACCESSIBLE PARKING	
ST - NEW STOP SIGN	
NP - NO PARKING ZONE SIGN	
FR - FIRE ROUTE	

SITE PLAN NOTES	
1	CONCRETE CURB - REFER TO CIVIL DWGS.
2	DROPPED CURB - REFER TO CIVIL DWGS.
3	1.8m BOARD FENCE - REFER TO LANDSCAPE DRAWINGS.
4	PROPOSED BENCH ON CONCRETE PAD - REFER TO LANDSCAPE DWGS.
5	PAINTED LINE MARKINGS AND GRAPHICS
6	PLANTING BED - REFER TO LANDSCAPE DWGS.
7	PROPOSED UNIT PAVING - REFER TO LANDSCAPE DWGS.
8	NEW CONCRETE SIDEWALK - REFER TO LANDSCAPE/CIVIL DWGS.
9	BARRIER FREE TACTILE WARNING STRIP - REFER TO LANDSCAPE/CIVIL DWGS.
10	PANEL SHADE STRUCTURE - REFER TO LANDSCAPE DWGS.
11	BICYCLE RACKS ON CONCRETE PAD - REFER TO LANDSCAPE DWGS.
12	CIP BRUSH FINISH CONCRETE - REFER TO LANDSCAPE DWGS.
13	PROPOSED GRANITE SEAT WALL - REFER TO LANDSCAPE DWGS.
14	LANDSCAPED AREA - REFER TO LANDSCAPE DWGS.
15	CAST IN PLACE (CIP) CONCRETE CURB - REFER TO LANDSCAPE DWGS.
16	PATH LIGHTING - BOLLARD - REFER TO ELECTRICAL DWGS.
17	SNOW STORAGE AREA - EXCESS SNOW TO BE REMOVED FROM SITE BY PRIVATE SNOW REMOVAL SERVICE
18	GAS METER LOCATION - REFER TO MECHANICAL DWGS.
19	TRANSFORMER w/ PAD - REFER TO ELECTRICAL DWGS.
20	7.50m x 7.25m LEVELED REINFORCED CONCRETE PAD FOR WASTE PICK-UP
21	CONCRETE PATIO w/ PRIVACY FENCE AT 1ST FLOOR UNITS - REFER TO CIVIL AND LANDSCAPE DWGS.
22	RESERVED
23	RESERVED
24	RESERVED

LOCATION MAP			
			 SCALE: NTS
SITE PLAN DATA CHART			
Property Address	284-320 MAURICE DRIVE, OAKVILLE, ONTARIO		
Legal Description	PART OF LOT 17, CONCESSION 3, SOUTH OF DUNDAS STREET, TOWN OF OAKVILLE, REGIONAL MUNICIPALITY OF HALTON		
Zone Provisions (RM1) Residential Medium , Special provision 69 (Old 73), Town of Oakville, Zoning By-law 2014-014 Special			
	Required (min)	Provided	
Lot Area	4,185.00 m ²	6,284.81 m ² (0.63ha)	
Lot Frontage	30.5 m	31.9 m	
Front Yard (Maurice Dr)	10.5 m	13.52 m	
Flankage Yard	10.5 m	n/a	
Int. Side Yard	10.5 m	6.30 m	
Separation distance between buildings containing dwelling units	2.4 m	6.30 m	
Rear Yard	10.5 m	17.36m	
Bldg Height	12.0 m (max.)	12.0 m	
Number of stories	2	3	
Density		49 units/ha	
Landscaping coverage	10%	19.7%	
Parking	47 spaces (2.0 spaces/townhouse, 1 space/ADU)	48 spaces (2.1 spaces/townhouse, 1 space/ADU)	
Existing Parking (not included in calculations for new units)	n/a	28	
Barrier Free Parking	3 spaces (4% of total req)	3 spaces	
Bike Parking	31 spaces (1/unit)	32 spaces	
Number of Units - 31			
Units			
Unit Type	Count	Bedrooms	Area
A	11	2 BR	775 s.f.
B	11	3 BR	1,600 s.f.
C	4	1 BR+D	1,250 s.f.
D	5	4 BR	2,030 s.f.

GENERAL NOTES	
- ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.	
- EXISTING CONDITIONS PREPARED BY MTE CONSULTANTS INC. (MAY 2025)	
- SURVEY BOUNDARY PREPARED BY MTE ONTARIO LAND SURVEYORS LTD. (62135_001-T1, 26 MAY 2025)	
- DRIVEWAYS AND AISLES TO BE DEFINED BY 0.20M RAISED CONCRETE CURBING OR SIDEWALKS AS SHOWN.	
- FIRE ROUTE TO BE DESIGNATED BY BY-LAW.	
- ARCHITECTURAL DRAWINGS PROVIDED BY MARTIN SIMMONS SWEERS (FEBRUARY 26, 2026)	
- REFER TO ENGINEERING DRAWINGS FOR RETAINING WALL AND STORM WATER MANAGEMENT CONSTRUCTION DETAILS.	
- ALL SNOW STORAGE SHALL BE STORED ON-SITE. SURPLUS SNOW STORAGE SHALL BE REMOVED OFF-SITE AT OWNERS EXPENSE BY PRIVATE REMOVAL SERVICE.	



01	07-07-2026	ISSUED FOR SITE PLAN APPROVAL
NP	DATE	ISSUE

MARTIN
SIMMONS
SWEERS

200 - 113 Breithaupt Street
Kitchener, ON N2H 5G9
t 519.745.4754 f 519.745.0061

DO NOT SCALE THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS AND / OR OMISSIONS TO THE ARCHITECT / CONSULTANT BEFORE COMMENCING THE WORK.

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT / CONSULTANT AND ARE NOT TO BE DUPLICATED OR DISTRIBUTED WITHOUT CONSENT FROM THE ARCHITECT / CONSULTANT.

ONTARIO ASSOCIATION
OF ARCHITECTS
JULY 7, 2026
JASON MARTIN
LICENCE
6045

284-320 MAURICE DR

284-320 MAURICE DRIVE, OAKVILLE, ONTARIO

DRAWING
ENLARGED SITE PLAN

DRAWN BY	CHECKED BY
AK	AV
DATE	FEBRUARY 26, 2026
SCALE	DRAWING NP
1:250	
PROJECT NP	SP-02
25050	