

2 KEY PLAN  
1 : 5000

**SITE STATISTICS**

**SITE AREA:** 25,818.1 m<sup>2</sup>  
**EXISTING GROSS FLOOR AREA:** 10,140 m<sup>2</sup>

**ZONING COMPLIANCE:**

REGULATION	BY-LAW REQUIREMENTS	EXISTING ZONING ON SITE	COMPLIANCE
MINIMUM LOT AREA	0.2ha	2.58ha	YES
MINIMUM FRONT YARD	3.0m	27.44m	YES
MINIMUM INTERIOR SIDE YARD	3.0m	16.39m	YES
MINIMUM REAR YARD	3.0m	11.89m	YES
MINIMUM LANDSCAPING COVERAGE	10%	12.3% (NO CHANGE)	YES
REQUIRED PARKING	190	239	YES

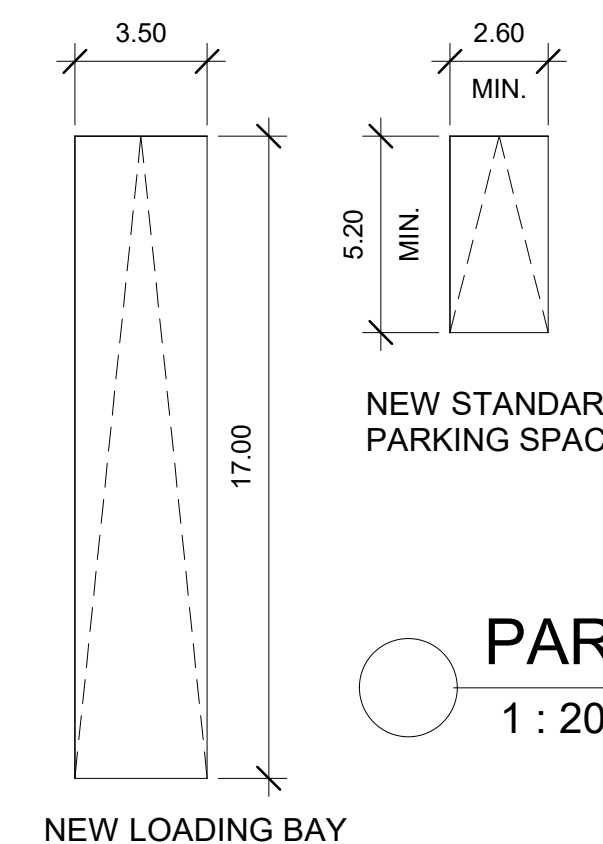
**NUMBER OF PARKING SPACE:**

**REQUIRED:**

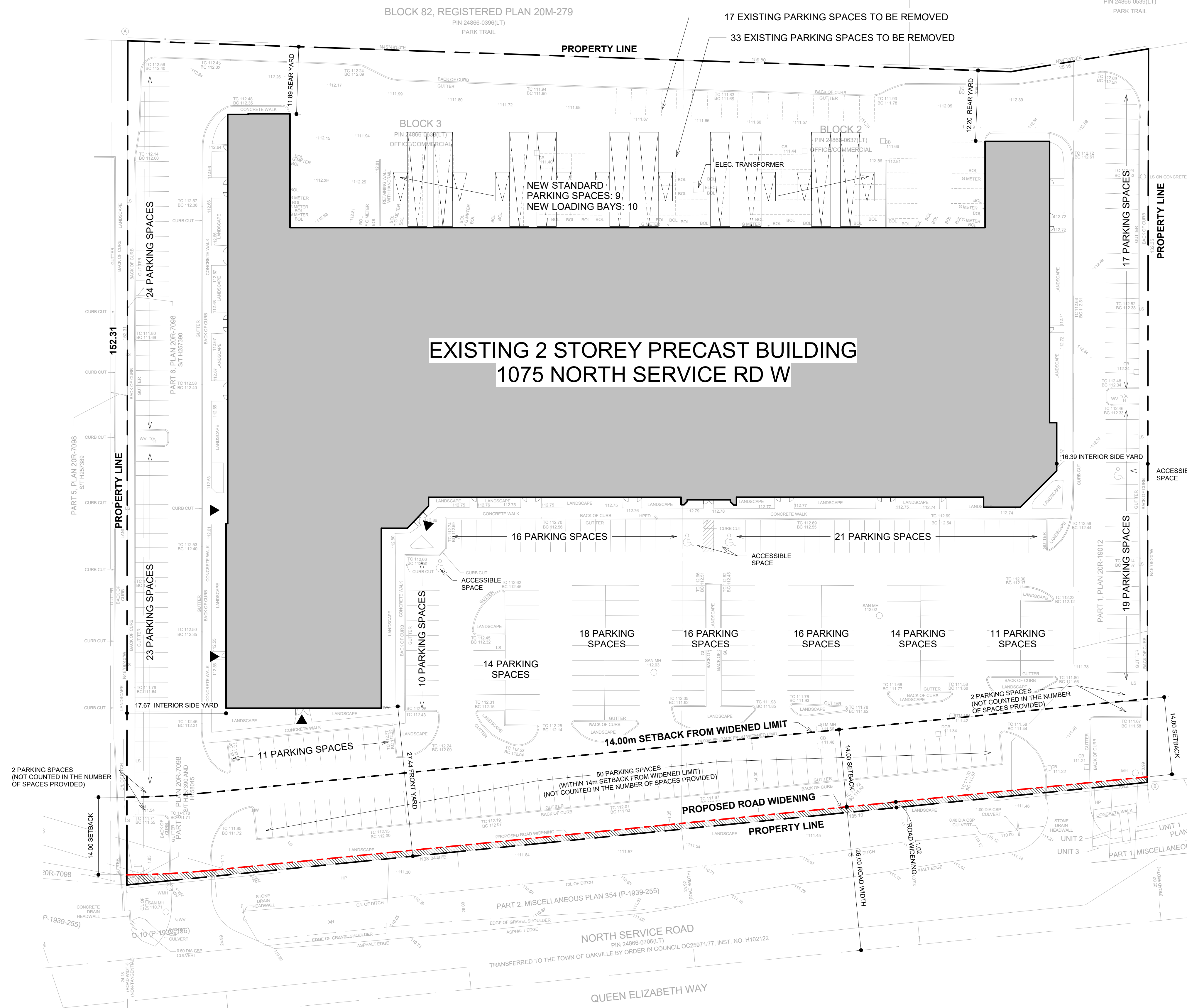
<b>BUSINESS OFFICE</b>	1.0 PER 35.0 m <sup>2</sup> NET FLOOR AREA 1.0 X 4925 / 35 = 141
<b>WAREHOUSE</b>	1.0 PER 100.0 m <sup>2</sup> NET FLOOR AREA 1.0 X 4880 / 100 = 49
<b>TOTAL</b>	141 + 49 = 190

**PROVIDED:**

	226 STANDARD SPACES (EXISTING) (NOT INCLUDING 54 SPACES IN THE 14m SETBACK) (NOT INCLUDING 50 SPACES TO BE REMOVED ON THE REAR YARD)
	4 ACCESSIBLE SPACES (EXISTING)
	9 STANDARD SPACES (NEW)
<b>TOTAL</b>	239 PARKING SPACES
<b>TOTAL</b>	10 LOADING BAYS (NEW) (3.5mX17.0m)



PARKING SPACE LEGEND  
1 : 200



1 SITE PLAN  
1 : 400

SHEET LIST	
Sheet Number	Sheet Name
A100	SITE PLAN
A101	GROUND FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	AREA CALCULATION

**REVISION RECORD**

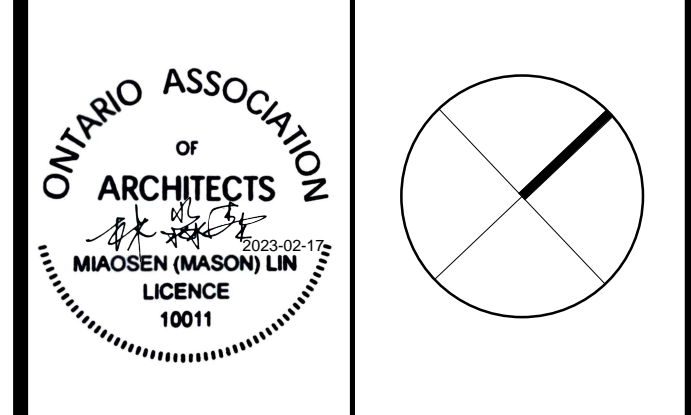
No.	Description	Date
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2	ISSUED FOR SUBMISSION	FEB 17, 23

**ISSUE RECORD**

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HOLDER OF THE CERTIFICATE OF PRACTICE:  
MAR ARCHITECT INC.

STAMP



**INDUSTRIAL RENOVATION**

1075 North Service Road West

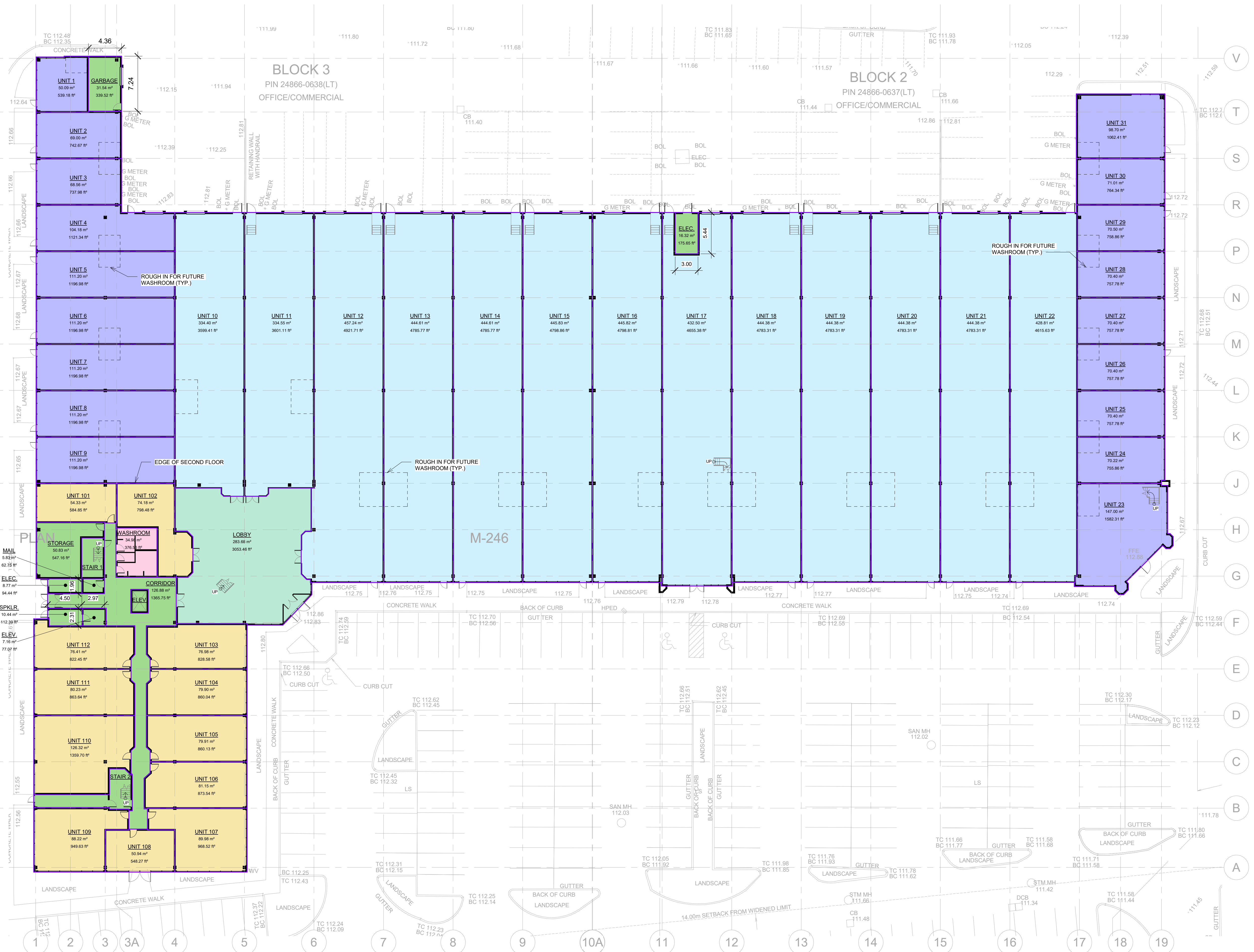
0001 As indicated RL ML  
PROJECT SCALE DRAWN REVIEWED

SITE PLAN

A100



INTERIOR AREA			
Name	Area	Area (sf)	Note
UNIT 1	50 m <sup>2</sup>	539 ft <sup>2</sup>	FLEX OFFICE
UNIT 2	69 m <sup>2</sup>	743 ft <sup>2</sup>	FLEX OFFICE
UNIT 3	69 m <sup>2</sup>	738 ft <sup>2</sup>	FLEX OFFICE
UNIT 4	104 m <sup>2</sup>	1121 ft <sup>2</sup>	FLEX OFFICE
UNIT 5	111 m <sup>2</sup>	1197 ft <sup>2</sup>	FLEX OFFICE
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UNIT 12	457 m <sup>2</sup>	4922 ft <sup>2</sup>	WAREHOUSE
UNIT 13	445 m <sup>2</sup>	4786 ft <sup>2</sup>	WAREHOUSE
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UNIT 22	429 m <sup>2</sup>	4616 ft <sup>2</sup>	WAREHOUSE
UNIT 23	216 m <sup>2</sup>	2322 ft <sup>2</sup>	FLEX OFFICE
UNIT 24	70 m <sup>2</sup>	756 ft <sup>2</sup>	FLEX OFFICE
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UNIT 215	68 m <sup>2</sup>	736 ft <sup>2</sup>	OFFICE
TOTAL	9326 m <sup>2</sup>	100388 ft <sup>2</sup>	



1 GROUND FLOOR PLAN  
1 : 250

**FLOOR PLAN LEGEND**

<span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> OFFICE	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> COMMON AREA
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> FLEX OFFICE	<span style="display:inline-block; width:15px; height:15px; background-color:pink; border:1px solid black;"></span> WASHROOM
<span style="display:inline-block; width:15px; height:15px; background-color:lightcyan; border:1px solid black;"></span> WAREHOUSE	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> LOBBY

**REVISION RECORD**

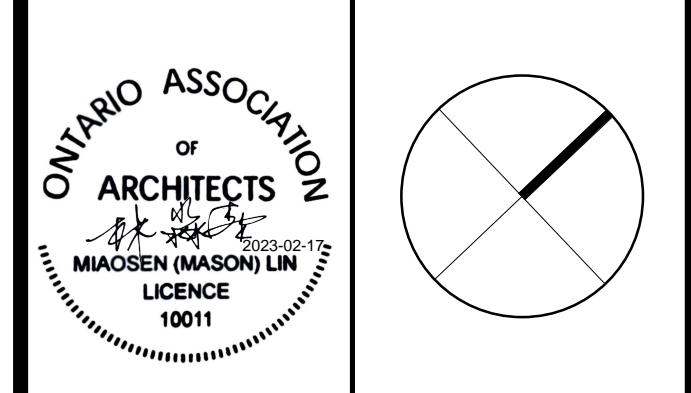
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0001 As indicated RL ML  
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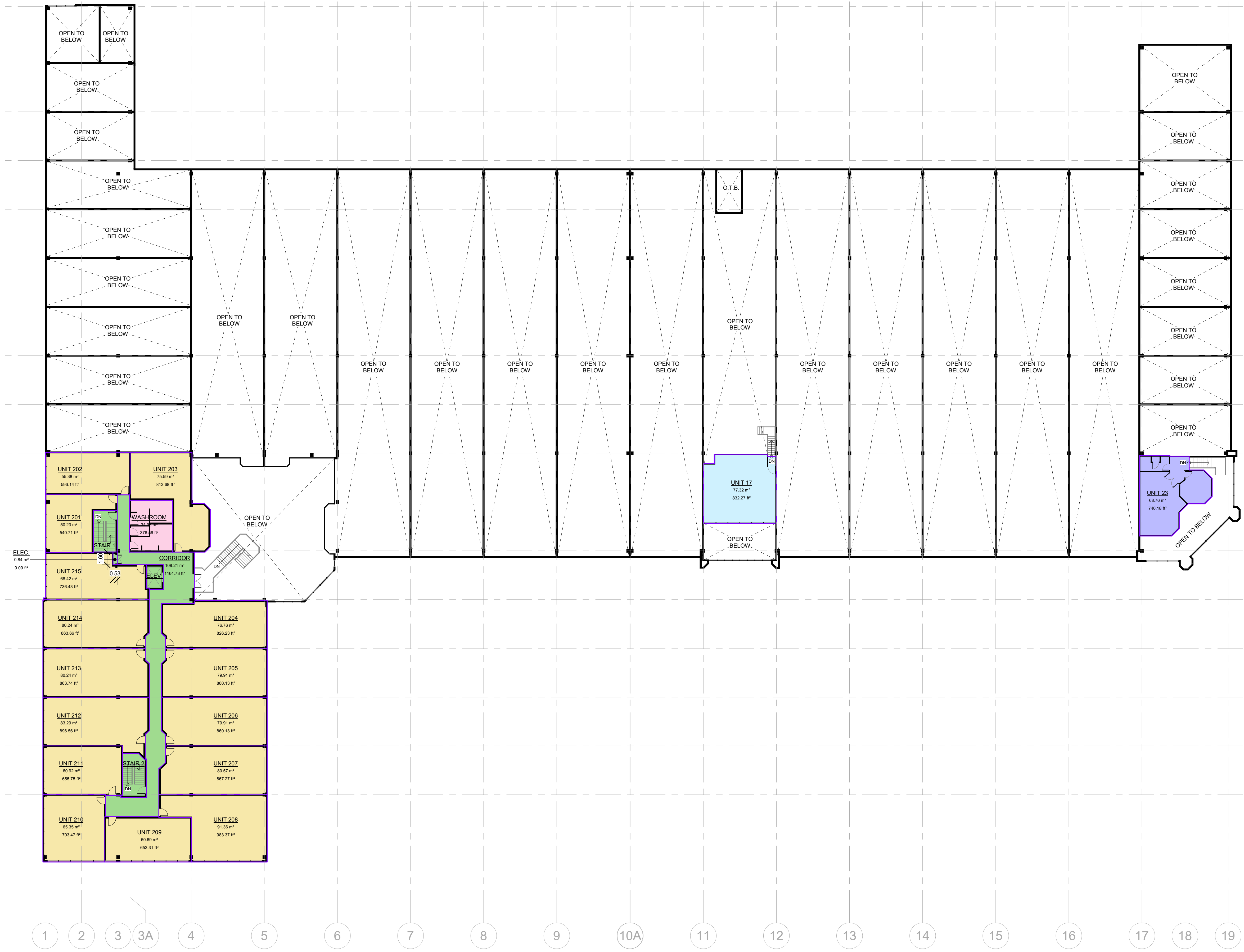
**GROUND FLOOR PLAN**

**A101**



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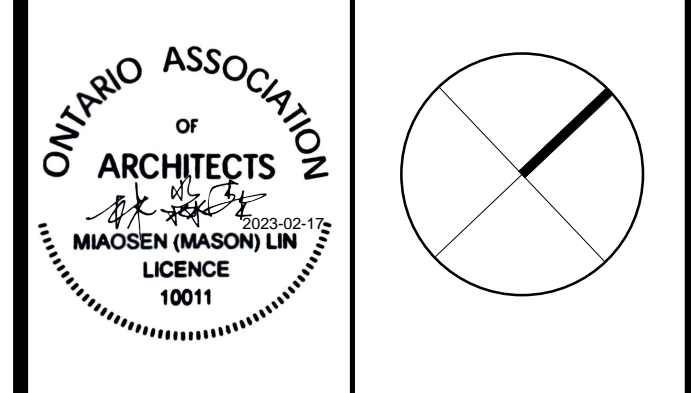
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INDUSTRIAL RENOVATION

1075 North Service Road West

0001	As indicated	RL	ML
PROJECT	SCALE	DRAWN	REVIEWED

SECOND FLOOR PLAN

A102

1 SECOND FLOOR PLAN  
1 : 250

**FLOOR PLAN LEGEND**

<span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> OFFICE	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> COMMON AREA
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