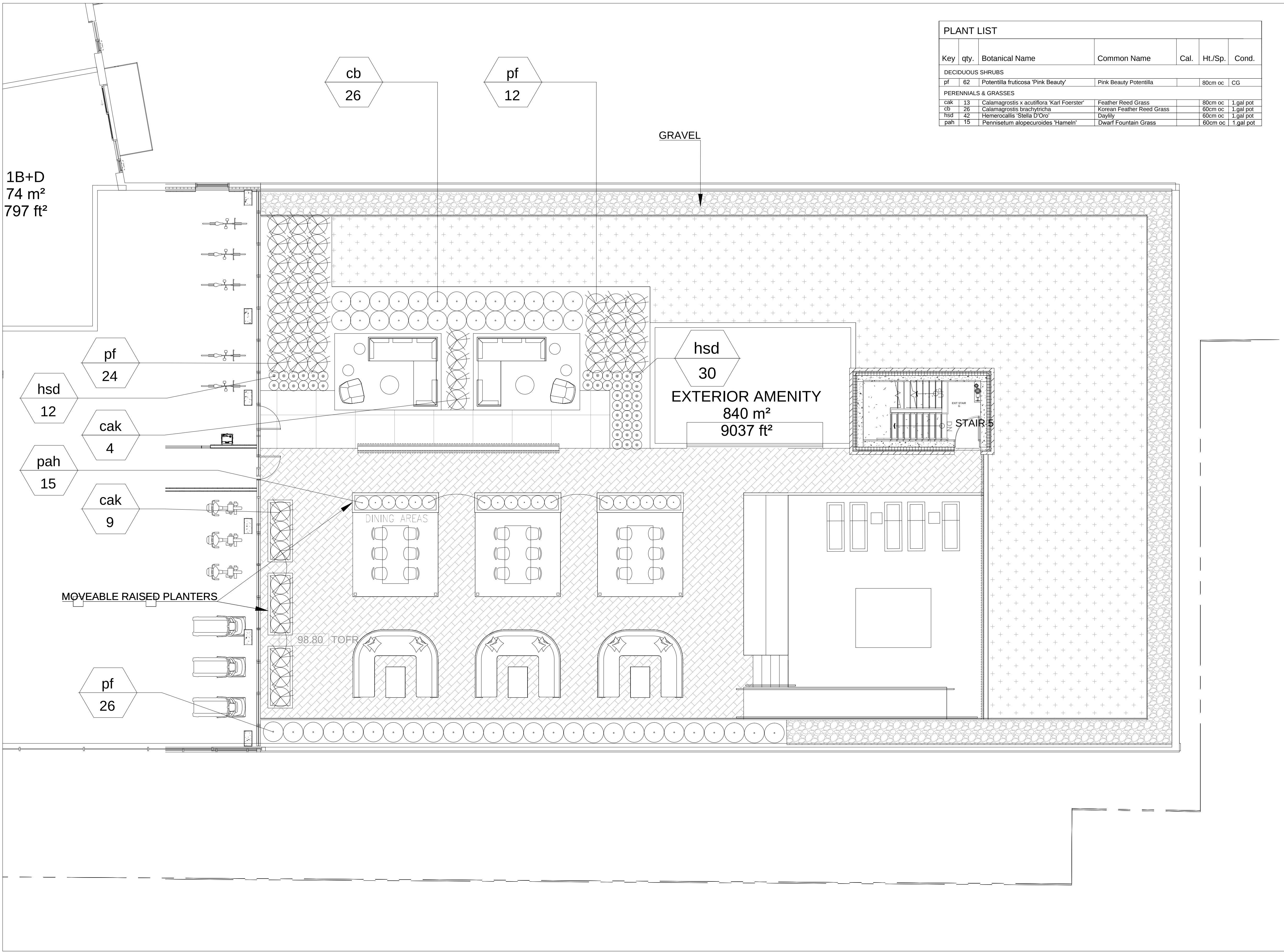




PLANT LIST					
Key	Qty	Botanical Name	Common Name	Cal.	Ht./Sp. Cond.
DECIDUOUS SHRUBS					
pf	152	Potentilla fruticosa 'Pink Beauty'	Pink Beauty Potentilla		80cm oc CG
PERENNIALS & GRASSES					
cak	13	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass		80cm oc 1 gal pot
hs	26	Calamagrostis heterophylla	Korean Feather Reed Grass		80cm oc 1 gal pot
hsd	42	Hemerocallis 'Stella d'Oro'	Daylily		80cm oc 1 gal pot
pah	15	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass		80cm oc 1 gal pot

- LEGEND
- PROPOSED DECIDUOUS TREE
 - PROPOSED CONTINUOUS SHRUB PERENNIAL BED
 - LIVEROOF PLANTING MATT
 - UNIT PAVERS
 - FEATURE PAVING
 - GRAVEL

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 - This drawing is Copyright MHBC, 2018.

1 Fifth Floor Terrace Plan
Scale 1:80

5	APRIL 27, 2018	ISSUED FOR SPA	LK
4	FEBRUARY 06, 2018	PROGRESS SET	LK
3	JANUARY 22, 2018	ISSUED FOR SPA	LK
2	NOVEMBER 07, 2017	ISSUED FOR SPA	LK
1	AUGUST 04, 2017	ISSUED FOR SPA	LK

Revision No. Date Issued / Revision By

PLANNING
URBAN DESIGN
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ARCHITECTURE

MHBC

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NOT FOR CONSTRUCTION

ALL drawings and specifications are instruments of service and all remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked "Issued for Construction" and the professional seal is signed and dated by the landscape architect.

Project

WEST BRONTE DEVELOPMENT
2441 LAKESHORE ROAD WEST
OAKVILLE, ONTARIO

File Name

FIFTH FLOOR TERRACE PLAN

Date

JULY 2017

Drawn By

LK

Plan Scale

as noted

File No.

1770A

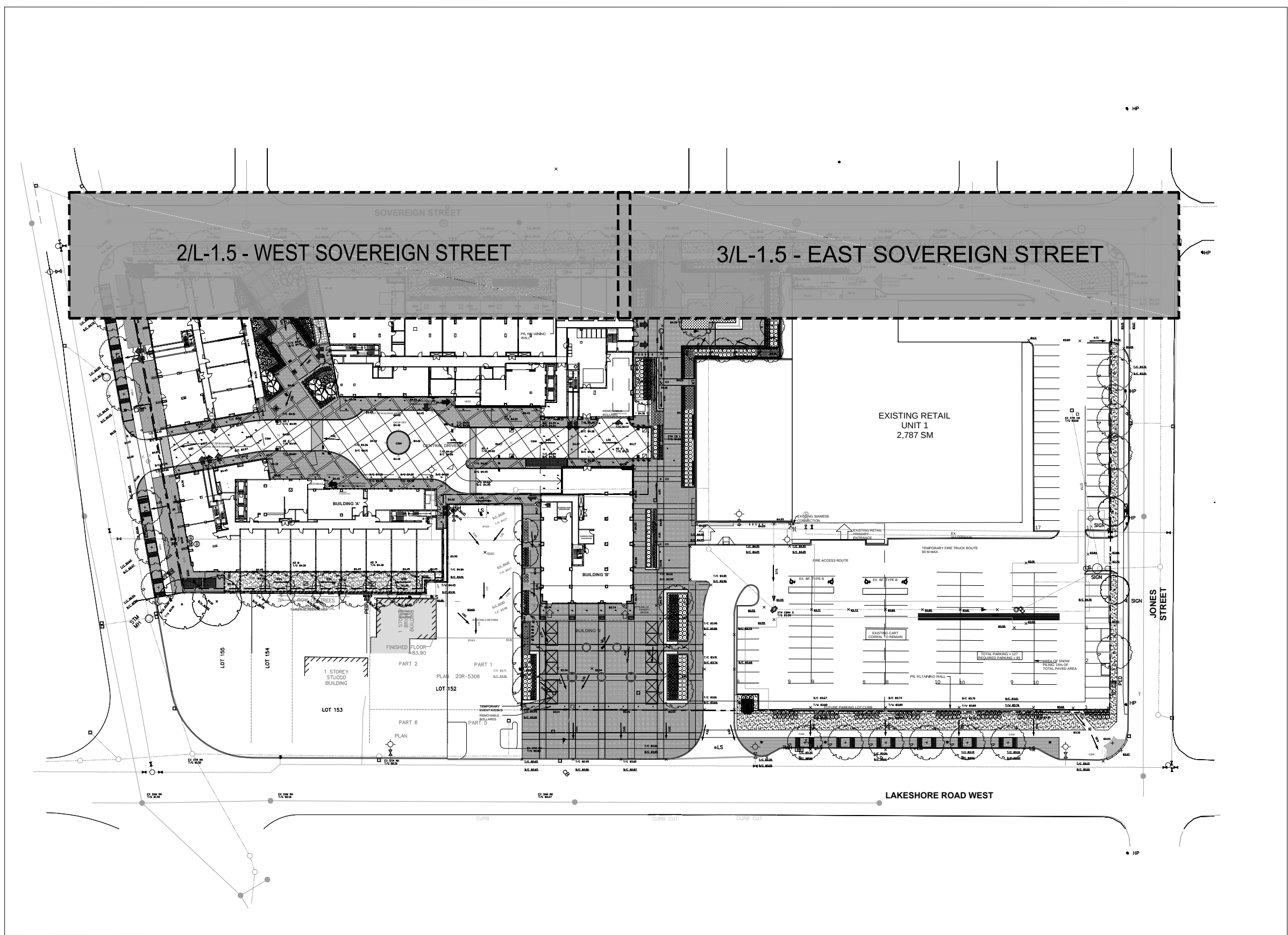
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NM

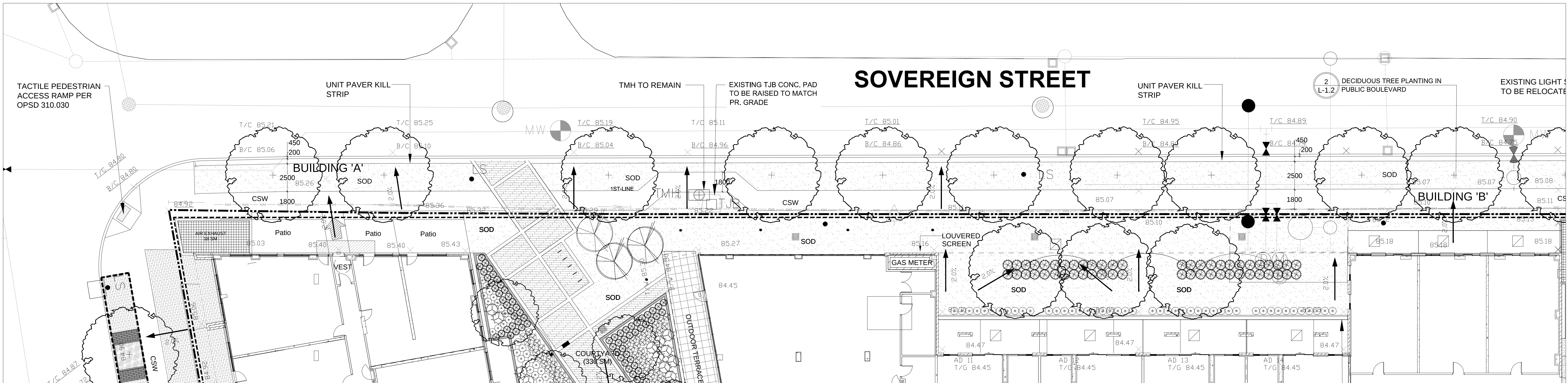
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Dwg No.

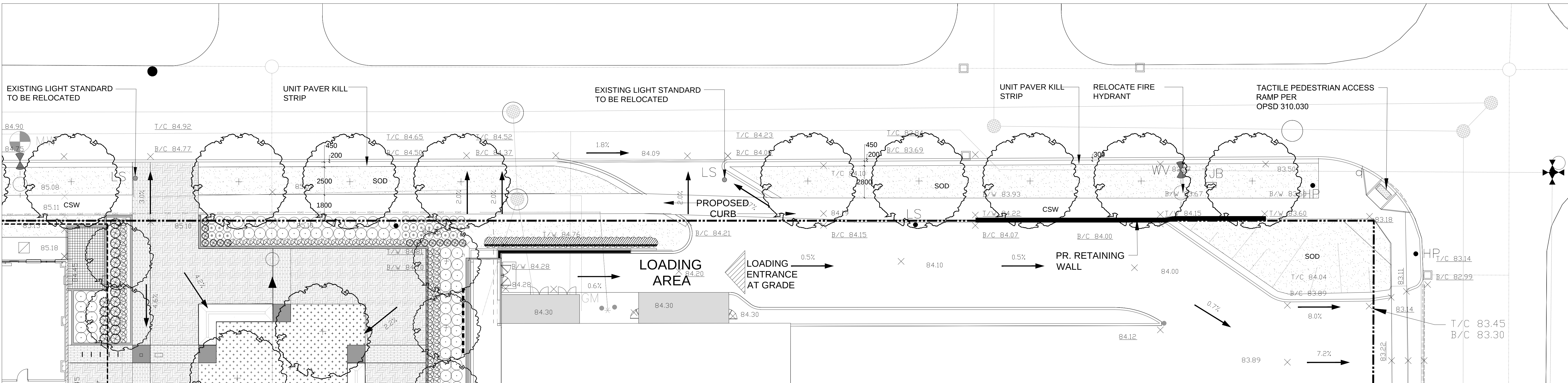
L-1.4



1 Key Map Plan
L-1.5 Scale 1:1000



2 WEST SOVEREIGN STREET STREETSCAPE PLAN
L-1.5 Scale 1:150



3 EAST SOVEREIGN STREET STREETSCAPE PLAN
L-1.5 Scale 1:150

LEGEND	
	EXISTING TREES
	PROPOSED DECIDUOUS TREE
	PROPOSED CONTINUOUS SHRUB PERENNIAL BED
	SOD
	PLANT KEY
	DETAIL KEY

General Notes

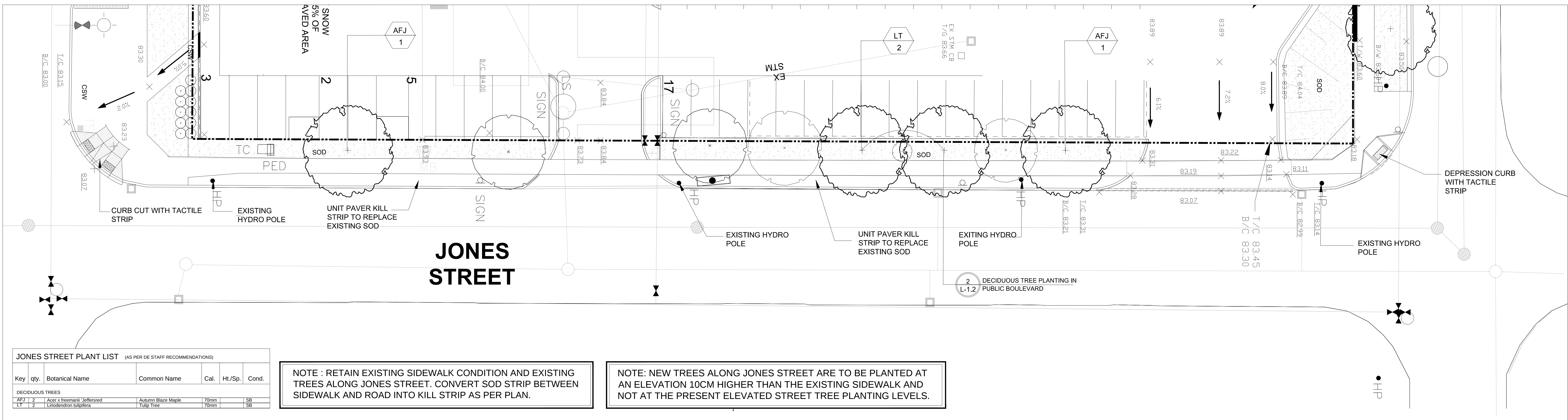
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ALL TREES IN BOULEVARD MAINTAIN A MINIMUM SOIL VOLUME OF 30 CUBIC METERS PER TREE.

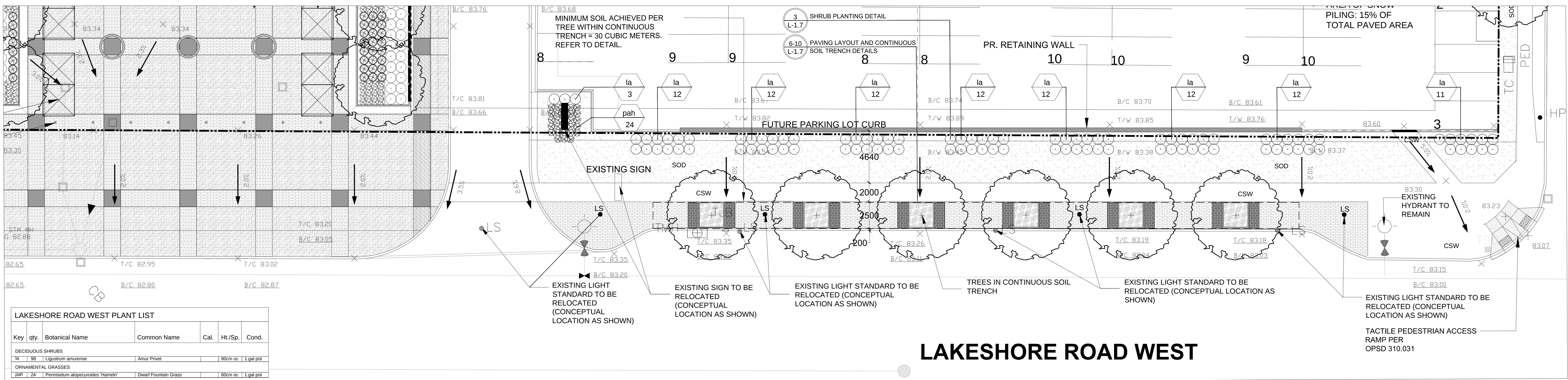
NOTE : FINAL TREE SPECIES AND SIZE CHOICE WILL BE MADE BY DE STAFF

NOTE : FOR ANY FUTURE STREET TREE PLANTING THE FULL EXCAVATION OF THE EXISTING SOILS WITH APPROVED SOIL WILL BE REQUIRED. PARTICULAR ATTENTION WILL NEED TO BE MADE TOWARDS ACCOMMODATING PROPER DRAINAGE FROM THE EXCAVATED TRENCHES. REFER TO ENGINEERING PLANS FOR DRAINAGE MEASURES.

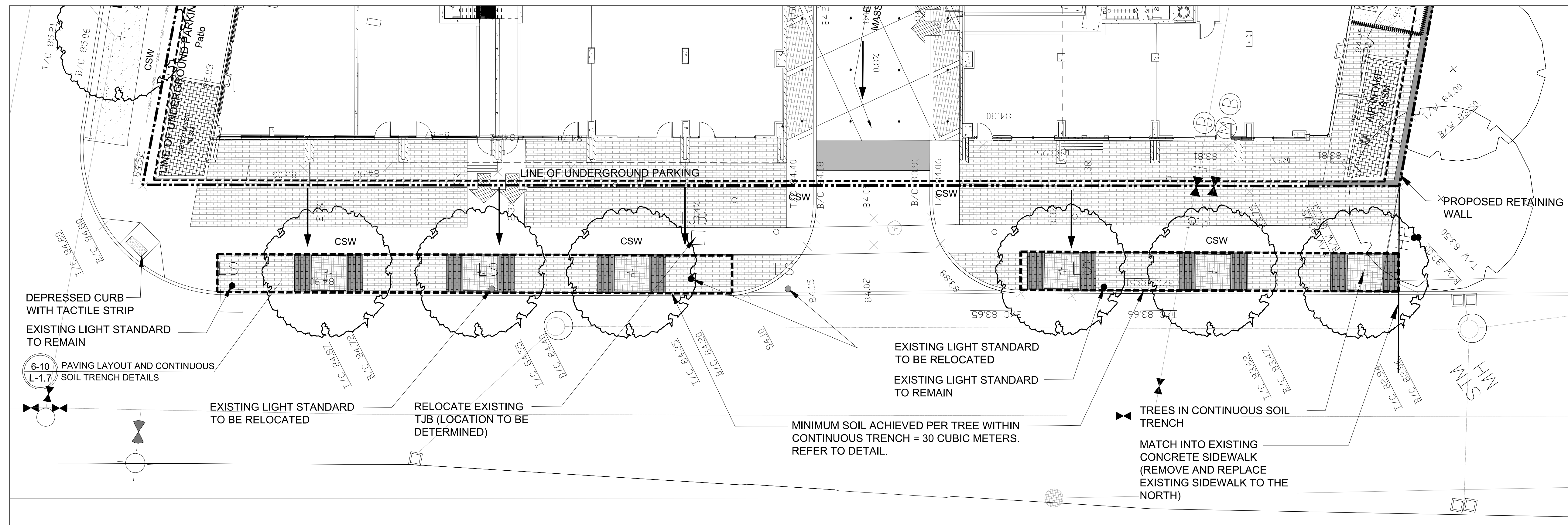
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4	FEBRUARY 06, 2018	PROGRESS SET	LK
3	JANUARY 22, 2018	ISSUED FOR SPA	LK
2	NOVEMBER 07, 2017	ISSUED FOR REVIEW	LK
1	AUGUST 04, 2017	ISSUED FOR SPA	LK
Revision No.	Date	Issued / Revision	By
 PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE 230-755 WESTON ROAD WOODBRIDGE ON L4L 6Y7 P: 905.761.5285 F: 905.761.5587 WWW.MHBCAN.COM			
Stamp	<		



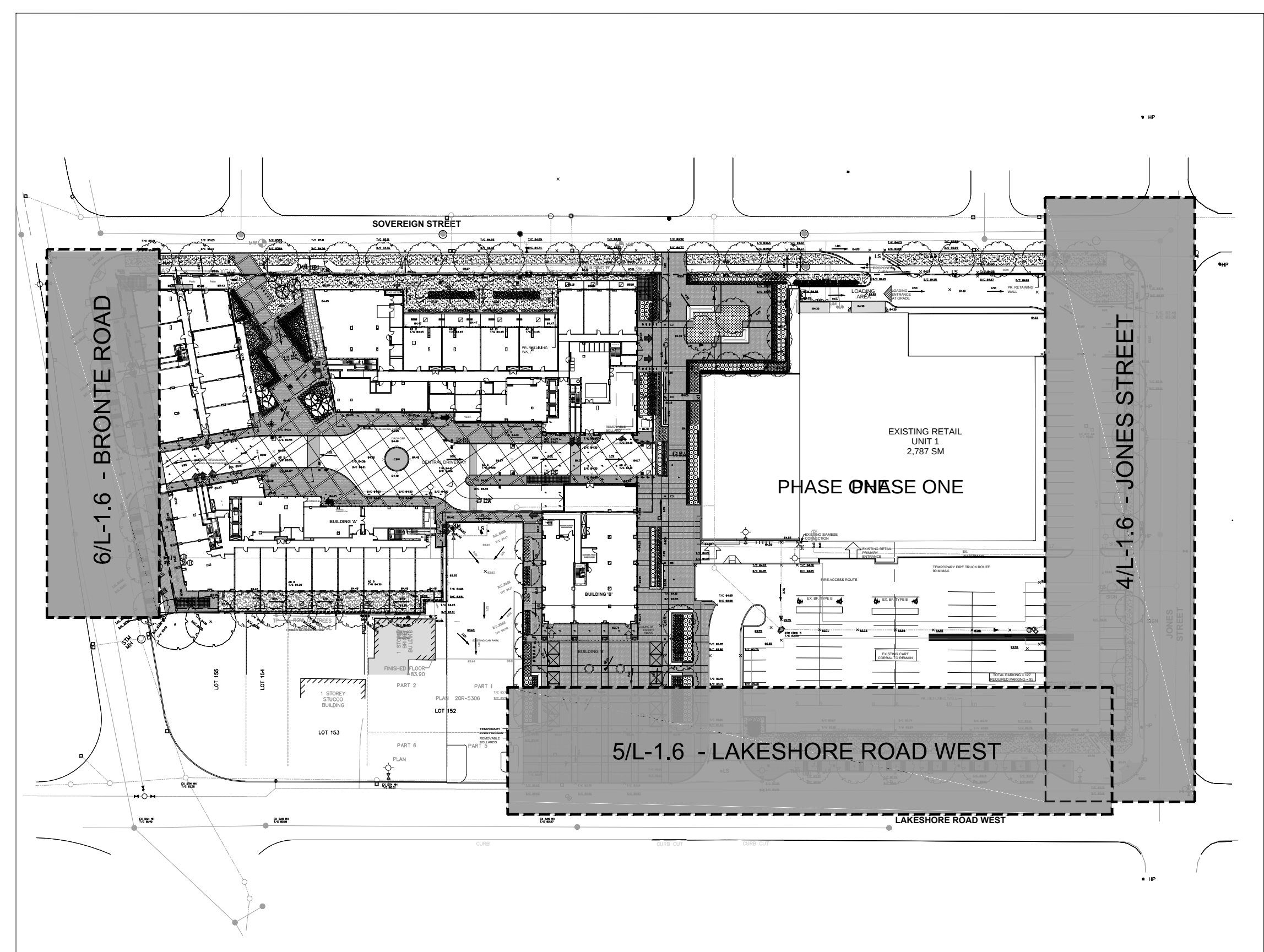
4 JONES STREET STREETScape PLAN
L-1.6 Scale 1:150



5 LAKESHORE ROAD WEST STREETScape PLAN
L-1.6 Scale 1:150



6 BRONTE ROAD STREETScape PLAN
L-1.6 Scale 1:150



7 Key Map Plan
L-1.6 Scale 1:1000

LEGEND

	EXISTING TREES
	PROPOSED DECIDUOUS TREE
	PROPOSED CONTINUOUS SHRUB PERENNIAL BED
	SODDED AREA
	CONCRETE SIDEWALK
	MULCH AREA
	PLANT KEY
	DETAIL KEY

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ALL TREES IN BOULEVARD MAINTAIN A MINIMUM SOIL VOLUME OR 30 CUBIC METERS.

NOTE : FINAL TREE SPECIES AND SIZE CHOICE WILL BE MADE BY DE STAFF

NOTE : FOR ANY FUTURE STREET TREE PLANTING THE FULL EXCAVATION OF THE BOULEVARD AND THE REPLACEMENT OF THE EXISTING SOILS WITH APPROVED SOIL WILL BE REQUIRED. PARTICULAR ATTENTION WILL NEED TO BE MADE TOWARDS ACCOMMODATING PROPER DRAINAGE FROM THE EXCAVATED TRENCHES. REFER TO ENGINEERING PLANS FOR DRAINAGE MEASURE.

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3	JANUARY 22, 2018	ISSUED FOR SPA	LK
2	NOVEMBER 07, 2017	ISSUED FOR REVIEW	LK
1	AUGUST 04, 2017	ISSUED FOR SPA	LK
Revision No.	Date	Issued / Revision	By
PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE MHBC 230-75 WESTON ROAD, WOODBRIDGE ON L4L 6G7 P: 905.761.5287 F: 905.761.5287 WWW.MHBCAN.COM			
Stamp		Date	JULY 2017
Drawn By		LK	
Plan Scale		as noted	
File No.		1770A	
Checked By		NM	
Other			
Project BRONTE DEVELOPMENT 2441 LAKESHORE ROAD WEST OAKVILLE, ONTARIO			
File Name		STREETSCAPE PLAN	
Dwg No.		L-1.6	

LANDSCAPE SPECIFICATIONS

All soil shall conform to the standards of the Nursery Soil Growers Association of Ontario. All sodded areas shall be prepared with a minimum of 100mm of topsoil and sodded with #1 bluegrass – rescue nursery sod.

Unless soil tests suggest otherwise, fertilizer shall be applied as follows:
Sodded areas: 11-5-4 (11% nitrogen, 8% phosphorus, 4% potash) at 4.5 kg/m².
Planting beds: 7-2-7 (7% nitrogen, 7% phosphorus, 7% potash) at 0.12 kg/m², and bone meal at 0.58 kg/m² of planting soil mixture as outlined below.

All planting beds are to be continuous, and excavated to a minimum depth of 450mm unless noted otherwise. Planting beds are to be filled with a soil mixture composed of six (6) parts sand from two (2) parts well sifted manure, and one (1) part peat moss, in addition to the fertilizers specified above.

All plant material shall conform to the standards of the Canadian Nursery Trades Association. All plant material is to be 100% grown stock. Include all plant material as shown on the planting plan and details. Use only viable nursery stock grown in strict accordance with proper horticultural practices which is free from damage, pests, and disease.

All beds are to be covered with a 75mm depth of clean, shredded pine bark mulch (black colour – submit sample for approval prior to installation) by On-Bark or approved equal unless noted otherwise. Guying and staking of trees shall conform to the planting details. Water all deciduous trees as per the specifications of the Ontario Landscape Contractors Association.

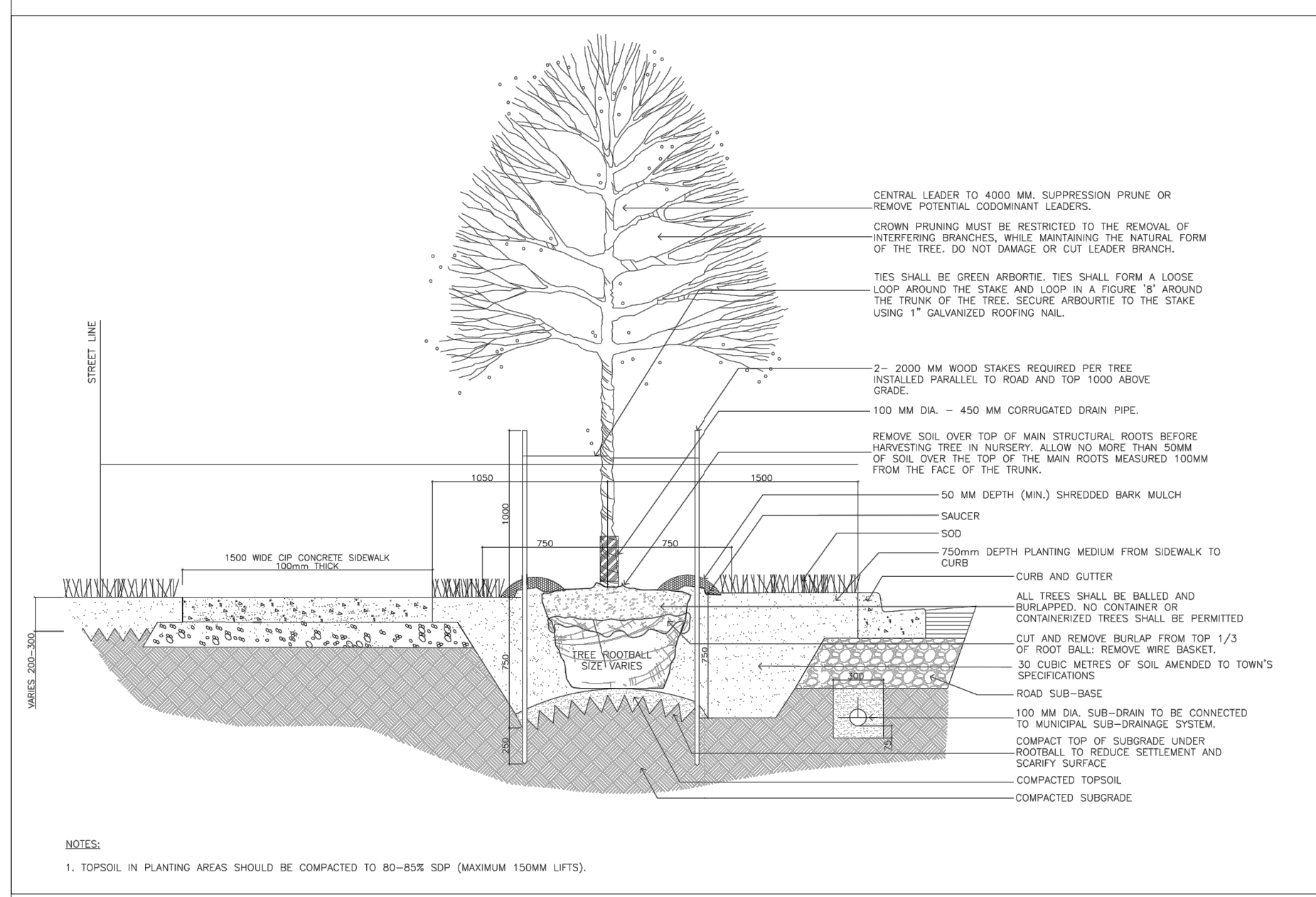
The contractor will observe proper maintenance procedures for all newly constructed landscape work as per Section 10 (Maintenance Work) of Landscape Ontario's specifications. Unless otherwise noted, this will apply during the construction period only. The contractor shall maintain all planting and sodding until final acceptance is granted by the Landscape Architect.

The contractor will be responsible for the protection of all plant material from damages resulting from winter conditions as well as rodents during the warranty period. Apply "Snow" (sodium nitrate formula) (or approved equal) to all evergreen trees and all shrubs in late October as per manufacturer's directions.

The contractor shall provide a full one year guarantee (or two years if required by the municipality or owner) on all landscape works, beginning on the date that final acceptance is granted by the Landscape Architect.

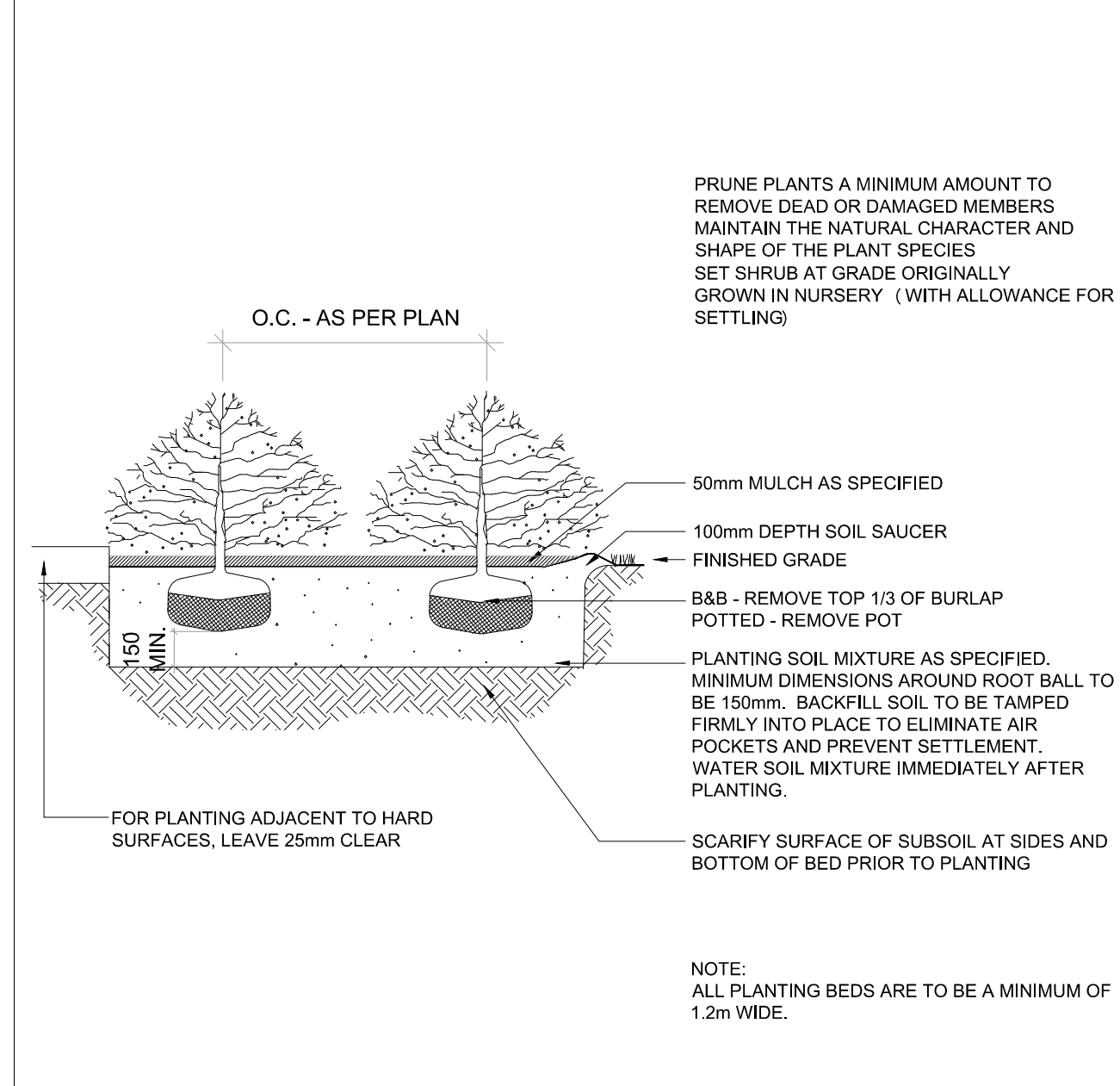
1 Landscape Specifications

L-1.7
n.l.s.



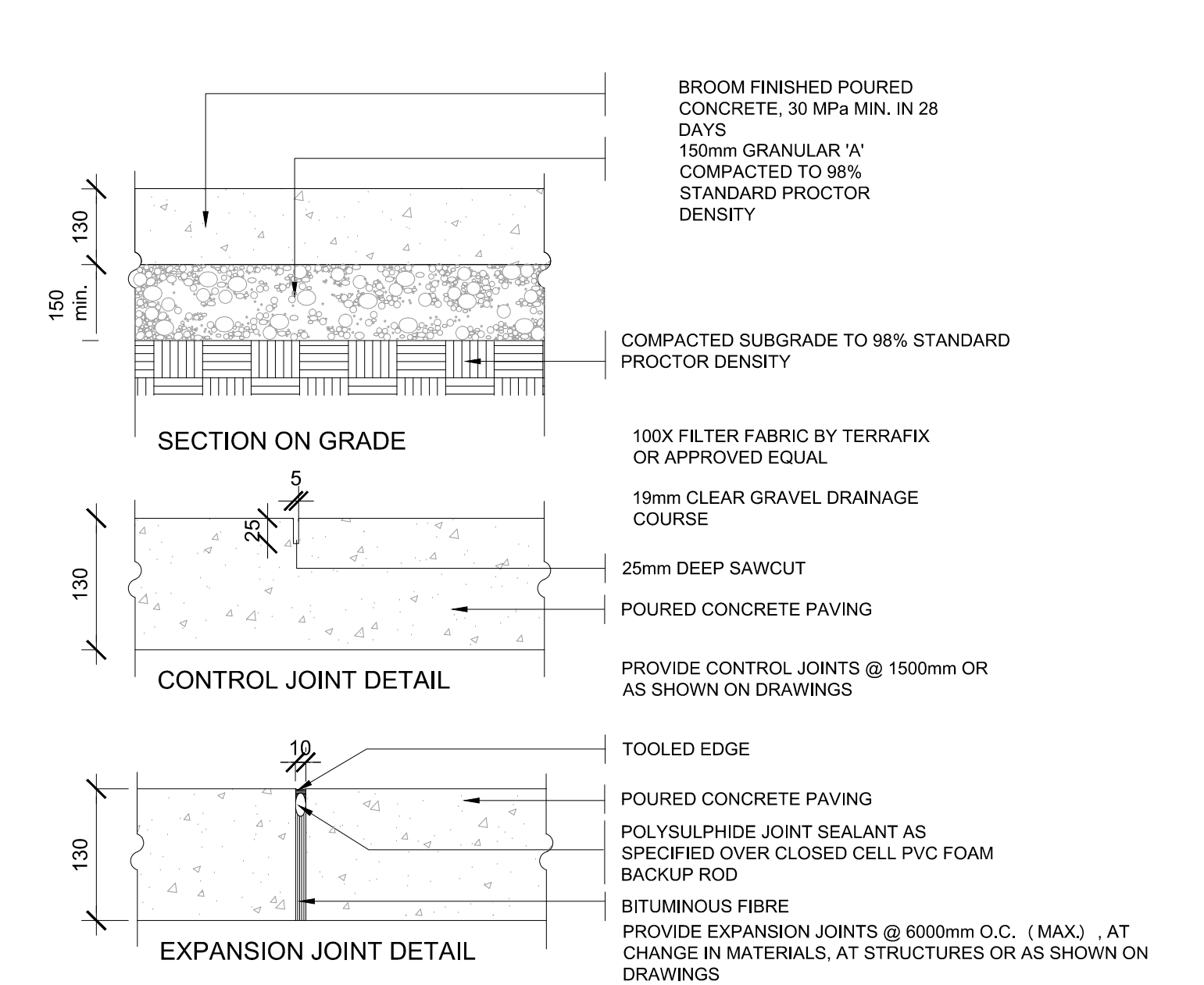
2 Deciduous Tree Planting In Public Boulevard

L-1.7
n.l.s.



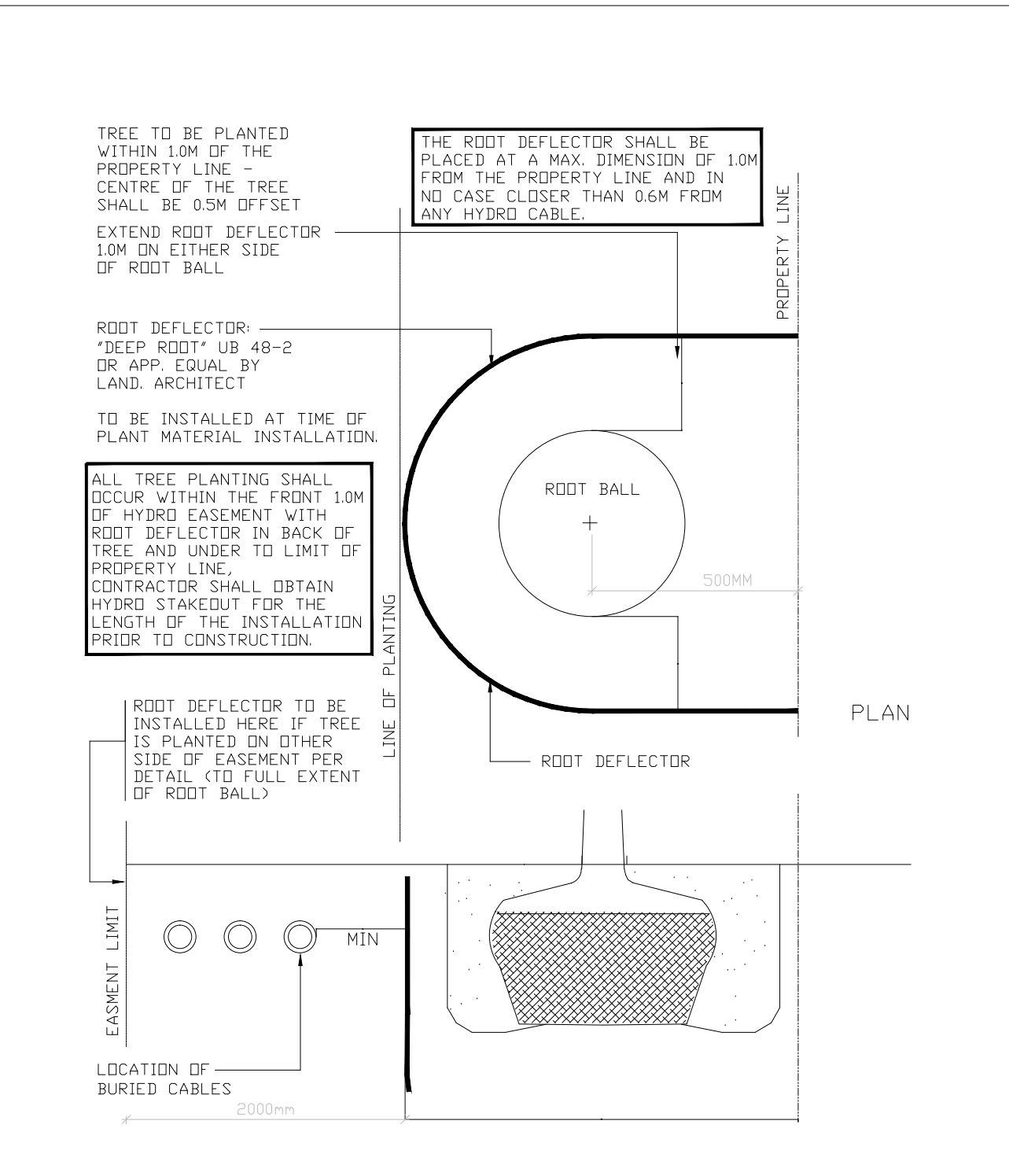
3 Shrub Planting Detail

L-1.7
n.l.s.



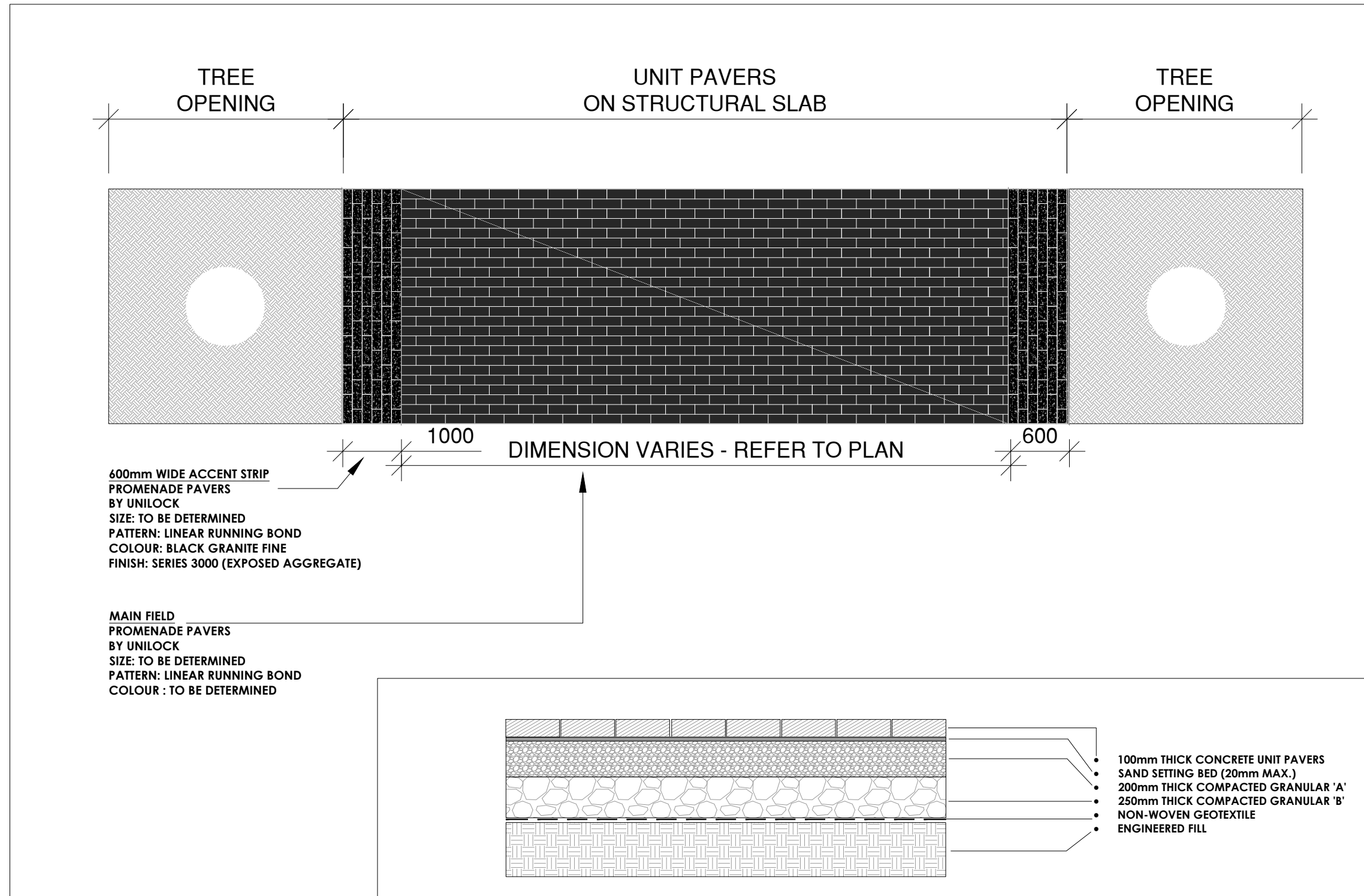
4 Concrete Paving Details

L-1.7
n.l.s.



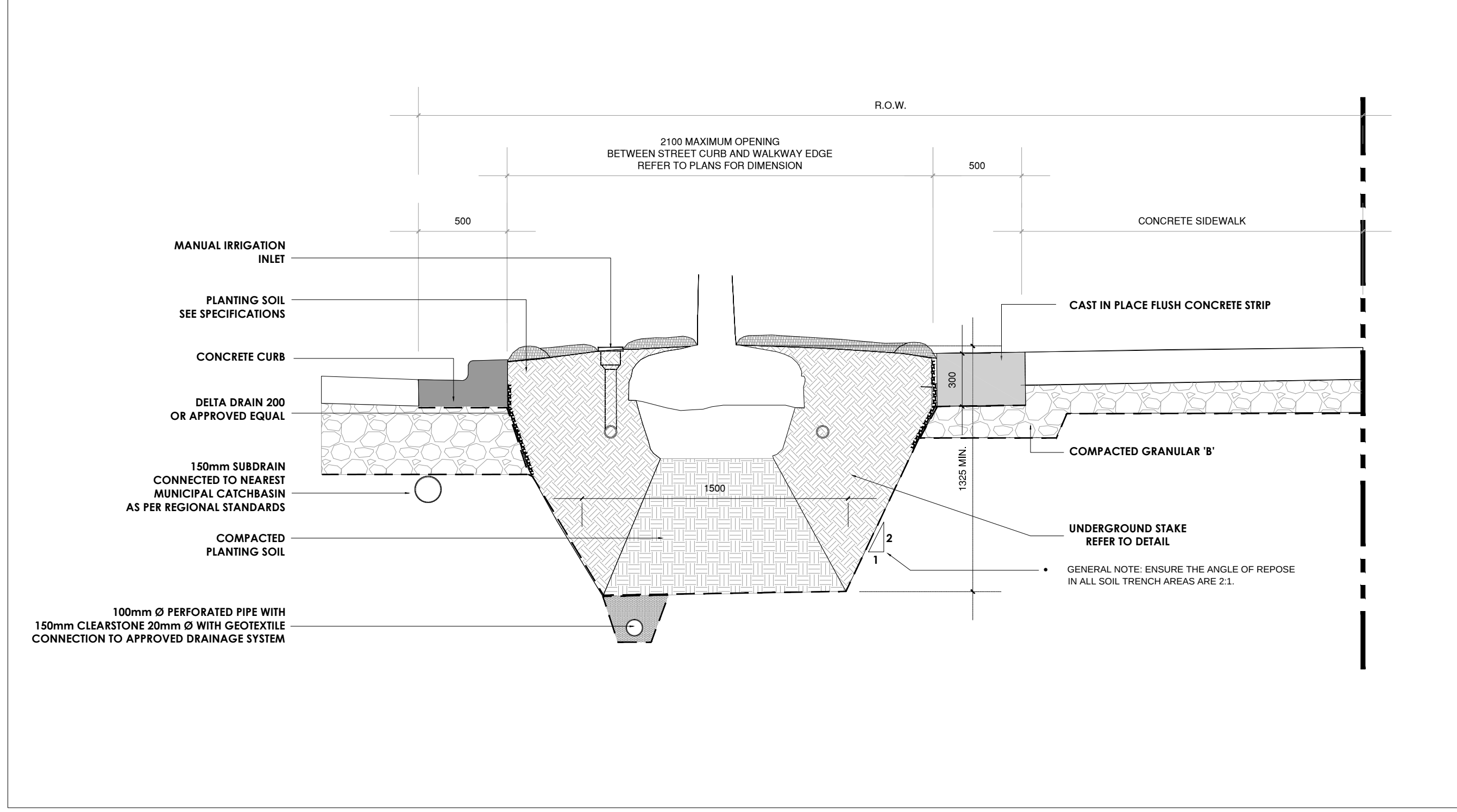
5 Root Deflector Detail

L-1.7
n.l.s.



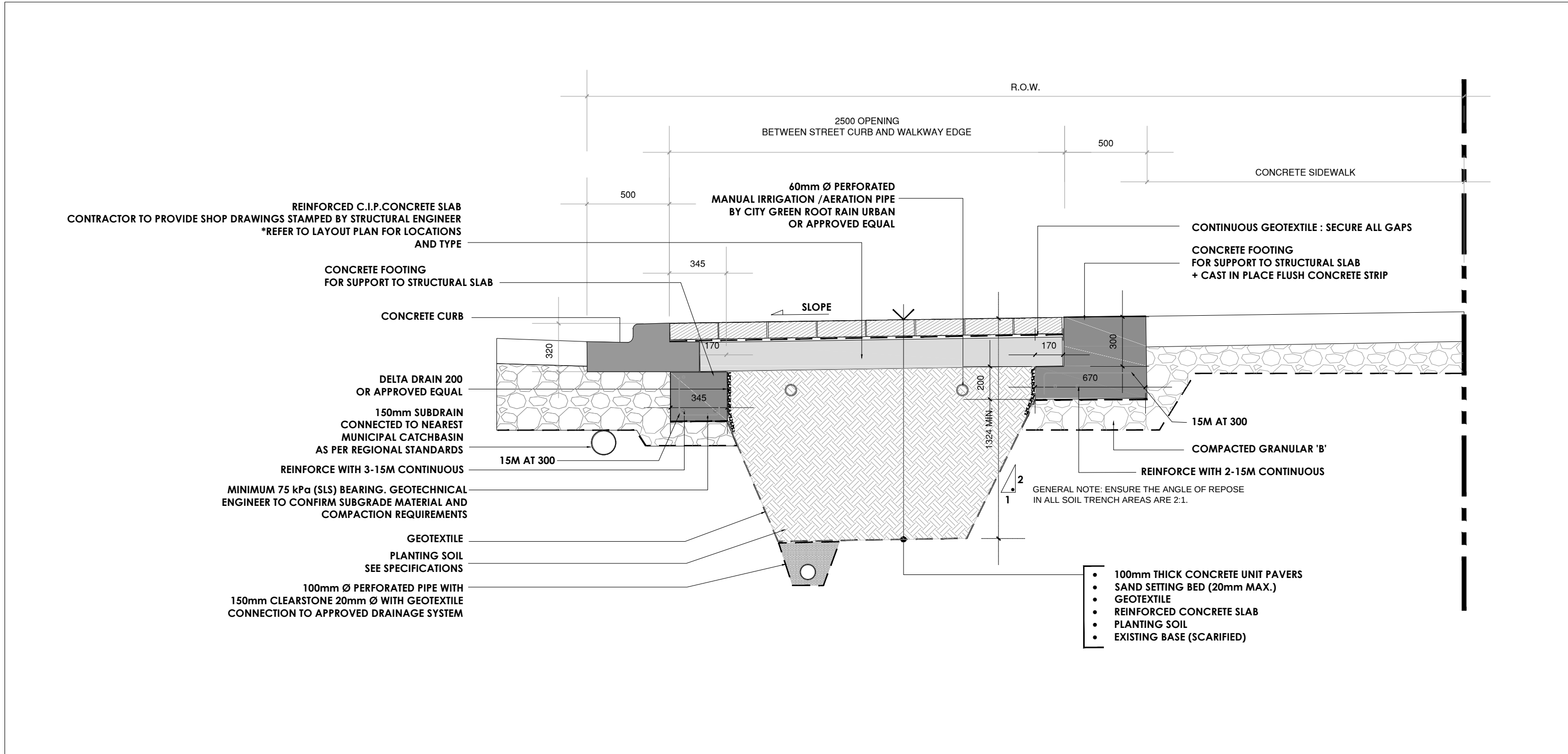
6 Paving Pattern Layout and Detail

L-1.7
n.l.s.



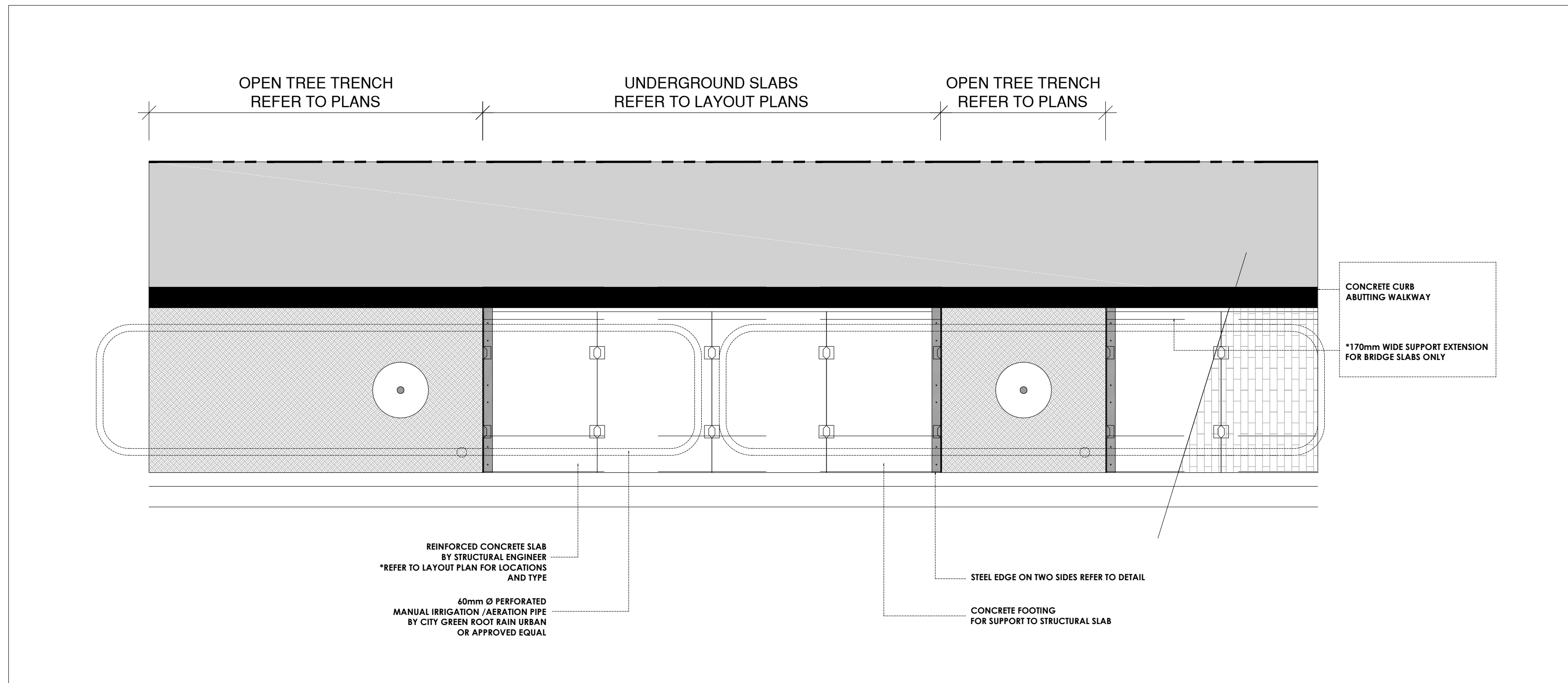
7 Continuous Soil Trench Detail

L-1.7
n.l.s.



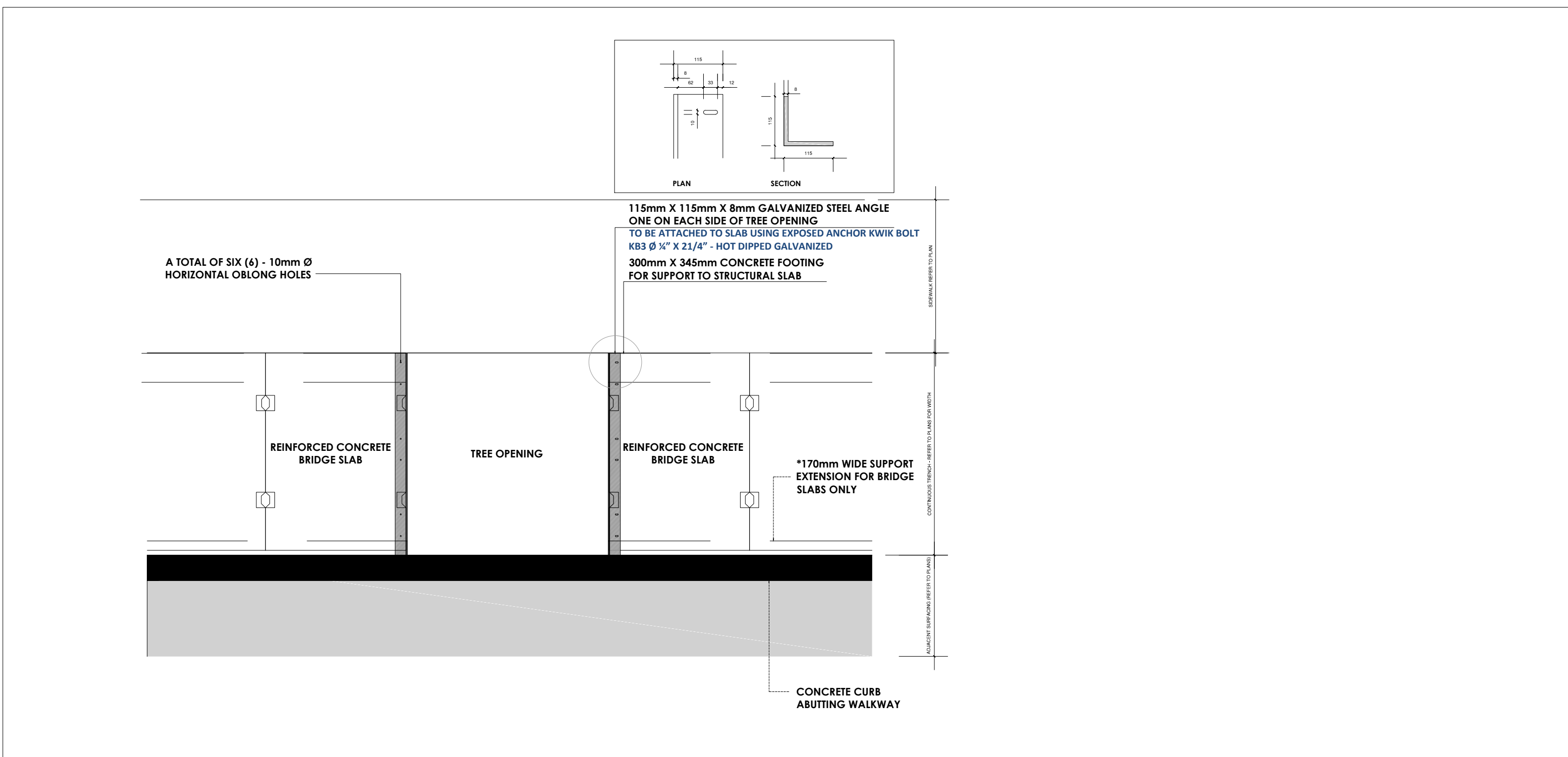
8 Bridge Slab at Soil Trench

L-1.7
n.l.s.



9 Bridge Slabs at Soil Trench Plan

L-1.7
n.l.s.



10 Steel Edging at Tree Planting Beds

L-1.7
n.l.s.

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5	APRIL 27, 2018	ISSUED FOR SPA	LK
4	FEBRUARY 09, 2018	PROGRESS SET	LK
3	JANUARY 22, 2018	ISSUED FOR SPA	LK
2	NOVEMBER 07, 2017	ISSUED FOR REVIEW	LK
1	AUGUST 04, 2017	ISSUED FOR SPA	LK

Revision No.	Date	Issued / Revision	By
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Date
JULY 2017

Drawn By
LK

Plan Scale
as noted

File No.
1770A

Checked By
NM

Other

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Project
BRONTE DEVELOPMENT
2441 LAKESHORE ROAD WEST
OAKVILLE, ONTARIO

File Name
STREETSCAPE DETAILS

Dwg No.
L-1.7

LANDSCAPE SPECIFICATIONS:

All soil shall conform to the standards of the Nursery Sod Growers Association of Ontario. All sodded areas shall be prepared with a minimum of 100mm of topsoil and sodded with #1 Mangrove - loess nursery soil.

Unless soil tests suggest otherwise, fertilizer shall be applied as follows:
Sodded areas: 114-4-4 (11% nitrogen, 4% phosphorus, 4% potash) at 4.5 kg/m².
Planting beds: 7-7-7 (7% nitrogen, 7% phosphorus, 7% potash) at 0.12 kg/m², and bone meal at 0.58 kg/m² of planting soil mixture as outlined below.

All planting beds are to be continuous, and excavated to a minimum depth of 450mm unless noted otherwise. Planting beds are to be filled with a soil mixture composed of six (6) parts sand loam, two (2) parts well rotted manure, and one (1) part peat moss, in addition to the fertilizers specified above.

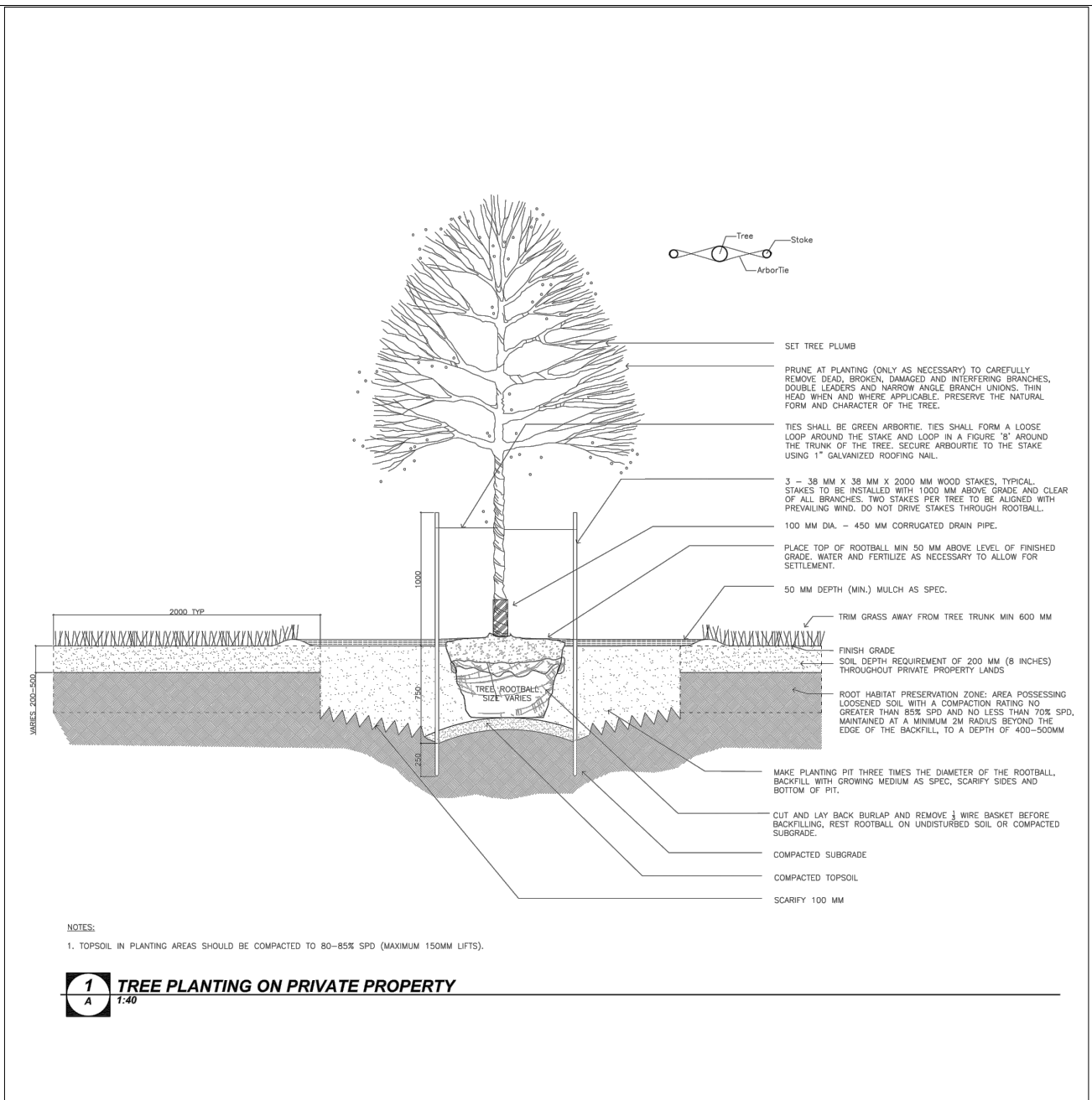
All plant material shall conform to the standards of the Canadian Nursery Trades Association. All plant material is to be day grown stock. Install all plant material as shown on the planting plan and details. Use only well nursery stock grown in strict accordance with proper horticultural practices which is free from damage, pests, and disease.

All beds are to be covered with a 75mm depth of clean, shredded pine bark mulch (shock colour - submit sample for approval prior to installation) by 600-mm or approved equal unless noted otherwise. Drying and stacking of trees shall conform to the planting details. Wrap all deciduous trees as per the specifications of the Ontario Landscape Contractors Association.

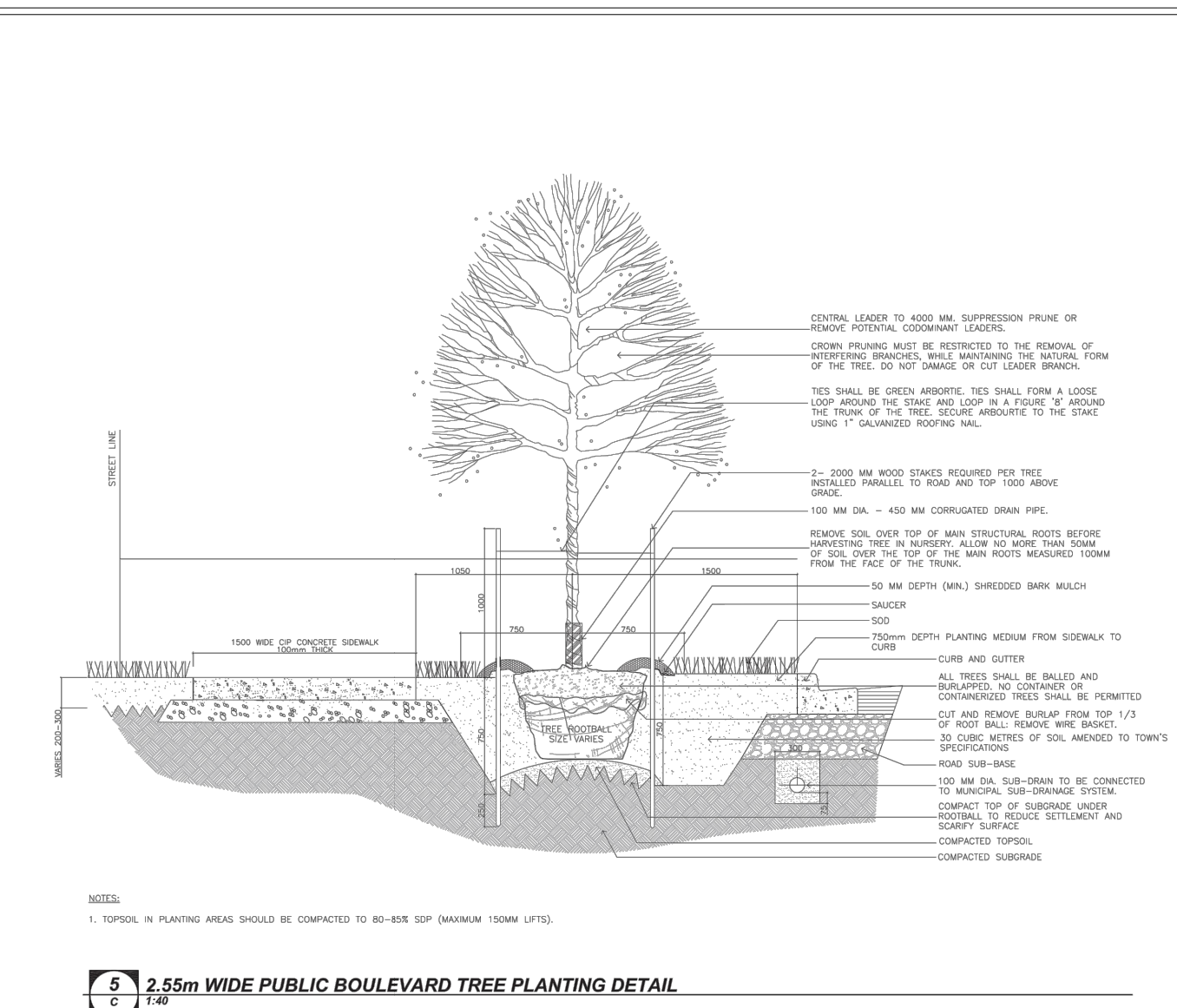
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The contractor shall provide a full one year guarantee (or two years if required by the municipality or owner) on all landscape works, beginning on the date that final acceptance is granted by the Landscape Architect.

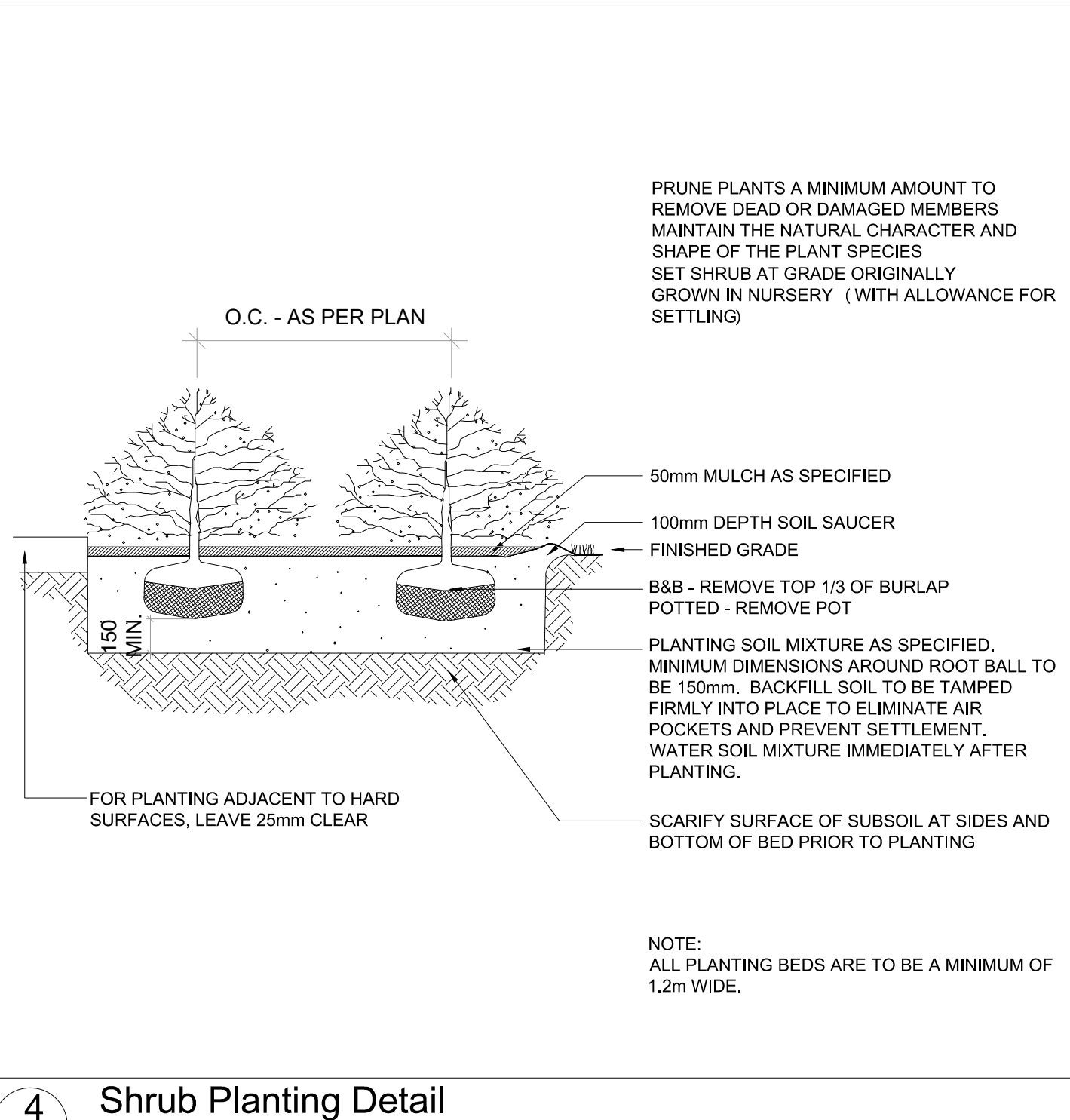
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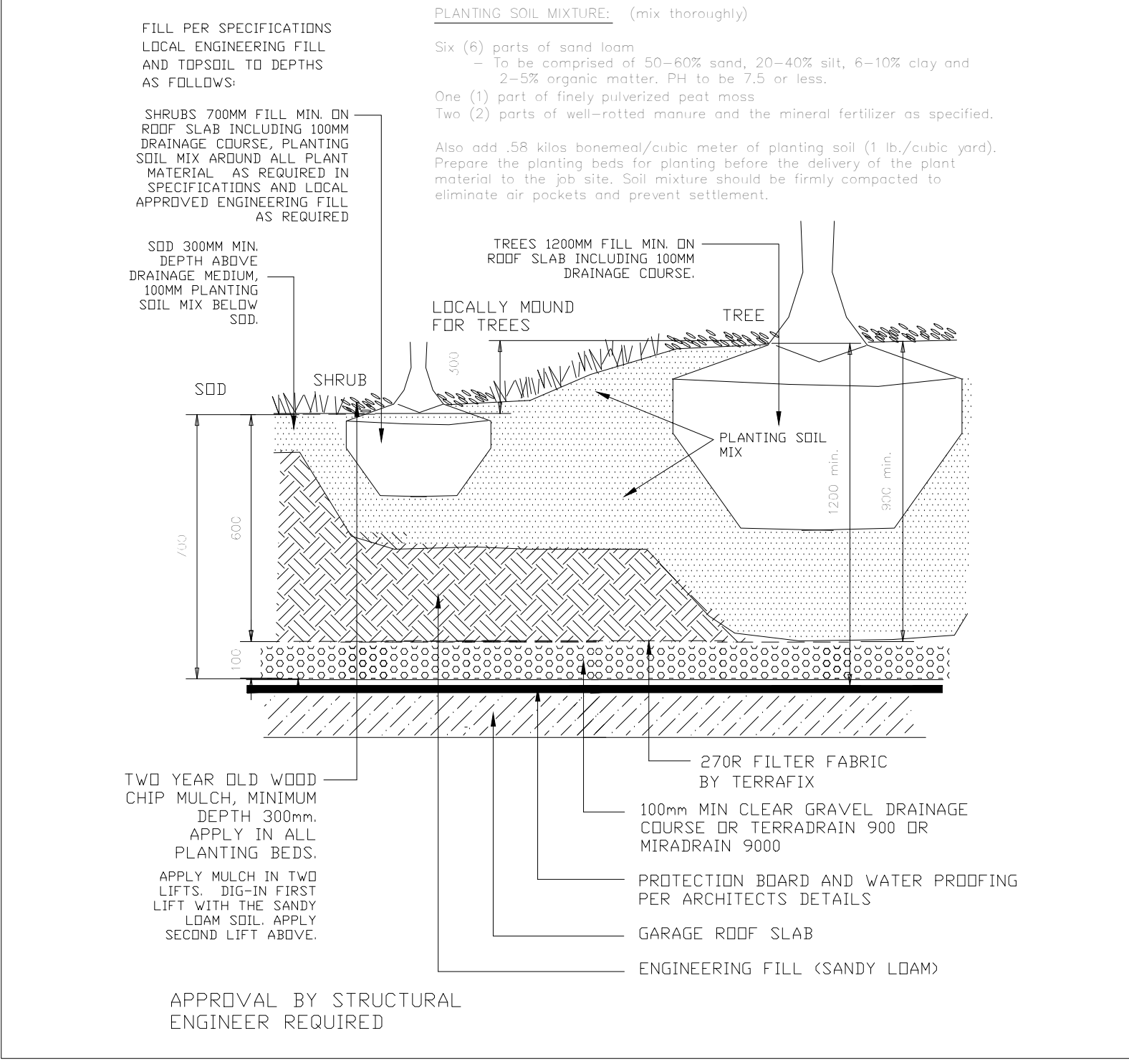
2 Deciduous Tree Planting on Private Property Detail
L-2 n.t.s.



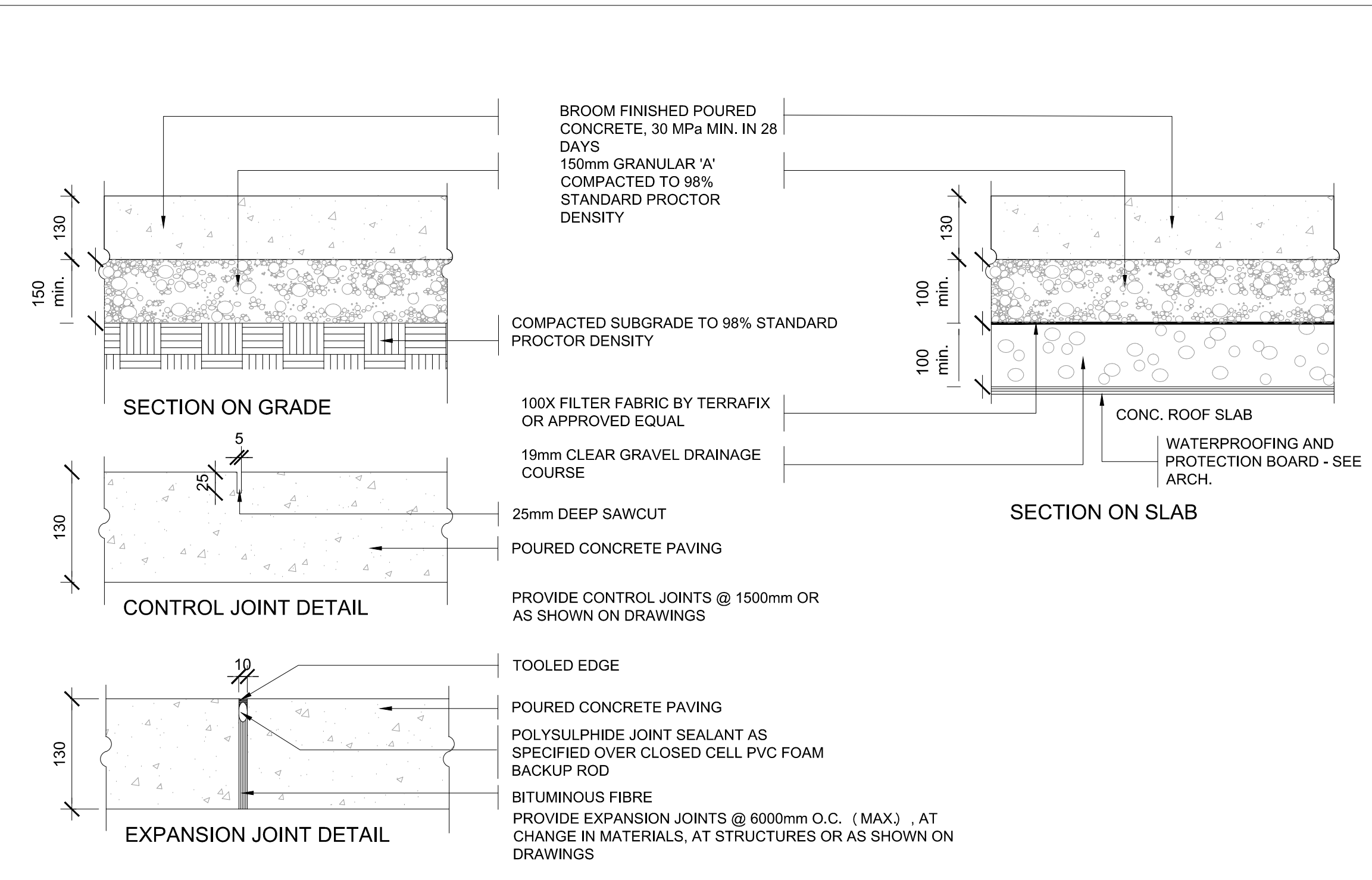
3 Deciduous Tree Planting on Public Property Detail
L-2 n.t.s.



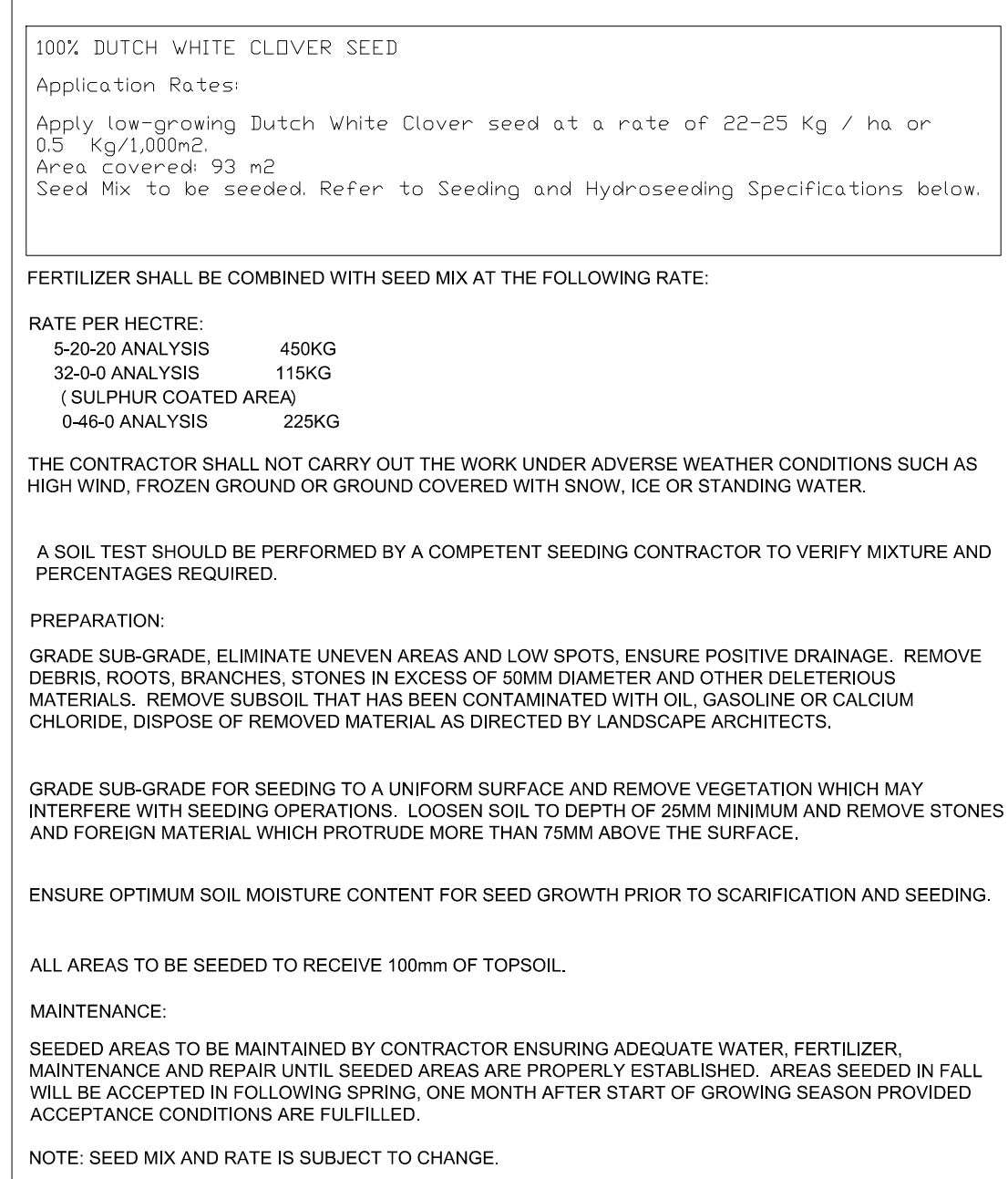
4 Shrub Planting Detail
L-2 n.t.s.



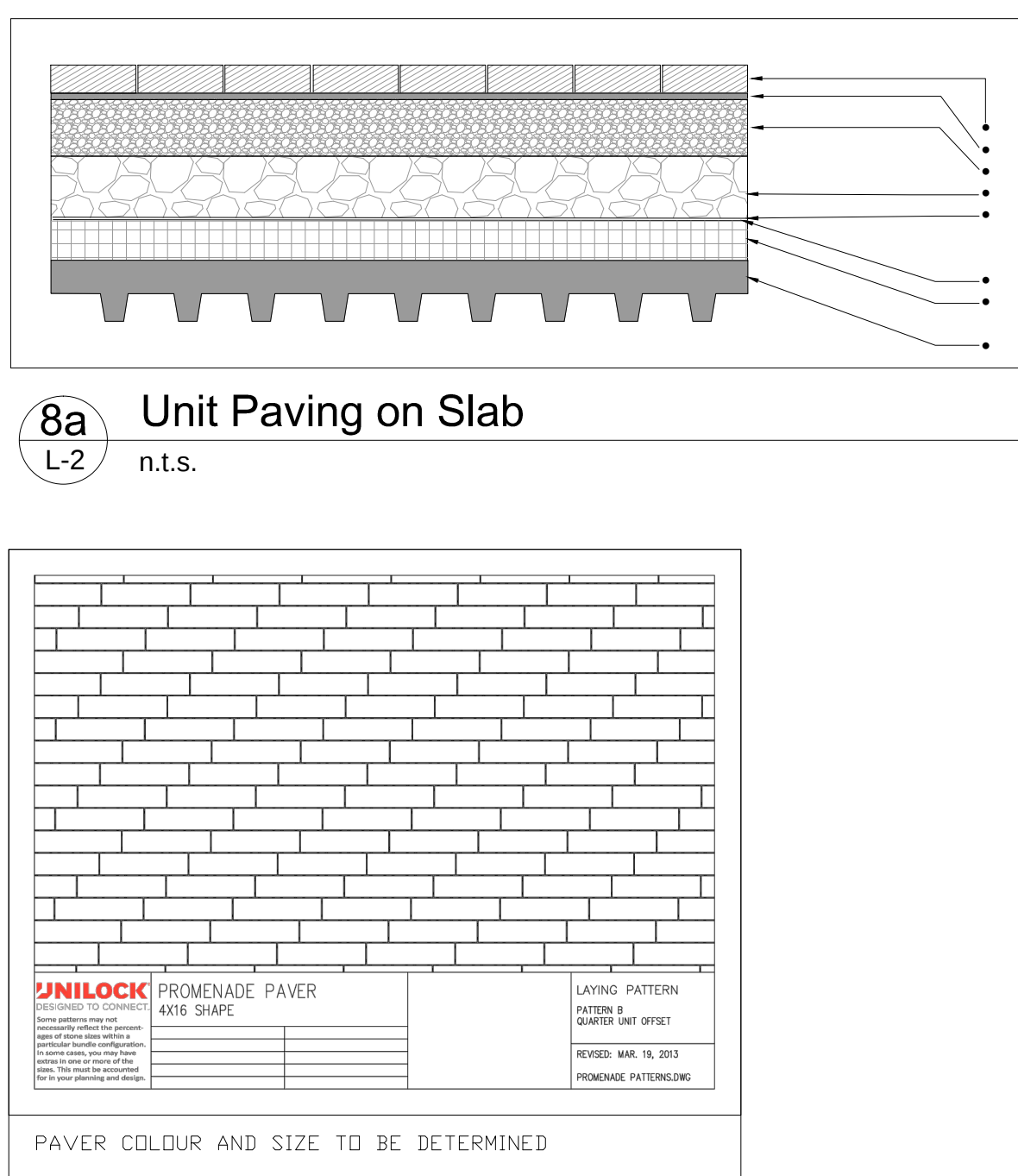
5 Tree Planting on Slab
n.t.s.



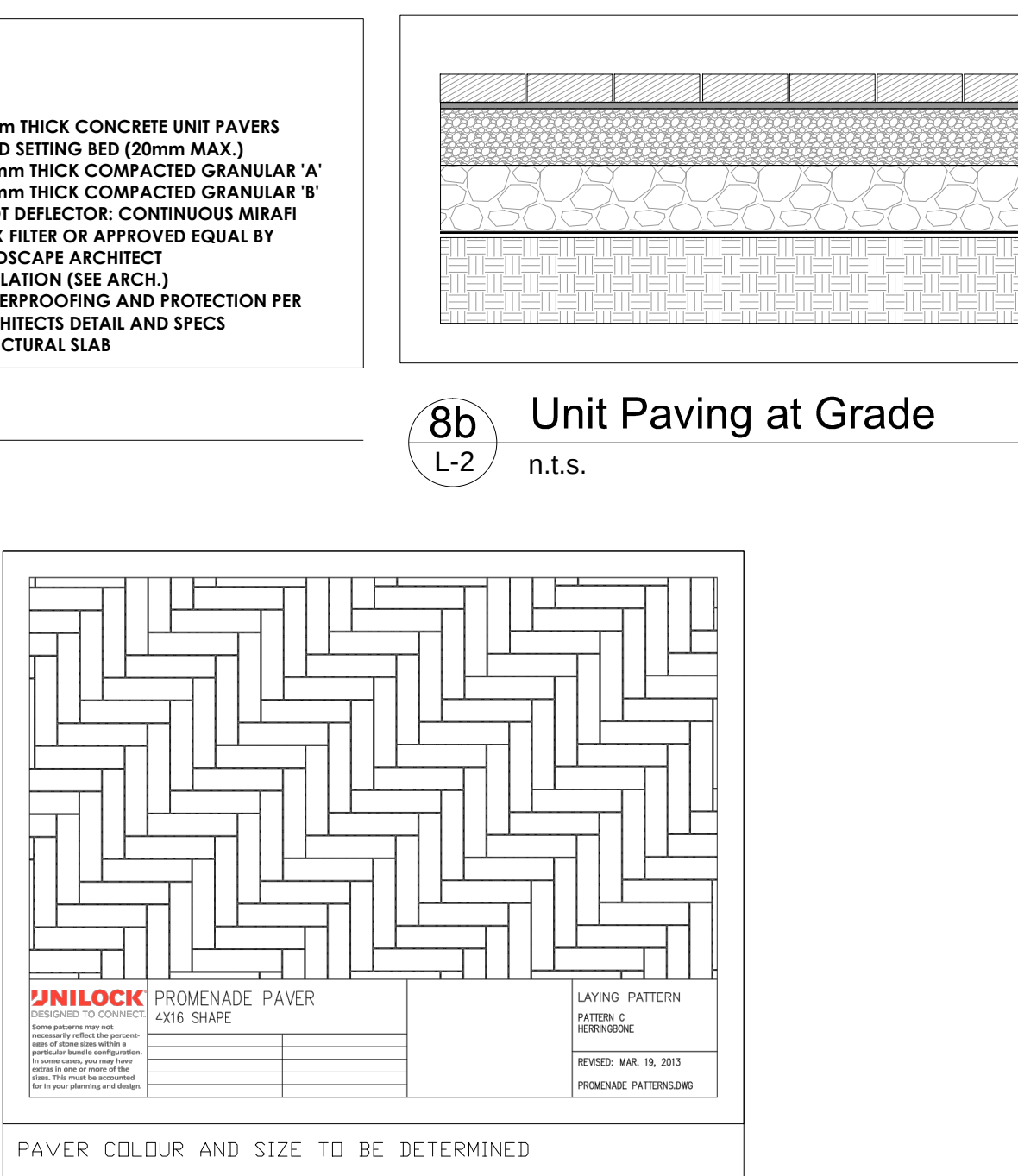
6 Concrete Paving Details
L-2 n.t.s.



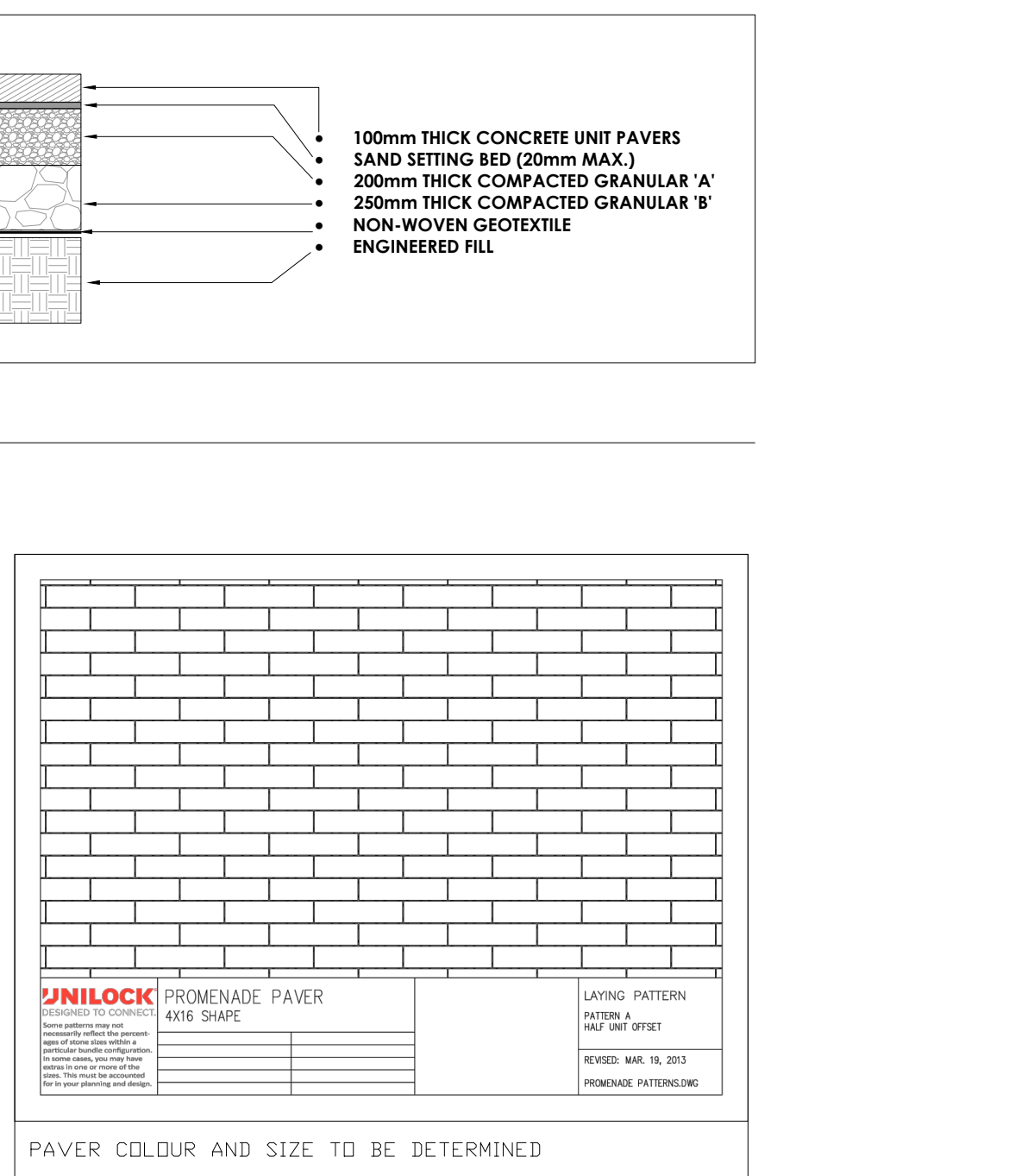
7 Microclover Specifications
L-2 n.t.s.



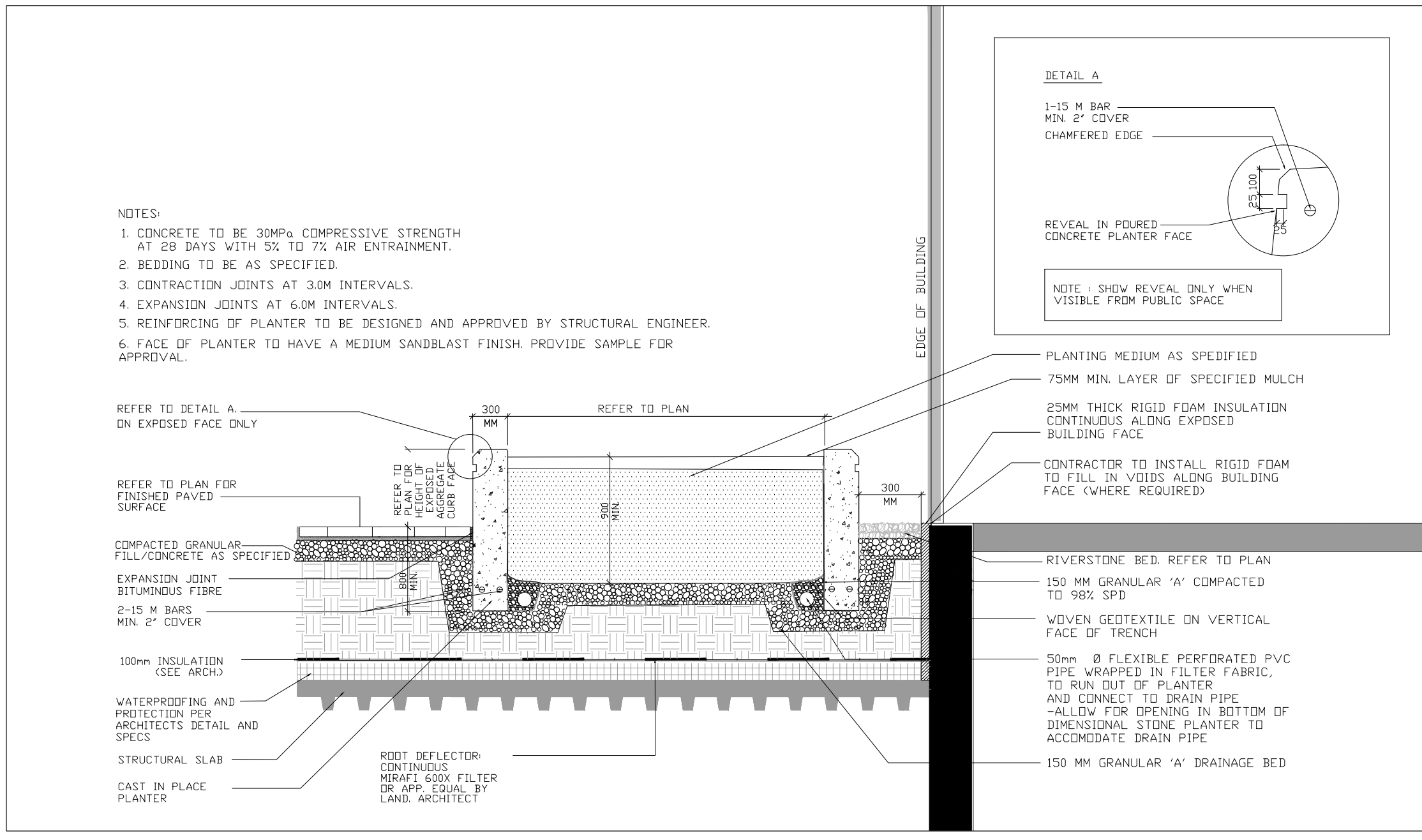
8a Unit Paving on Slab
L-2 n.t.s.



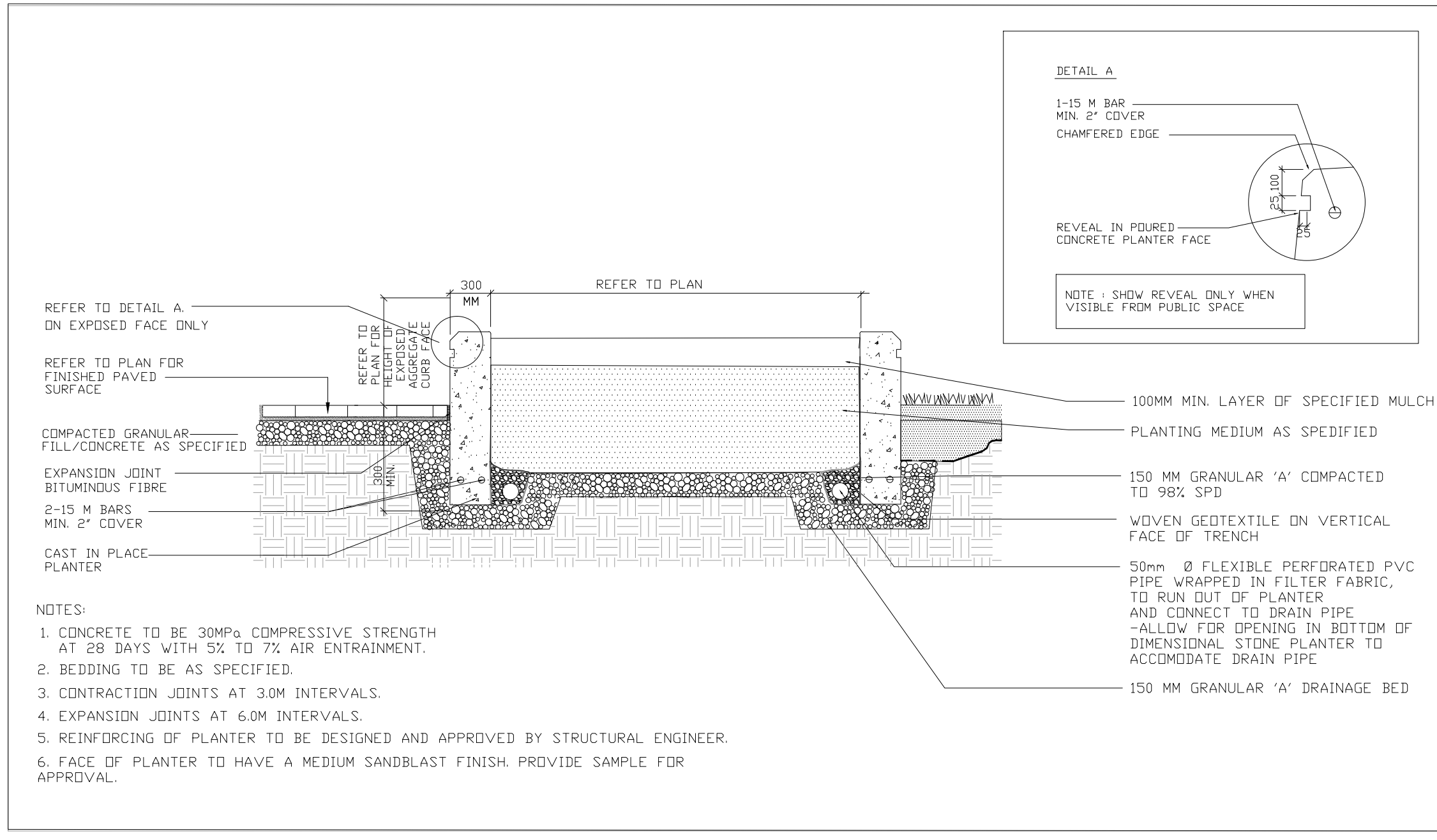
8b Unit Paving at Grade
L-2 n.t.s.



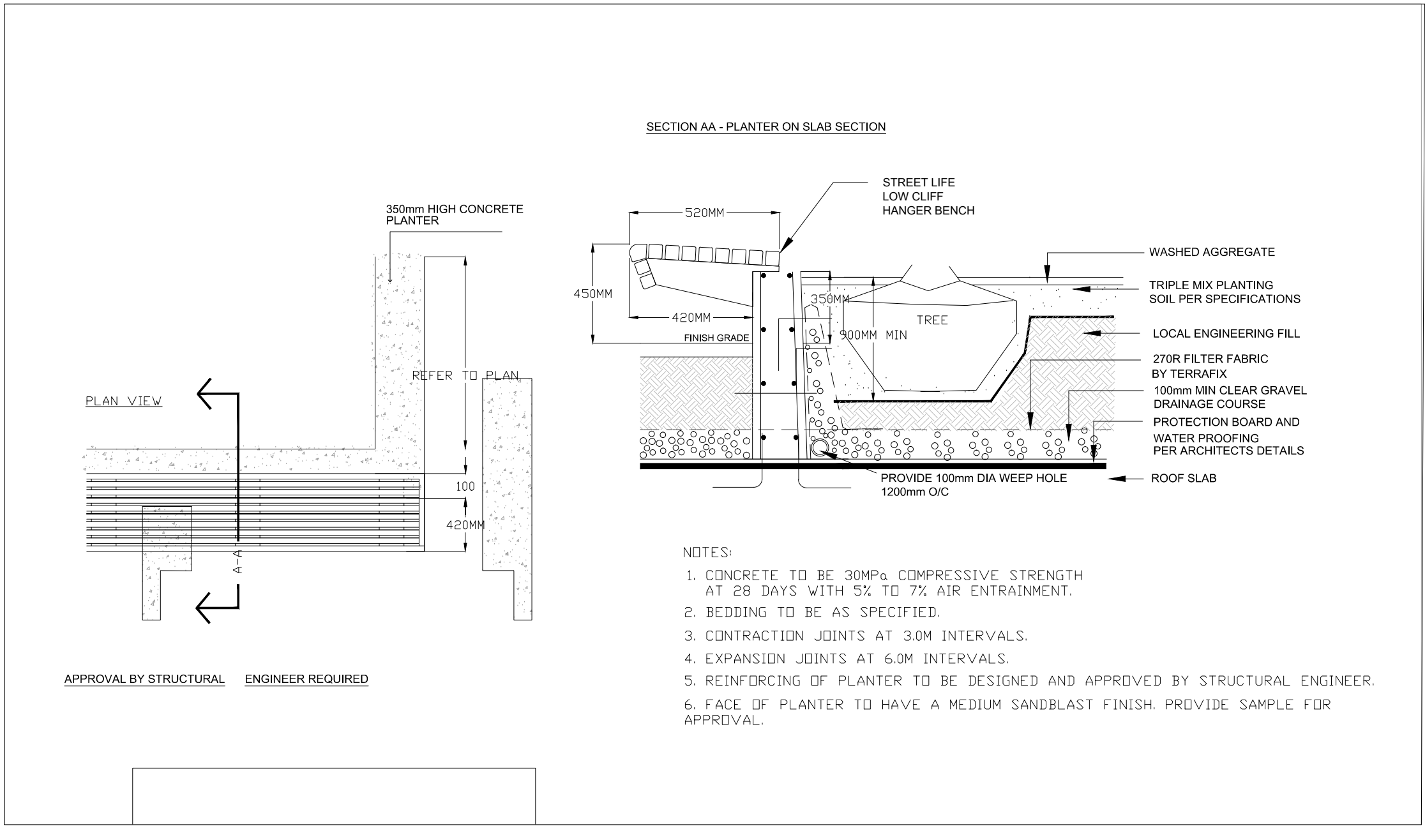
8c Promenade Paver
L-2 n.t.s.



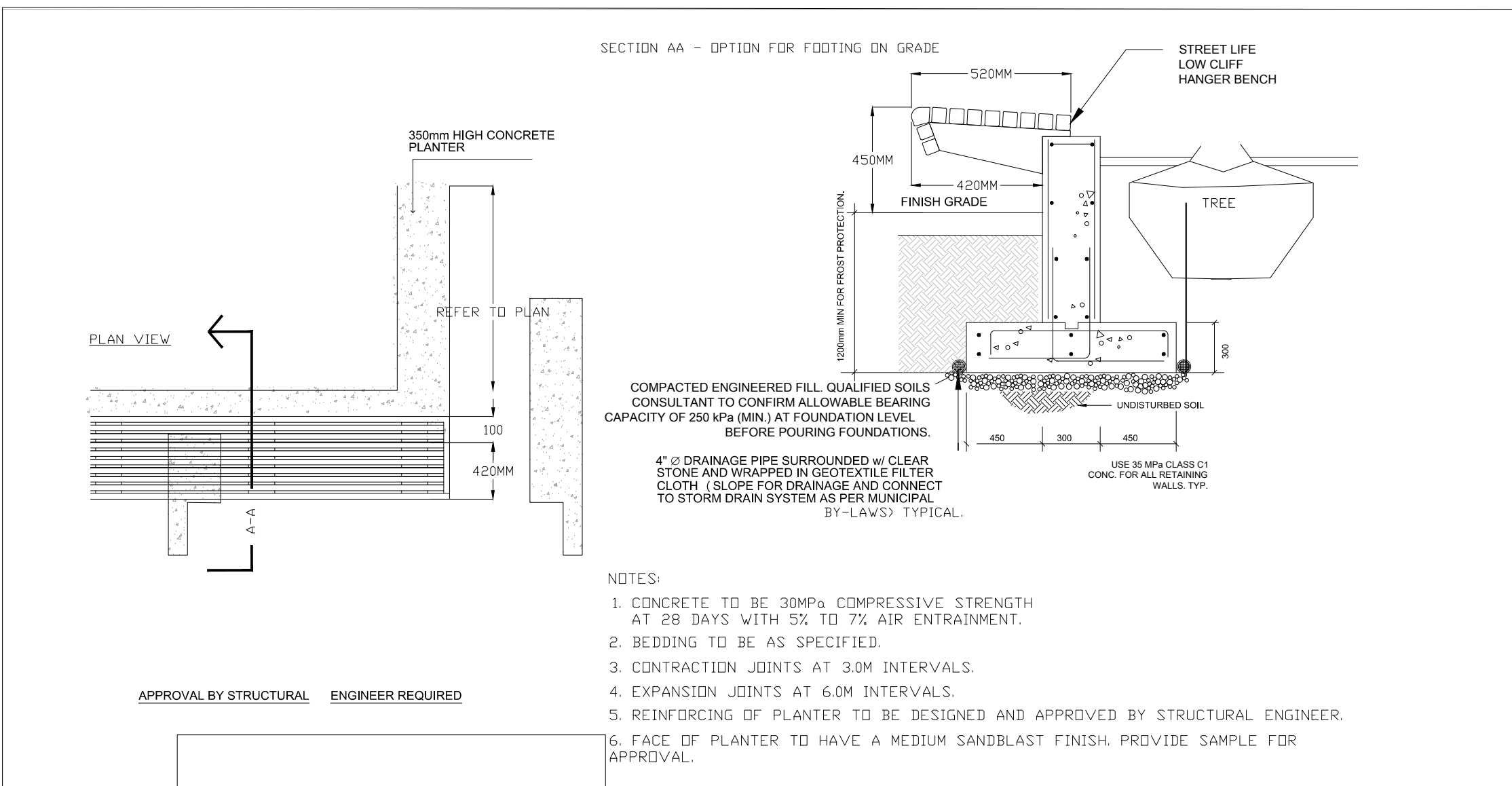
10 Planter Curb On Slab
L-2 n.t.s.



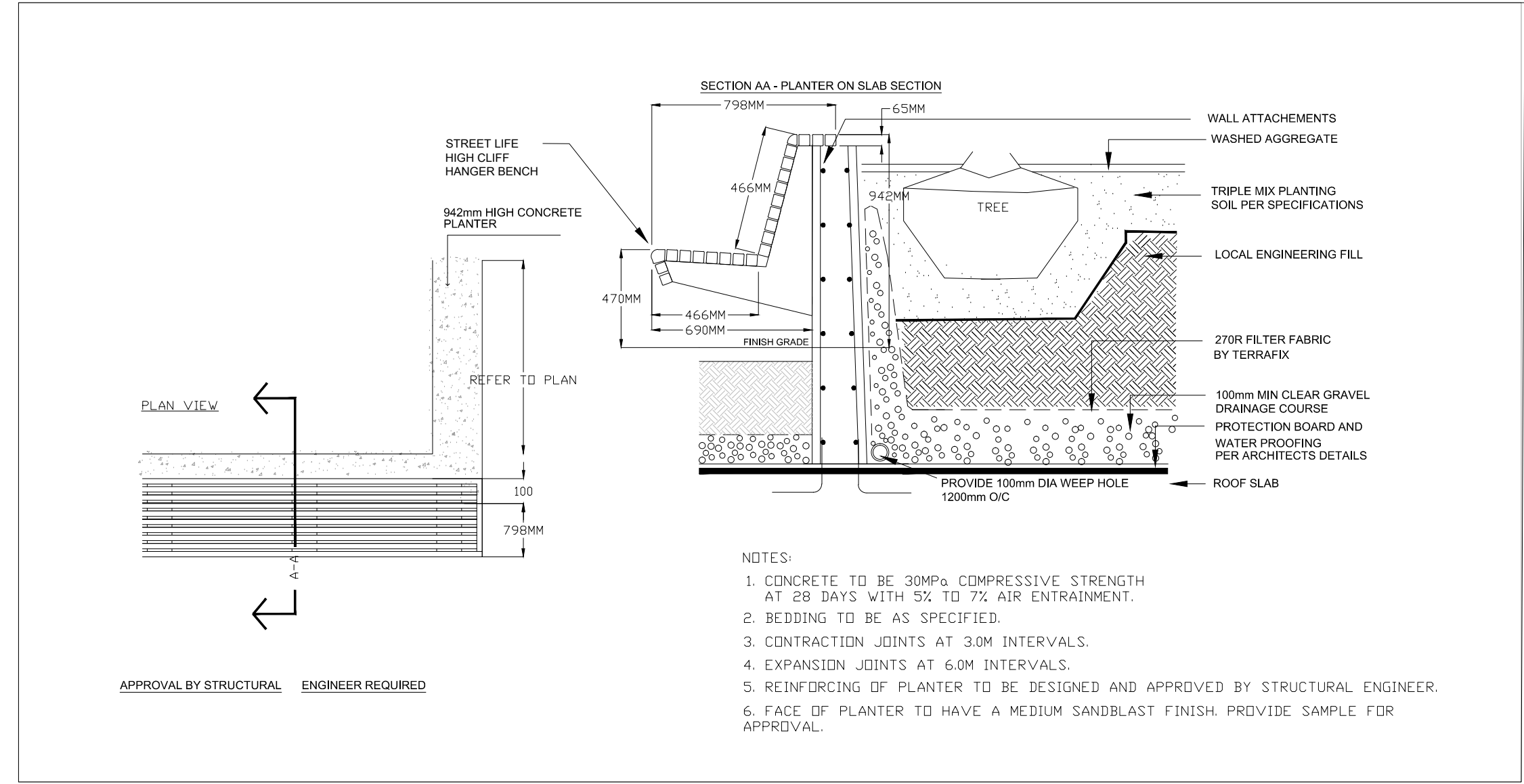
11 Planter Curb On Grade
L-2 n.t.s.



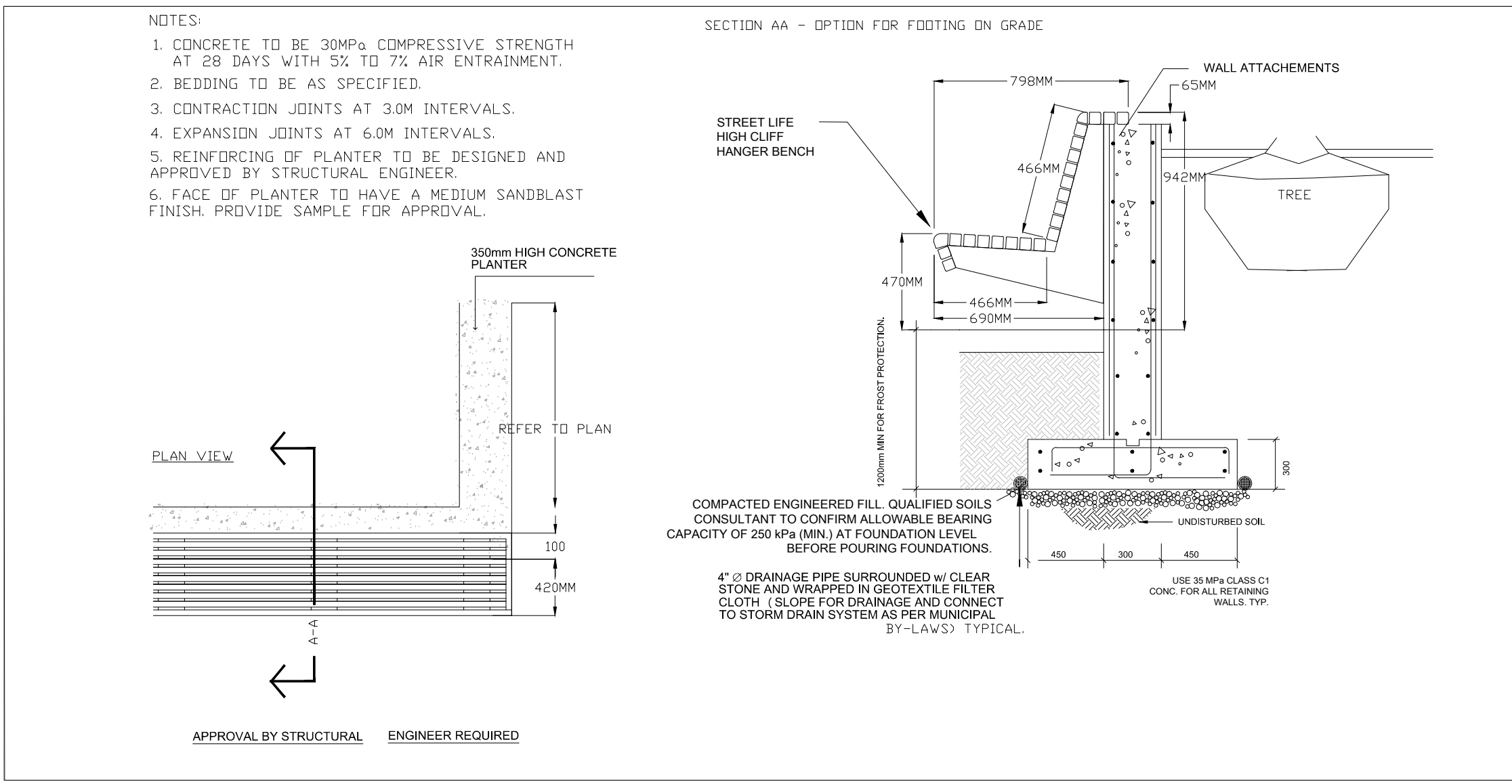
12 350mm High Planter With Mounted Street Life Low Bench On Slab
L-2 n.t.s.



13 350mm High Planter With Mounted Street Life Low Bench On Grade
L-2 n.t.s.



14 877mm High Planter With Mounted Street Life High Bench On Slab
L-2 n.t.s.



15 877mm High Planter With Mounted Street Life High Bench On Grade
L-2 n.t.s.

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5 APRIL 27, 2018 ISSUED FOR SPA LK

4 FEBRUARY 06, 2018 PROGRESS SET LK

3 JANUARY 22, 2018 ISSUED FOR SPA LK

2 NOVEMBER 07, 2017 ISSUED FOR REVIEW LK

1 AUGUST 04, 2017 ISSUED FOR SPA LK

Revision No. Date Issued / Revision Dp

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URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

MHBC

220-7520 WEDDING ROAD, MISSISSAUGA, ON L4X 1G7 | P: 905.741.5581 F: 905.741.5581 | WWW.MHBCPLAN.COM

Stamp

NOT FOR CONSTRUCTION

DATE: JULY 2017

Drawn By: LK

Project Scale: as noted

File No.: 1770A

Checked By: NM

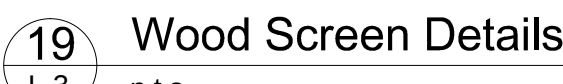
Other:

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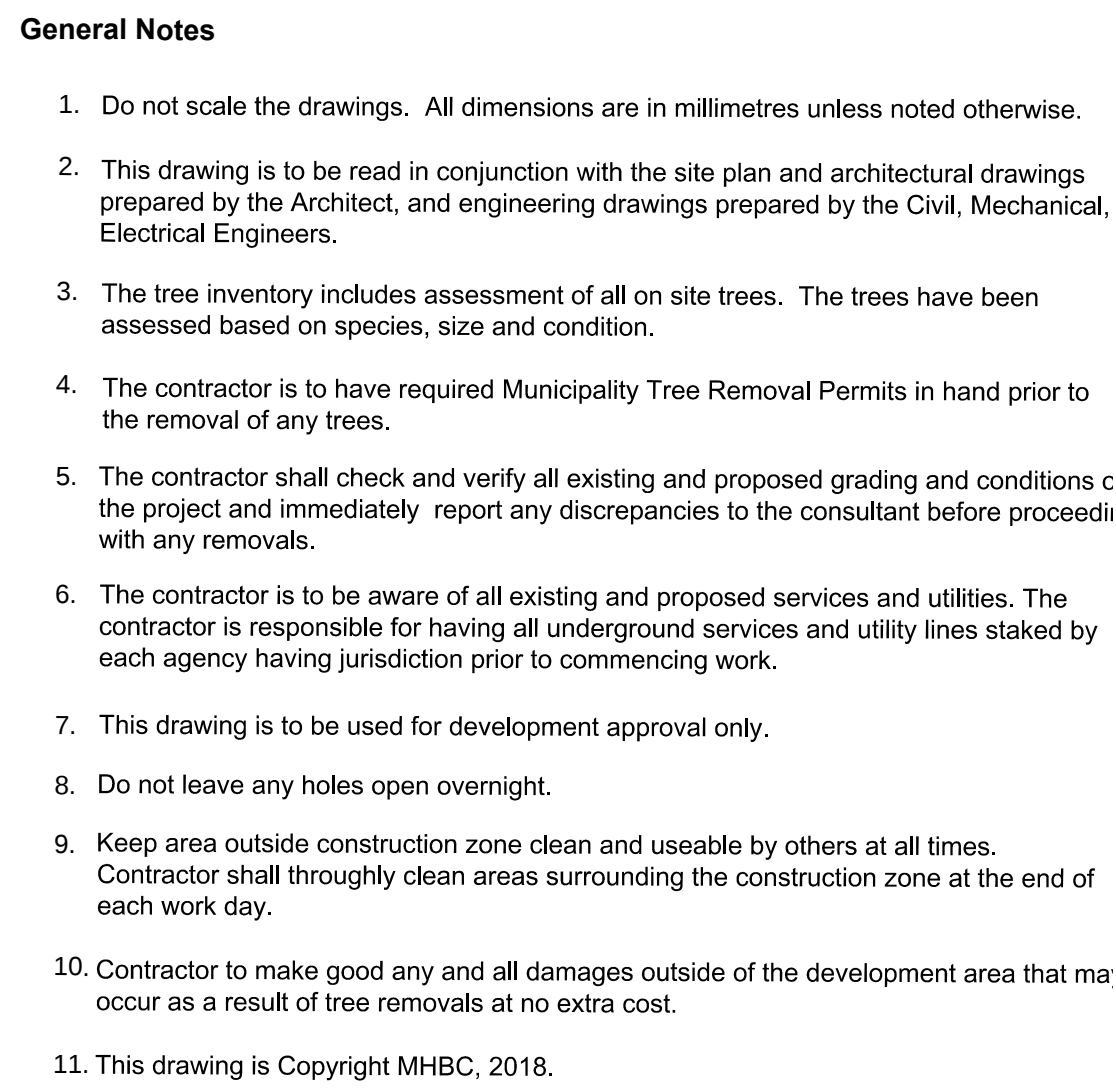
WEST BRONTE DEVELOPMENT
2441 LAKESHORE ROAD WEST
OAKVILLE, ONTARIO

File Name: LANDSCAPE DETAILS

Dwg No.: L-2



TO BE CONSTRUCTED DURING PHASE TWO



5	APRIL 27, 2018	ISSUED FOR SPA	LK
4	FEBRUARY 09, 2018	PROGRESS SET	LK
3	JANUARY 22, 2018	ISSUED FOR SPA	LK
2	NOVEMBER 07, 2017	ISSUED FOR REVIEW	LK
1	AUGUST 04, 2017	ISSUED FOR SPA	LK
Revision No.	Date	Issued / Revision	By
		PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE	
230-7050 WESTON ROAD WOODBINE ON (46.807) P: (905) 761-5089 F: (905) 761-5089 www.mhbcplan.com			
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	Project		
	WEST BRONTE DEVELOPMENT 2441 LAKESHORE ROAD WEST OAKVILLE, ONTARIO		
	File Name		
		Dwg No.	L-3