

SITE STATISTICS	
BLOCK 300	
GFA TOTAL	12,256.80 Sq.M.
SITE AREA A+B	7,763.19 Sq.M.
COVERED AREA	1.58
TOTAL NO. OF UNITS	175 Units

STATISTICS	
SITE A - AREA***	
GFA TOTAL*	6,171.10 Sq.M.
FSI	1.38
NO. OF FLOORS	5 Storeys
NO. OF UNITS	157 Units
BUILDING HEIGHT	5 Storey
INDOOR AMENITY AREA	110 Sq.M.
OUTDOOR AMENITY	111 Sq.M.
COMMERCIAL AREA	1,240.00 Sq.M.

REQUIRED PARKING-MIXED USE BLDG	
Resident Spots	157 Spots
Visitors	31 Spots
Total No. of required spots	188 Spots
**COMMERCIAL	41 Spots
Total No. of required - Mixed-use	229 Spots

PROVIDED PARKING-MIXED USE BLDG	
U/G PARKING SPOTS	185 Spots
SURFACE COURTYARD SPOTS	20 Spots
STREET PARKING SPOTS	31 Spots
TOTAL NO. OF SPOTS PROVIDED	236 Spots

TOTAL NO. OF SPOTS PROVIDED	
U/G PARKING SPOTS	185 Spots
SURFACE SPOTS	44 Spots
TOTAL NO. OF SPOTS PROVIDED	236 Spots

REQUIRED PARKING - STACKED T/H	
Resident spots	18 Spots
Total No. of required - Stacked T/H	18 Spots

PROVIDED PARKING - STACKED T/H	
Resident spots (Inside-Garage)	18 Spots
Resident spots (outside-Driveway)	18 Spots
TOTAL NO. OF PROVIDED SPOTS	36 Spots

TOTAL PROVIDED PARKING	
MIXED-USE + STACKED T/H	272 Spots

STATISTICS	
SITE B - AREA***	
GFA TOTAL*	1,592.09 Sq.M.
FSI	0.16 Ha
NO. OF UNITS	18 Units
GFA TOTAL*	1,249.60 Sq.M.
FSI	0.78

REQUIRED PARKING - STACKED T/H	
Resident spots	18 Spots
Total No. of required - Stacked T/H	18 Spots

PROVIDED PARKING - STACKED T/H	
Resident spots (Inside-Garage)	18 Spots
Resident spots (outside-Driveway)	18 Spots
TOTAL NO. OF PROVIDED SPOTS	36 Spots

TOTAL PROVIDED PARKING	
MIXED-USE + STACKED T/H	272 Spots

REQUIRED BICYCLE PARKING-MIXED USE	
Resident spots	118 Spots
Visitors	39 Spots
Total No. of required spots	157 Spots
COMMERCIAL	5 Spots
Total No. of required bicycle	162 Spots

PROVIDED BICYCLE STATISTICS	
U/G PARKING SPOTS	130 Spots
SURFACE SPOTS	44 Spots
TOTAL NO. OF SPOTS PROVIDED	174 Spots

TOTAL NO. OF SPOTS PROVIDED	
U/G PARKING SPOTS	130 Spots
SURFACE SPOTS	44 Spots
TOTAL NO. OF SPOTS PROVIDED	174 Spots

STACKED TOWNHOUSES							
AREAS P/ UNIT	UNIT A (MIDDLE)	UNIT B (CORNER/ FLANK)	GFA P/BLOCK	NO. UNIT A	NO. UNIT B	UNITS P/BLOCK	TOTAL AREA OF GFA P/BLOCK
GROUND	38.45	40	BLOCK B	8	2	10 Units	387.60 Sq.M.
MAIN FLOOR	52.5	58	BLOCK C	8	2	8 Units	431.00 Sq.M.
THIRD	52.5	58				0 Units	431.00 Sq.M.
TOTAL AREA P/ UNIT (Sq.M)	143.45	156.00				TOTAL	1,249.60 Sq.M.

MIXED USE MID-RISE UNITS COUNT and GFA						
UNIT NO.	1B	1B+D	2B	3B	Total	GFA P/ FLOOR (Sq.m)†
1st Floor	5	6	2	0	13	1,236.00 Sq.M.
2nd Floor	6	14	16	0	36	2,442.80 Sq.M.
3rd Floor	6	14	16	0	36	2,442.80 Sq.M.
4th Floor	6	14	16	0	36	2,442.80 Sq.M.
5th Floor	6	14	16	0	36	2,442.80 Sq.M.
Total	29	62	66	0	157	11,007.20 Sq.M.
% of Units	18%	39%	42%	0%	100%	

STACKED TOWNHOUSES							
AREAS P/ UNIT	UNIT A (MIDDLE)	UNIT B (CORNER/ FLANK)	GFA P/BLOCK	NO. UNIT A	NO. UNIT B	UNITS P/BLOCK	TOTAL AREA OF GFA P/BLOCK
GROUND	38.45	40	BLOCK B	8	2	10 Units	387.60 Sq.M.
MAIN FLOOR	52.5	58	BLOCK C	8	2	8 Units	431.00 Sq.M.
THIRD	52.5	58				0 Units	431.00 Sq.M.
TOTAL AREA P/ UNIT (Sq.M)	143.45	156.00				TOTAL	1,249.60 Sq.M.

* Denotes Area inclusive of Commercial and Amenity areas and without any deductions.

** For the purpose of design option, the most restrictive rate was used (1-spot per 36 Sq. M)

*** Virtual area extracted from the sketches provide on Zoning By-law (Needs to be confirmed)

REQUIRED BICYCLE PARKING-MIXED USE	
Resident spots	118 Spots
Visitors	39 Spots
Total No. of required spots	157 Spots
COMMERCIAL	5 Spots
Total No. of required bicycle	162 Spots

PROVIDED BICYCLE STATISTICS	
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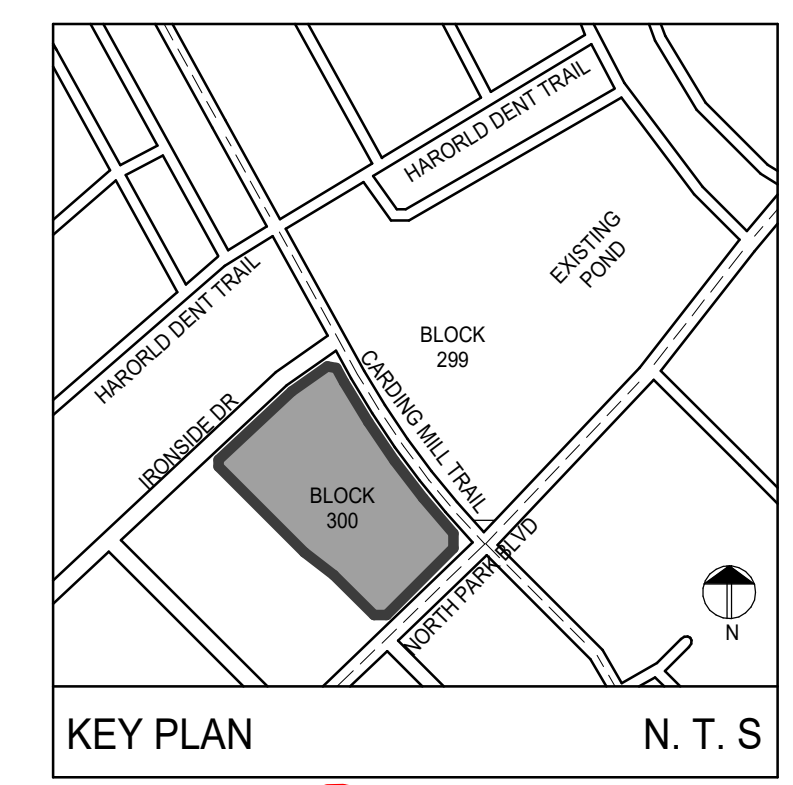
STACKED TOWNHOUSES							
AREAS P/ UNIT	UNIT A (MIDDLE)	UNIT B (CORNER/ FLANK)	GFA P/BLOCK	NO. UNIT A	NO. UNIT B	UNITS P/BLOCK	TOTAL AREA OF GFA P/BLOCK
GROUND	38.45	40	BLOCK B	8	2	10 Units	387.60 Sq.M.
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THIRD	52.5	58				0 Units	431.00 Sq.M.
TOTAL AREA P/ UNIT (Sq.M)	143.45	156.00				TOTAL	1,249.60 Sq.M.

† Denotes Area with TERRACE deductions.

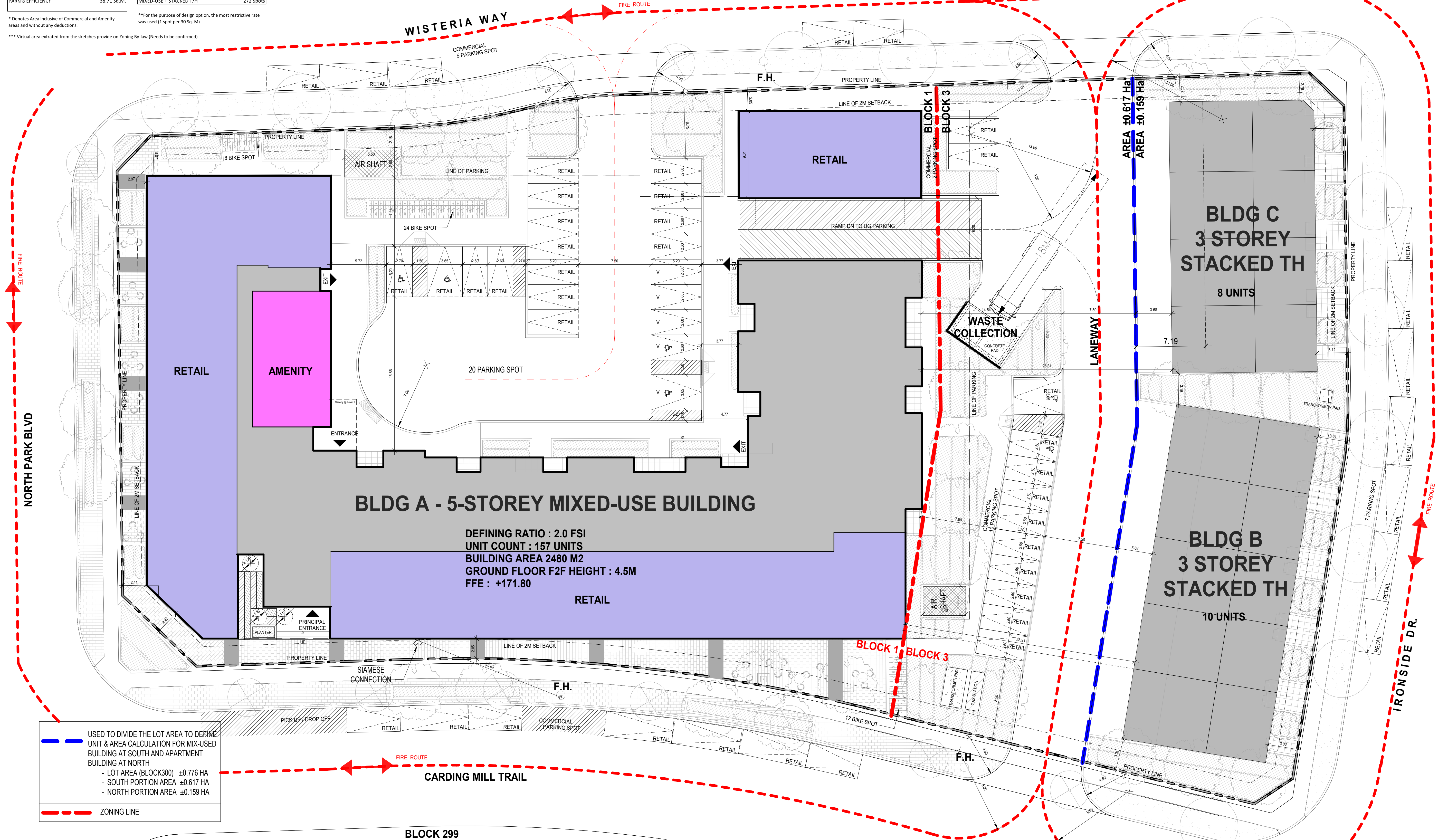
INFORMATION TAKEN FROM

RADY-PENTEX & EDWARD SURVEYING LTD., D.L.S.
 PLAN OF SUBDIVISION OF PART OF LOTS 17, 18 AND 19, CONCESSION 1 NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

BEARING NOTES
 BEARINGS ARE ORIO. UTM ZONE 17, NAD83 (ORIGINAL) DERIVED FROM SCS 001890318 NORTH 481304.025 EAST 602087.228 SCS 048991003
 COORDINATES ARE UTM ZONE 17, NAD83 (ORIGINAL) TO UTM ZONE 18, NAD83 (ORIGINAL) AND CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.
 ALL DIMENSIONS BETWEEN FOUND MONUMENTS ARE PLAN 20R-20714 AND MEASURED UNLESS NOTED OTHERWISE.
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE CORRECTED SCALE FACTOR OF 0.9997064



TOTAL 51 PARKING SPOTS AT SURFACE
 20 PARKING SPOT INSIDE BLOCK 300
 12 SPOT ALONG LANE WAY
 7 SPOT ALONG CARDING MILL TRAIL
 5 SPOT ALONG WISTERIA WAY
 7 SPOT ALONG IRONSIDE DR.
TOTAL 44 BIKE SPOTS AT SURFACE



USED TO DIVIDE THE LOT AREA TO DEFINE UNIT & AREA CALCULATION FOR MIX-USED BUILDING AT SOUTH AND APARTMENT BUILDING AT NORTH
 - LOT AREA (BLOCK300) ±0.776 HA
 - SOUTH PORTION AREA ±0.617 HA
 - NORTH PORTION AREA ±0.159 HA



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Issued For:
 ISSUED FOR SPA-V1 2022-06-13

No	Description	Date
	Revision Schedule	

Project Title
NORTH PRESERVE BLOCK 300

OAKVILLE
 MATTAMY

Project No. 21010
 Scale 1:200
 Drawn By Author
 Checked By Checker

SITE PLAN

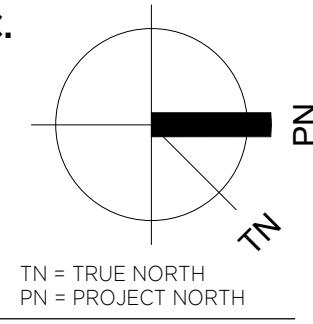
A0-1

Name of Practice:		Q4 ARCHITECTS SUITE 602, 4110 YONGE ST., NORTH YORK, ON M2P 2B7		Certificate of Practice Number: 2079																																																									
Name of Project:		NORTH PRESERVE - BLOCK 300																																																											
Location:		OAKVILLE, ONTARIO																																																											
Item	Ontario Building Code			Building Code Reference																																																									
	Data Matrix Part 3			References are to Division B unless noted [A] for Division A or [C] for Division C.																																																									
01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition & Renovation <input type="checkbox"/> Renovation		11.1 to 11.4 1.1.2. [A]																																																									
Project Description: BELOW GRADE PARKING STRUCTURE																																																													
02	Major Occupancy Classification:	Occupancy: GROUP F3 Use: STORAGE GARAGE		3.1.2.1.(1)																																																									
03	Superimposed Major Occupancy:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Description: GROUP C, 6 STOREY, SPRINKLERED, NONCOMBUSTIBLE CONSTRUCTION		3.1.2.7																																																									
04	Building Area (m2)	Existing: 0 sq.m	New: 7217.2 sq.m	Total: 7217.2 sq.m	1.4.1.2[A]																																																								
05	Gross Area	Existing: 0 sq.m	New: 7217.2 sq.m	Total: 7217.2 sq.m	1.4.1.2[A]																																																								
06	Mezzanine(s) Area m2	Existing: N/A	New: N/A	Total: N/A	3.2.1.1																																																								
07	Building Height	Stores Above Grade: 05 Stores Below Grade: 02	(m) Above Grade (Residential component above)		1.4.1.2[A] & 3.2.1.2																																																								
08	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.1.																																																									
09	Number of Streets / Fire Fighter Access	Street (s): N/A		3.2.2.10. & 3.2.5.																																																									
10	Building Classification: (Size and Construction Relative to Occupancy)	ARTICLE 3.2.2.81 Group / Div. Group F, DIVISIONS, SPRINKLERED		3.2.2.20 - 83																																																									
11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required		3.2.1.5 & 3.2.2.17																																																									
12	Standpipe System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.9.1.																																																									
13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None		3.2.4.1.																																																									
14	Water Service / Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.																																																									
15	Construction Type	Restriction: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.20 - 83 & 3.2.1.4																																																								
16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low Human Occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor Storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster		4.1.2.1 (3) & 5.2.2.1 (2)																																																									
17	Seismic Hazard Index:	(Ic Fa Sa (0.2)) = _____ Seismic design required for Table 4.1.8.18, Items 6 to 21: (Ic Fa Sa (0.2)) > 0.35 or Post-disaster) <input type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1 (3) & 4.1.8.18 (2)																																																									
18	Occupant load	Floor Level/Area: PARKADE Occupancy Type: Group F3 Based On: 46 sq.m/person Occupant load (persons): 7217.2 Sqm / 46 = 156.8 persons			3.1.17 9.9.1.3																																																								
TOTAL: 157 persons																																																													
19	Barrier Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)		3.8. 9.5.2																																																									
20	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)		3.3.1.2 & 3.3.1.19 9.10.1.3 (4)																																																									
21	Required Fire Resistance Rating (FRR)	Horizontal Assembly	Rating FRR (Hours)	Supporting Assembly (ft)	Noncombustible in lieu of ratings?	3.2.2.20 - 83. & 9.10.8																																																							
		Floors over basement	2 Hours	2 Hours	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	3.2.1.4 9.10.9																																																							
		Floors	N/A	N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A																																																								
		Mezzanine	N/A	N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A																																																								
Roof	N/A	N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A																																																										
22	Spatial Separation	NOT APPLICABLE - BELOW GRADE		3.2.3.1 9.10.14																																																									
23	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50 Except as noted otherwise			Building Code Reference																																																								
		NOT APPLICABLE - PARKING ONLY			<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9																																																								
23	Plumbing Fixture Requirements	Floor Level/Area	Occupant Load	OBC Reference	Fixtures required	Fixtures Provided																																																							
		<table border="1"> <tr><td>EBF B1</td><td>397.2</td><td>13.20</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B2</td><td>117.9</td><td>12.6</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B3</td><td>185.9</td><td>41.9</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B4</td><td>292.7</td><td>41.8</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B5</td><td>233.5</td><td>41.9</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B6</td><td>123</td><td>10.4</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B7</td><td>312.6</td><td>16.7</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> <tr><td>EBF B8</td><td>488.2</td><td>13.2</td><td>---</td><td>N.A LD>9m</td><td>Noncombustible</td><td>Noncombustible</td></tr> </table>						EBF B1	397.2	13.20	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B2	117.9	12.6	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B3	185.9	41.9	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B4	292.7	41.8	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B5	233.5	41.9	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B6	123	10.4	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B7	312.6	16.7	---	N.A LD>9m	Noncombustible	Noncombustible	EBF B8	488.2	13.2	---	N.A LD>9m
EBF B1	397.2	13.20	---	N.A LD>9m	Noncombustible	Noncombustible																																																							
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EBF B8	488.2	13.2	---	N.A LD>9m	Noncombustible	Noncombustible																																																							
24	Energy Efficiency:	Compliance Path: Energy Modeling Climatic Zone: Zone 2 (Oakville = 3760 HDD)		Climatic SB-1, Table 1.2 Column 7																																																									
25	Notes	1) All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C																																																											

Name of Practice:		Q4 ARCHITECTS SUITE 602, 4110 YONGE ST., NORTH YORK, ON M2P 2B7		Certificate of Practice Number: 2079													
Name of Project:		NORTH PRESERVE - BLOCK 300															
Location:		OAKVILLE, ONTARIO															
Item	Ontario Building Code			Building Code Reference													
	Data Matrix Part 3			References are to Division B unless noted [A] for Division A or [C] for Division C.													
01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition & Renovation <input type="checkbox"/> Renovation		11.1 to 11.4 1.1.2. [A]													
Project Description: 5 STOREY CONDOMINIUM BUILDING																	
02	Major Occupancy Classification:	Occupancy: GROUP C, GROUP E Use: RESIDENTIAL CONDOMINIUM COMMERCIAL		3.1.2.1.													
03	Superimposed Major Occupancy:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Description:															
04	Building Area (m2)	Existing: 0 sq.m	New: 2,476.5 sq.m	Total: 2,476.5 sq.m	1.4.1.2[A]												
05	Gross Area	Description: Existing: 0 sq.m New: 2,476.5 sq.m Total: 2,476.5 sq.m			1.4.1.2[A]												
06	Mezzanine(s) Area m2	Ground Fl.	0 sq.m	2,442.8 sq.m	2,442.8 sq.m												
		2nd Fl.	0 sq.m	2,442.8 sq.m	2,442.8 sq.m												
		3rd Fl.	0 sq.m	2,442.8 sq.m	2,442.8 sq.m												
		4th Fl.	0 sq.m	2,442.8 sq.m	2,442.8 sq.m												
		5th Fl.	0 sq.m	2,442.8 sq.m	2,442.8 sq.m												
Total		0 sq.m	12,247.7 sq.m	12,247.7 sq.m	3.2.1.1(3) -(8)												
07	Building Height	Stores Above Grade: 05 Stores Below Grade: 02	(m) Above Grade		1.4.1.2[A] & 3.2.1.2												
08	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.1.													
09	Number of Streets / Fire Fighter Access	01 Street (s)		3.2.2.10. & 3.2.5.													
10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.43 UP TO 6-STOREYS, SPRINKLERED, Noncombustible Construction Group / Div. Group C		3.2.2.45													
11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required		3.2.2.44 3.2.1.5 3.2.2.17 INDEX													
12	Standpipe System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.9.1.													
13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None		3.2.4.1.													
14	Water Service / Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.													
15	Construction Type	Restriction: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.45 (2)												
16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low Human Occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor Storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster		4.1.2.1 (3) & 4.1.2.1 B													
17	Seismic Hazard Index:	(Ic Fa Sa (0.2)) = _____ Seismic design required for Table 4.1.8.18, Items 6 to 21: (Ic Fa Sa (0.2)) > 0.35 or Post-disaster) <input type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1 (3) & 4.1.8.18 (2)													
18	Occupant load	Floor Level/Area	Occupancy Type	Based On	Occupant load (persons)												
		Ground Floor Commercial	Group E	3.7 sqm/Person	1240.5 sqm / 3.7 = 335.2 persons												
		Ground Floor Amenity	Group A	1.1 sqm/Person	110 sqm / 1.1 = 100 p												
		Ground Floor	Group C	2 pers/bdrm	15 BDRMS= 30 persons												
		Second Floor	Group C	2 pers/bdrm	52 BDRMS= 104 persons												
		Third Floor	Group C	2 pers/bdrm	52 BDRMS= 104 persons												
Fourth Floor	Group C	2 pers/bdrm	52 BDRMS= 104 persons														
5th Floor	Group C	2 pers/bdrm	52 BDRMS= 104 persons														
TOTAL:				862 persons													
19	Barrier Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)		3.8. 9.5.2													
20	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)		3.3.1.2 & 3.3.1.19 9.10.1.3 (4)													
21	Required Fire Resistance Rating (FRR)	Horizontal Assembly	Rating FRR (Hours)	Supporting Assembly (ft)	Noncombustible in lieu of ratings?	3.2.2.20 - 83. & 9.10.8											
		Floors over basement	2 Hours	2 Hours	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	3.2.1.4 9.10.9											
		Floors	1 Hour	1 Hour	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A												
		Mezzanine	N/A	N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A												
Roof	1 Hour	1 Hour	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A														
22	Spatial Separation	KEYPLAN (NTS)		3.2.3.1 9.10.14													
23	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50 Except as noted otherwise			Building Code Reference												
		Note: Resident suites have individual washrooms			<input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9												
23	Plumbing Fixture Requirements	Floor Level/Area	Occupant Load	OBC Reference	Fixtures required	Fixtures Provided											
		<table border="1"> <tr><td>Indoor Amenity</td><td>50</td><td>3.7.4.3 (A)</td><td>1 M / 2F</td><td>1 UNIVERSAL & 1 Female</td><td></td></tr> <tr><td>Outdoor Amenity</td><td>50</td><td>3.7.4.3 (A)</td><td>1 M / 2F</td><td>1 UNIVERSAL & 1 Female</td><td></td></tr> </table>						Indoor Amenity	50	3.7.4.3 (A)	1 M / 2F	1 UNIVERSAL & 1 Female		Outdoor Amenity	50	3.7.4.3 (A)	1 M / 2F
Indoor Amenity	50	3.7.4.3 (A)	1 M / 2F	1 UNIVERSAL & 1 Female													
Outdoor Amenity	50	3.7.4.3 (A)	1 M / 2F	1 UNIVERSAL & 1 Female													
24	Energy Efficiency:	Compliance Path: Energy Modeling Climatic Zone: Zone 2 (Oakville = 3760 HDD)		Climatic SB-1, Table 1.2 Column 7													
25	Notes	1) All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C															

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Issued For: ISSUED FOR SPA-V1 2022-06-13

No	Description	Date
Revision Schedule		

Project Title

Project Description

NORTH PRESERVE BLOCK 300

OAKVILLE

MATTAMY

Project No. 21010

Scale

Drawn By Author

Checked By Checker

O.B.C. DATA