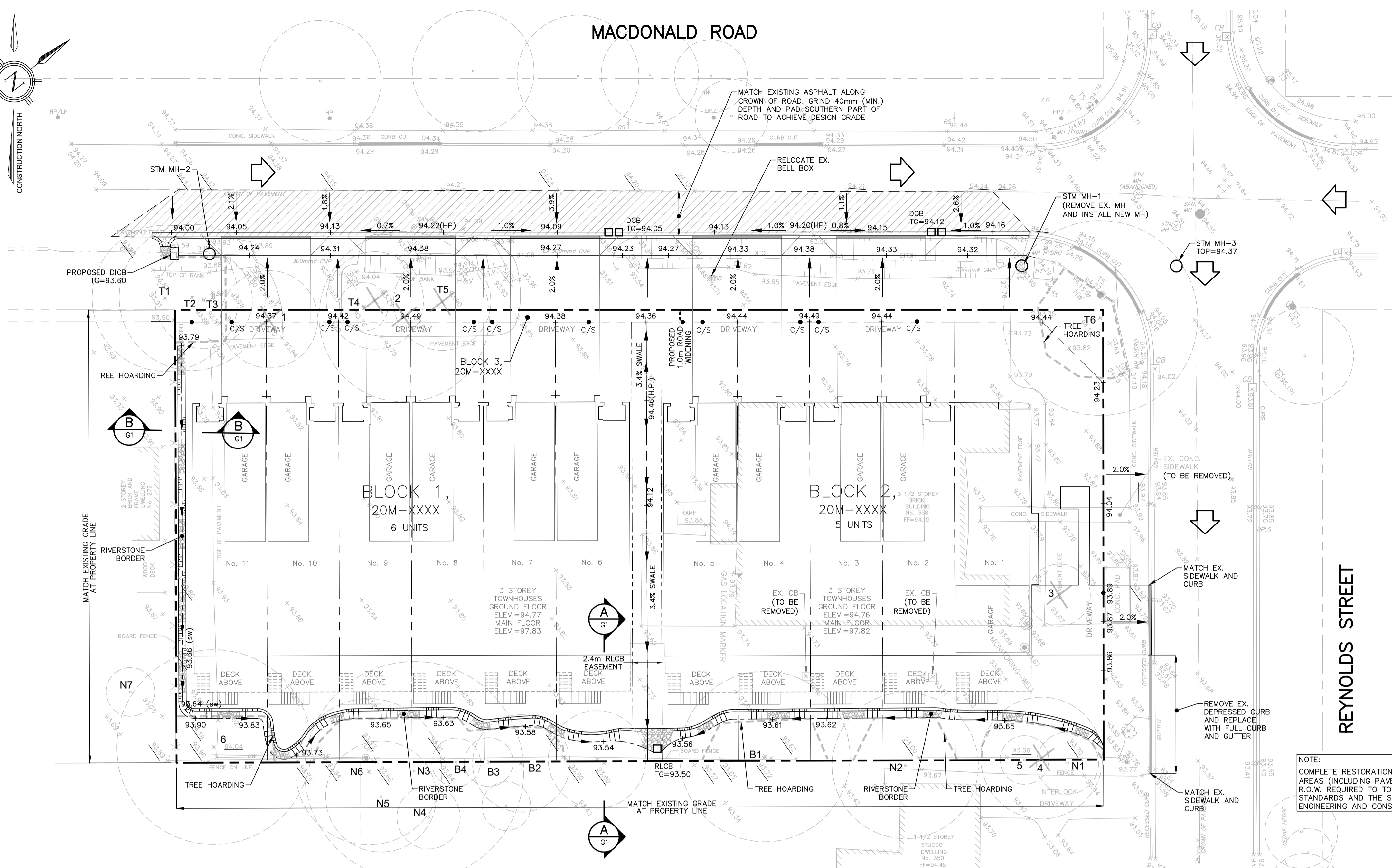


MACDONALD ROAD



KEY PLAN

LEGEND

- PROPOSED CATCHBASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED VALVE & BOX
- PROPOSED CURB STOP
- PROPERTY LINE
- x 93.87 EXISTING ELEVATION
- x 93.87 EXISTING ELEVATION TO REMAIN
- + 94.55 PROPOSED FINISHED ELEVATION
- PROPOSED DRAINAGE DIRECTION
- PROPOSED SWALE DRAINAGE DIRECTION
- ⇨ PROPOSED OVERLAND FLOW DIRECTION
- 1:1.00 PROPOSED SLOPE

BENCHMARK

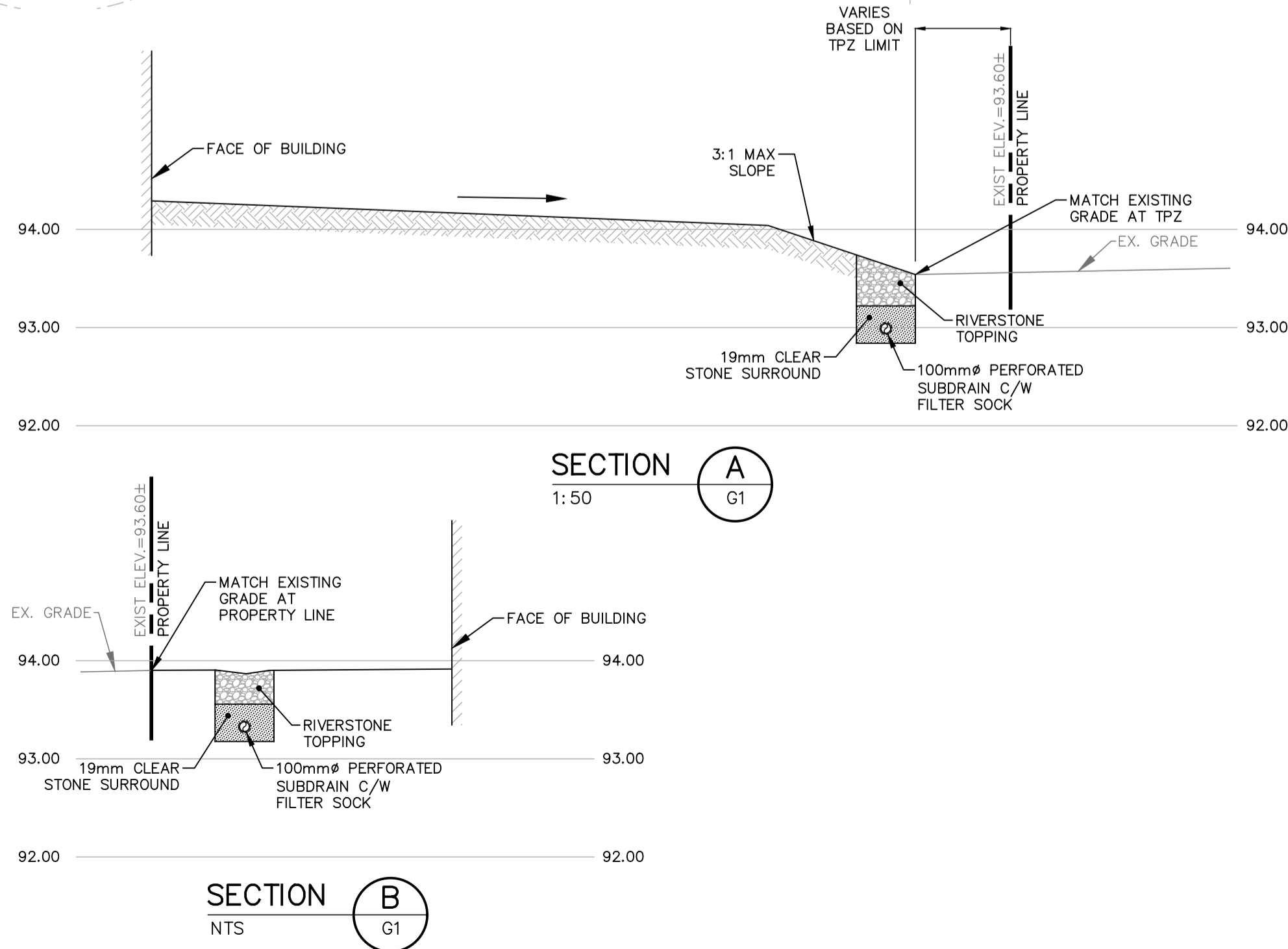
ELEVATIONS ARE REFERRED TO BENCHMARK No. 0011931U1999 HAVING AN ELEVATION OF 90.39 METRES. TABLET IN THE TOP OF THE SQUARE PIER IN THE SOUTHWEST CORNER OF GEORGE'S SQUARE, 29.3 METRES NORTHWEST OF SUMNER AVENUE AND 12.5 METRES NORTHEAST OF TRAFALGAR ROAD. ELEVATIONS ARE REFERENCED TO THE CANADIAN GEODETIC VERTICAL DATUM OF 1928, 1978 ADJUSTMENT (CGVD-1928:1978).

NOTE

THE SURVEY WAS COMPLETED ON THE 18TH DAY OF JANUARY, 2023 BY R-PE SURVEYING LTD., ONTARIO LAND SURVEYORS. JOB No. 22-388 CAD FILE No.22-388TP01

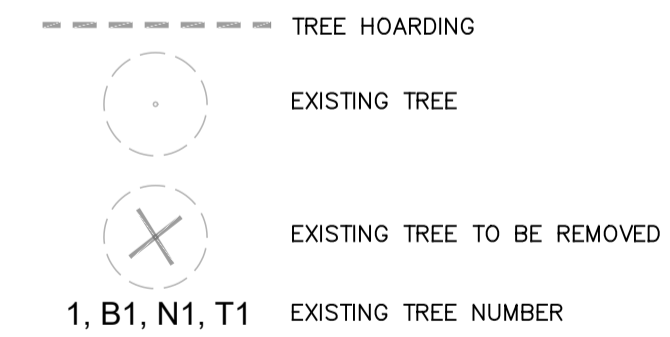
LOT GRADING CRITERIA

1. ALL YARD SURFACES FRONT AND REAR SHALL HAVE A MINIMUM SLOPE OF 2.0%.
2. REAR YARDS ARE TO HAVE A MAXIMUM GRADE OF 5.0% FOR A MINIMUM APRON LENGTH OF 5 METRE DISTANCE FROM THE REAR FACE OF THE DWELLING.
3. THE MAXIMUM SLOPE ALLOWED ON ANY YARD SURFACE SIDE, FRONT AND REAR SHALL BE 3:1 (3 HORIZONTAL TO 1 VERTICAL).
4. DRIVEWAY SLOPE SHALL BE A MINIMUM OF 1.0% AND A MAXIMUM OF 7.0%.
5. RETAINING WALLS MAY BE USED SUBJECT TO APPROVAL BY THE TOWN.
6. ALL SWALES SHALL HAVE A MINIMUM DEPTH OF 150mm AND A MINIMUM SLOPE OF 2.0% FOR A MAXIMUM LENGTH OF 60m BEFORE OUTFALL.
7. WHERE ANY UPPER LOT DRAINS ONTO A LOWER LOT, AND INTERCEPTOR SWALE SHALL BE LOCATED ON THE REAR PROPERTY LINE IN SUCH A MANNER AS TO DIVERT THE DRAINAGE TO THE SIDE YARD SWALES OF THE LOWER LOT.
8. WINDOW WELLS, WHERE REQUIRED SHALL BE INDIRECTLY CONNECTED TO THE WEeping TILE SYSTEM USING 100mm DRAIN PIPE FILLED WITH 19mm CLEAR STONE.
9. WHEN THE SEPARATION BETWEEN ADJACENT BUILDINGS IS 1.2m OR LESS THE AREA BETWEEN THE BUILDINGS SHALL BE COVERED WITH 100mm DEPTH OF 19.0mm CLEAR STONE.
10. THERE SHALL BE A 0.6m WIDE PATH AT A 2.0% SLOPE AWAY FROM THE FOUNDATION AROUND ONE SIDE OF THE BUILDING, EXCEPT WHERE SIDE YARD SETBACKS FROM LOT LINES DO NOT PERMIT. THIS IS TO ALLOW FOR THE CONSTRUCTION OF A WALKWAY TO THE REAR OF THE HOUSE.
11. ALL DOWNSPOUTS SHALL DISCHARGE ONTO SODDED AREAS USING SPLASH PADS FOR EROSION CONTROL. DIRECT CONNECTION OF THE DOWNSPOUTS TO THE STORM SYSTEM MUST HAVE PRIOR APPROVAL FROM THE TOWN OF OAKVILLE. THE LOCATION OF THE DISCHARGE IS NOT TO INTERFERE WITH ACCESS OR POSE A SAFETY HAZARD.
12. ALL LOTS ARE TO RECEIVE A MINIMUM ROLLED DEPTH OF 300mm OF TOPSOIL THROUGHOUT ALL AREAS.
13. RETAINING WALLS MAY BE CONSTRUCTED OF PRESSURE TREATED LUMBER, POURED IN PLACE CONCRETE, PRE-CAST CONCRETE OR STONE.
14. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT ARE REQUIRED TO HAVE PLANS SUBMITTED TO THE BUILDING SERVICES DEPARTMENT STAMPED BY A PROFESSIONAL ENGINEER AND SHOWING THE PROPOSED RETAINING WALL CONSTRUCTION.
15. FENCES WILL BE REQUIRED ON ALL RETAINING WALLS THAT EXCEED 0.6m IN HEIGHT. THE FENCE MUST BE A MINIMUM HEIGHT OF 1.2m AND CONFORM TO THE SWIMMING POOL ENCLOSURE BY-LAW 1991-20.
16. ALL RETAINING WALLS ARE TO HAVE THE FACE OF THE WALL PLACED ON THE PROPERTY LINE IN SUCH A MANNER THAT ANY TIE BACKS, ETC., ARE LOCATED ENTIRELY WITHIN THE UPPER LOT.



NOTE: COMPLETE RESTORATION OF ALL DISTURBED AREAS (INCLUDING PAVEMENT STRUCTURE) WITHIN R.O.W. REQUIRED TO TOWN OF OAKVILLE STANDARDS AND THE SATISFACTION OF ENGINEERING AND CONSTRUCTION

TREE PROTECTION LEGEND
(REFER TO ARBORIST REPORT)



2	2023/11/10	PC/GL	REVISED PER PRE-SUBMISSION COMMENTS RZA DPA
1	2023/06/27	PC/GL	ISSUED FOR RZA AND DPA

No.	DD/MM/YY	By/DRN	REVISIONS
Design	MF	Chk'd	PC
Drawn	GL	Chk'd	Plot Date

Scale	0 5 10m	References
	1:200	

APPROVALS		Field Notes
Municipal	APPROVED IN PRINCIPLE SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO TOWN OF OAKVILLE STANDARDS AND SPECIFICATIONS.	Bell <input type="checkbox"/> Hydro <input type="checkbox"/>
	Date:	Gas <input type="checkbox"/> Cable <input type="checkbox"/>
	Manager of Development Services	Traf. <input type="checkbox"/> Water <input type="checkbox"/>

Regional Approval

DESIGN OF WATER &/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING TO HALTON REGION STANDARDS & SPECIFICATIONS & LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATE: _____
LEGISLATIVE AND PLANNING SERVICES DEPT.

Consultant

TRAFALGAR ENGINEERING
81-481 MORDEN ROAD, OAKVILLE, ON, L6K 3W6
www.trafalgareng.com

LOCATION

TITLE **358 REYNOLDS STREET MACDONALD ROSE INC. SUBDIVISION GRADING PLAN**

Municipal No.	Regional No.
24T-XXXXX/XXXX	
Contract No.	Consultant No. G1
-	Sheet