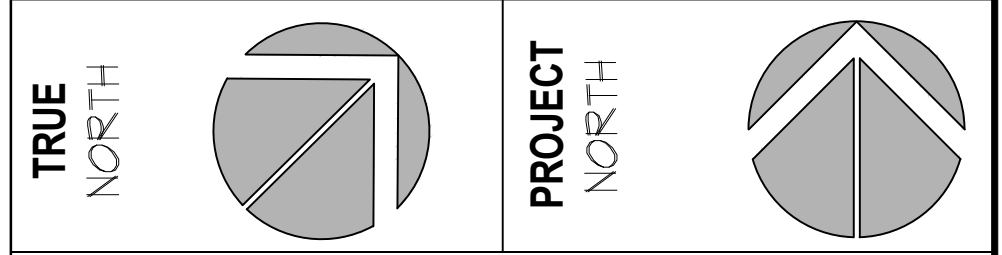


LEGAL DESCRIPTION

PLAN OF SUBDIVISION OF PART OF LOTS 14 AND 15, CONCESSION 2 NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON



SITE STATISTICS

TOTAL SITE AREA	77,682.75 m ²	or	19.20 acres
ZONING	LIGHT EMPLOYMENT		
	REQUIRED	PROVIDED	
FRONT YARD SETBACK	6.00 m	18.70 m	
EAST SIDE YARD SETBACK	3.00 m	36.62 m	
WEST SIDE YARD SETBACK	3.00 m	38.60 m	
REAR YARD SETBACK	7.50 m	13.47 m	
BUILDING G.F.A.			
BUILDING A	16,589.58 m ²	or	178,569 sq.ft.
BUILDING B	17,013.82 m ²	or	183,135 sq.ft.
TOTAL BUILDING G.F.A.	33,603.40 m ²	or	361,704 sq.ft.
SITE COVERAGE	33,603.40 m ²	or	43.26%
LANDSCAPED AREA (MIN 10%)	8,117.53 m ²	or	10.45%
PAVED AREA	35,961.81 m ²	or	46.29%
SNOW STORAGE AREA	SNOW TO BE REMOVED OFF SITE		
PARKING	REQUIRED	PROVIDED	
WAREHOUSING @ 33,624.56 m ²			
a) 1.0 per 100.0 m ² net floor area for the first 7,500.0 m ² net floor area plus,	75 spaces		
b) 1.0 per 200.0 m ² net floor area for any additional net floor area (26,124.56 m ² / 200 m ² = 132 spaces)	131 spaces		
TOTAL	206 spaces	537 spaces	
H/C PARKING SPACES	7 spaces	15 spaces	
LOADING SPACES	4 spaces	56 spaces	
BIKE RACKS (7% OF PARKING SPACES)	21 BIKE RACKS	21 BIKE RACKS	
2 BIKE SPACES PER RACK	42 spaces	42 spaces	

SYMBOL LEGEND

- MAN DOOR LOCATIONS
- LOADING DOCK LOCATIONS
- DRIVE-IN OR OVERHEAD DOORS
- FIRE HYDRANT & VALVE
- CATCH BASIN
- DOUBLE CATCH BASIN
- SANITARY MANHOLE
- CATCH BASIN / MANHOLE
- STORM MANHOLE
- HYDRO POLE STANDARD / UTILITY POLE
- BICYCLE RING | 0.6m x 1.8m x 1.9m H.
- ACCESSIBLE PARKING SPACE | A & B TYPES
- LIGHT STANDARD (TYP)
- WALL MOUNTED LIGHT
- CURB RAMP (REF: CURB RAMP DETAIL)
- LOADING SPACE 9.0m x 3.5m x 4.2m H
- CONC. FILLED STEEL BOLLARD
- FIRE DEPARTMENT/SIAMESE CONNECTION
- BARRIER FREE PARKING SIGN
- FIRE ROUTE SIGN = 30°-45° to line parallel to traffic flow mounted on a pole or mounted to building face
- BUILDING LINE CLEAN OUT

No.	ISSUED	DATE
1	ISSUED FOR CLIENT REVIEW	SEPT 21 2021
2	ISSUED FOR CLIENT REVIEW	OCT. 22 2021
3	ISSUED FOR CLIENT REVIEW	NOV 03, 2021
4	ISSUED FOR COORDINATION	NOV 15 2021
5	ISSUED FOR COORDINATION	NOV 19 2021

6	ISSUED FOR COORDINATION	NOV 22 2021
7	ISSUED FOR COORDINATION	NOV 23 2021
8	ISSUED FOR PAC	NOV 25 2021
9	ISSUED FOR REVIEW	JAN 5 2022
10	ISSUED FOR SPA	MAR 14 2022
11	SUBMITTED FOR SPA	APR 29 2022

No.	REVISION	DATE
1	REVISED AS NOTED	NOV. 19, 2021
2	REVISED AS NOTED	NOV. 22, 2021
3	REVISED AS NOTED	NOV. 23, 2021
4	REVISED AS NOTED	JAN. 04 2022
5	REVISED AS NOTED	JAN. 06 2022

6	REVISED AS NOTED	FEB. 04, 2022
7	REVISED AS NOTED	FEB. 09, 2022
8	REVISED AS NOTED	FEB. 16, 2022
9	REVISED AS PER CIVIL	FEB. 25, 2022

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:

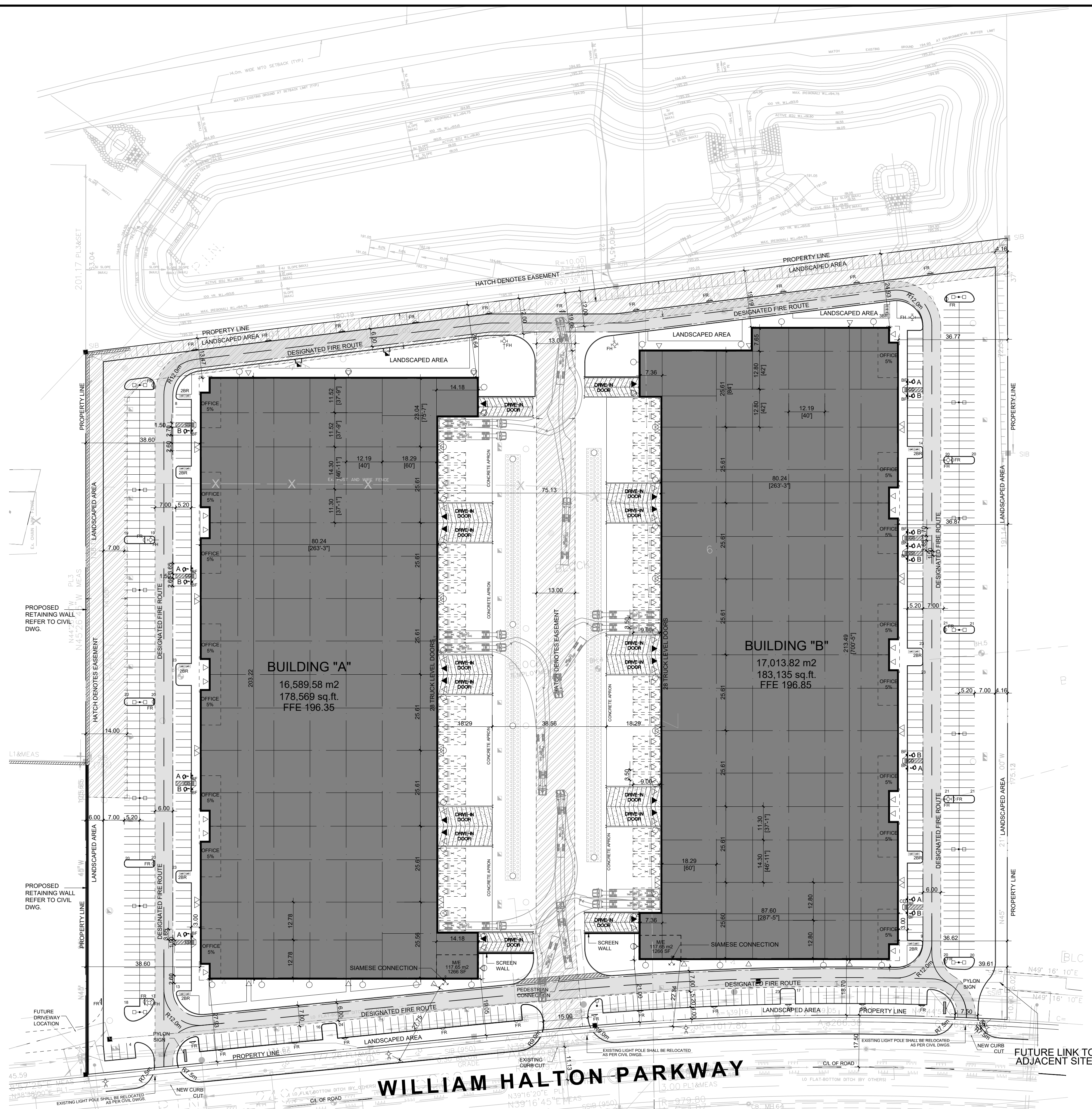


North Oakville
Block 6

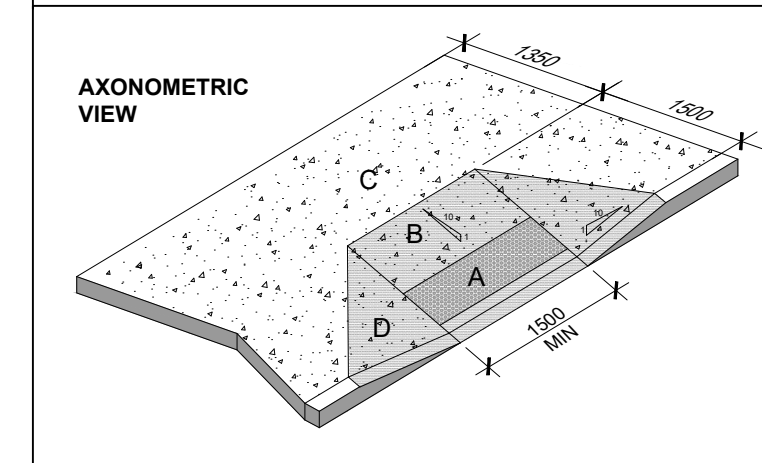
Oakville, ON

Site Plan

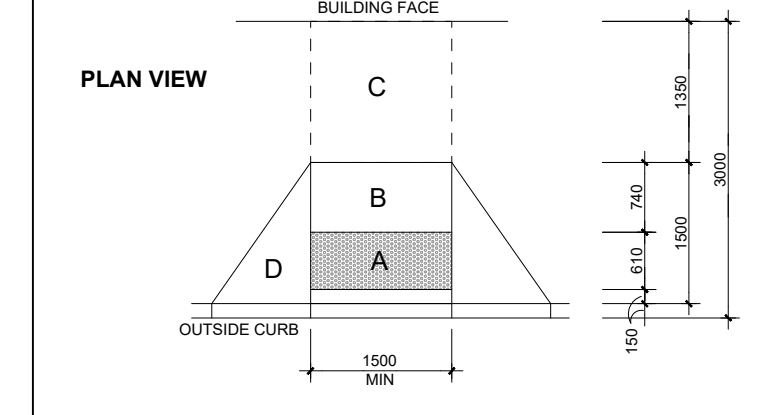
DATE:	DRAWN BY:	CHECKED:	SCALE:
MAR. 2022	MM	MB	1:600
PROJECT No.	DRAWING No.		
21-49	A-1.0		



CURB RAMP DETAIL

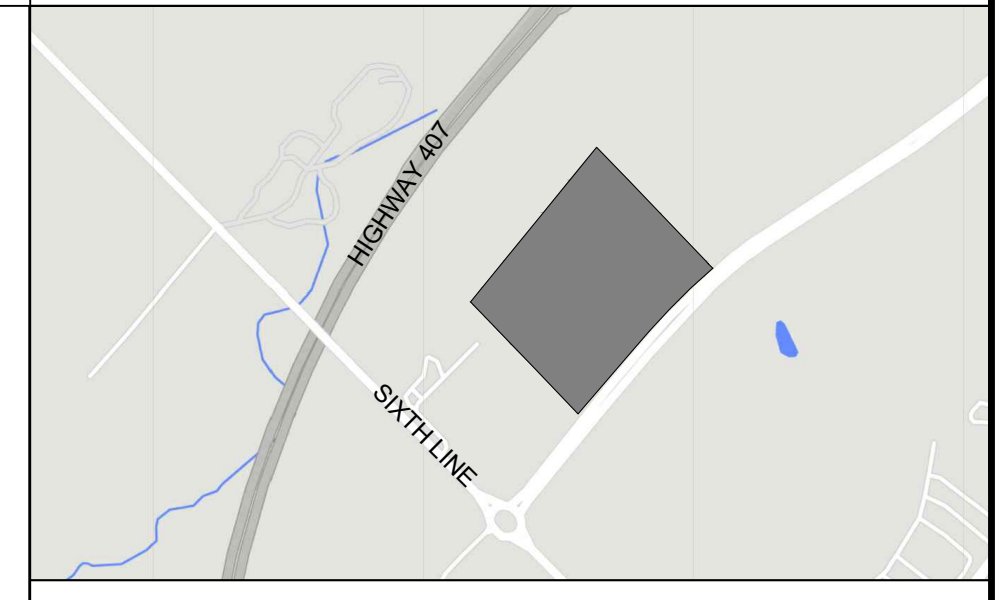


- CURB RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 1500mm, EXCLUSIVE OF ANY FLARED SIDES.
- THE RUNNING SLOPE OF THE CURB MUST:
 - BE A MAX OF 1:8, WHERE ELEVATION IS LESS THAN 75mm, AND
 - BE A MAX OF 1:10, WHERE ELEVATION IS LESS THAN 75mm OR GREATER AND 200mm OR LESS.
- THE MAX SLOPE ON THE FLARED SIDE OF THE CURB RAMP MUST BE NO MORE THAN 1:10.
- CURB RAMP MUST HAVE A TACTILE WALKING SURFACE INDICATOR THAT:
 - HAVE RAISED TACTILE PROFILES COMPOSED OF TRUNCATED DOMES,
 - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE,
 - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP,
 - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE,
 - EXTEND THE FULL WIDTH OF THE CURB RAMP,
 - ARE A MIN OF 610mm IN DEPTH, AND
 - BE SUR-RESISTANT.



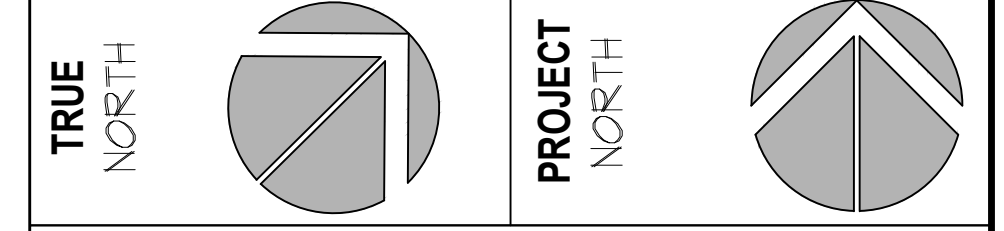
- A** TACTILE SURFACE / DETECTABLE HAZARD INDICATOR 150mm FROM EDGE OF CURB AND 610mm IN DEPTH
 - B** SLOPE SURFACE @ 1:10 (max)
 - C** LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm
 - D** FLARED SIDES WITH MAX SLOPE OF 1:10
- THE INFORMATION PROVIDED HERE WAS ASSEMBLED FROM OBC 3.8.3.2 AND O. REG. 19/111: INTEGRATED ACCESSIBILITY STANDARDS under the ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT, 2005 updated JUL, 2016.

KEY PLAN CITY OF OAKVILLE



LEGAL DESCRIPTION

PLAN OF SUBDIVISION OF PART OF LOTS 14 AND 15, CONCESSION 2 NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON



SITE STATISTICS

TOTAL SITE AREA	77,682.75 m ²	or	19.20 acres
ZONING	LIGHT EMPLOYMENT		
	REQUIRED	PROVIDED	
FRONT YARD SETBACK	6.00 m	18.70 m	
EAST SIDE YARD SETBACK	3.00 m	36.62 m	
WEST SIDE YARD SETBACK	3.00 m	38.60 m	
REAR YARD SETBACK	7.50 m	13.47 m	
BUILDING G.F.A.			
BUILDING A	16,589.58 m ²	or	178,569 sq.ft.
BUILDING B	17,013.82 m ²	or	183,135 sq.ft.
TOTAL BUILDING G.F.A.	33,603.40 m ²	or	361,704 sq.ft.
SITE COVERAGE	33,603.40 m ²	or	43.26%
LANDSCAPED AREA (MIN 10%)	8,117.53 m ²	or	10.45%
PAVED AREA	35,961.81 m ²	or	46.29%
SNOW STORAGE AREA	SNOW TO BE REMOVED OFF SITE		
PARKING	REQUIRED	PROVIDED	
WAREHOUSING @ 33,624.56 m ²			
a) 1.0 per 100.0 m ² net floor area for the first 7,500.0 m ² net floor area; plus,	75 spaces		
b) 1.0 per 200.0 m ² net floor area for any additional net floor area (26,124.56 m ² / 200 m ² = 132 spaces)	131 spaces		
TOTAL	206 spaces	537 spaces	
H/C PARKING SPACES	7 spaces	15 spaces	
LOADING SPACES	4 spaces	56 spaces	
BIKE RACKS (7% OF PARKING SPACES)	21 BIKE RACKS	21 BIKE RACKS	
2 BIKE SPACES PER RACK	42 spaces	42 spaces	

SYMBOL LEGEND

	MAN DOOR LOCATIONS
	LOADING DOCK LOCATIONS
	DRIVE-IN OR OVERHEAD DOORS
	FIRE HYDRANT & VALVE
	CATCH BASIN
	DOUBLE CATCH BASIN
	SANITARY MANHOLE
	CATCH BASIN / MANHOLE
	STORM MANHOLE
	HYDRO POLE STANDARD / UTILITY POLE
	BICYCLE RING 0.6m x 1.8m x 1.9m H.
	ACCESSIBLE PARKING SPACE A & B TYPES
	LIGHT STANDARD (TYP)
	WALL MOUNTED LIGHT
	CURB RAMP (REF: CURB RAMP DETAIL)
	LOADING SPACE 9.0 m x 3.5 m x 4.2 m H
	CONC. FILLED STEEL BOLLARD
	FIRE DEPARTMENT/SIAMESE CONNECTION
	BARRIER FREE PARKING SIGN
	FIRE ROUTE SIGN < 30°-45° to line parallel to traffic flow (MOUNTED ON A POLE OR MOUNTED TO BUILDING FACE)
	BUILDING LINE CLEAN OUT

No.	ISSUED	DATE
1	ISSUED FOR REVIEW	JAN. 6, 2022
2	ISSUED FOR SPA	MAR. 14, 2022
3	SUBMITTED FOR SPA	APR. 24, 2022

No.	REVISION	DATE
-----	----------	------

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



North Oakville Block 6

Oakville, ON

Site Plan Overall

DATE:	DRAWN BY:	CHECKED:	SCALE:
MAR 2022	MM	MB	1:750
PROJECT No.:	DRAWING No.:		

21-49 **A-1.1**