



# Part E: Community Building Area Specific Provisions

Draft for Review Only

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## 2 Bronte Village

Bronte Village will be revitalized as a vibrant community with a thriving commercial area and diverse housing opportunities, creating a year-round environment for residents, employees, and visitors. New development will nurture and enhance the area's historic lakeside village character through a pedestrian-oriented, mixed-use environment with strong connections to the waterfront and harbour.

Long-term development in Bronte Village includes new mixed-use buildings and public realm improvements such

as enhancing the streetscape and urban square, as well as improved connections to the waterfront. These elements will collectively reinforce the distinct character of the historic lakeside village.

The review and approval of community planning permit applications within Bronte Village is informed and guided by the policies of the [Town of Oakville Official Plan](#) and the [Livable by Design Manual](#).



## 2.1 Land Use

**Schedule E 2.1** allocates zones to lands within Bronte Village as follows:

- BV-RH - Bronte Village High Density Residential
- BV-RM - Bronte Village Medium Density Residential
- BV-MS1 - Bronte Village Main Street 1
- BV-MS2 - Bronte Village Main Street 2
- BV-UC - Bronte Village Urban Core
- BV- OS - Bronte Village Parks and Open Space
- U – Utility

### 2.1.1 Existing Uses

- a) Where the terms “existing use” or “existing building” is used in Part E **Section 2.1.1**, it shall refer to: uses and buildings that legally existed, or that were approved per a site-specific re-zoning by-law or minor variance that was passed on or before June 20, 2018.
- b) Existing uses and buildings are permitted to continue, however, they are ultimately intended to be redeveloped in conformity with the Official Plan.
- c) Building additions, alterations, and/or replacement of existing low-rise commercial uses along Bronte

Street, Lakeshore Road West, and Jones Street may be permitted where they can be demonstrated not to preclude the long-term development of the infrastructures, parks, and higher density properties set out in the Official Plan and in accordance to **Schedule P1** Land Use.

- d) Redevelopment of the lands on the north side of Lakeshore Road West, between Bronte Road and Jones Street, shall retain the existing gross leasable floor area of a food store with approximately 2,780 square metres (m<sup>2</sup>).
  - i. The replacement of the existing food store may be reduced, subject to the policies of the Official Plan.
- e) Where noted, existing uses and buildings are exempt from certain provisions of this by-law.

### 2.1.2 Permitted Uses

- a) In addition to Permitted Uses listed in Part B, **Table 2-1** identifies uses that are permitted within each of the Bronte Village Zones.
- b) The “●” provided in the table under each zone indicates that the use is permitted.
- c) Some use permissions are discretionary, as noted by the number provided in parentheses. The specific criteria are provided in **Section 2.1.3**.

Table 2-1 Permitted and Discretionary Uses

USE	ZONE						
	BV-RH	BV-RM	BV-MS1	BV-MS2	BV-UC	BV-OS	U
Park and Open Space Uses							
Cemeteries						•	
Conservation Use	•	•	•	•	•	•	•
Park, Private	•	•	•	•		•	•
Park, public	•	•	•	•	•	•	•
Watershed management and flood and erosion hazard control facilities	•	•	•	•	•	•	•
Commercial Uses							
Business office			• (1), (2)	• (1), (2)	• (1), (2)		
Commercial Parking Area			•	•	•		
Commercial school			• (1)	• (1)	• (1)		
Dry cleaning depot			• (1)	• (1)	• (1)		
Dry cleaning/laundry establishment			• (1)	• (1)	• (1)		
Financial institution			• (1)	• (1)	• (1)		
Food production			• (1)	• (1)	• (1)		
Hotel			• (1)	• (1)	• (1)		
Medical office			• (1), (2)	• (1), (2)	• (1), (2)		
Motor Vehicle Rental Facility					•		
Outside display and sales area			• (1)	• (1)	• (1)		
Pet care establishment			• (1)	• (1)	• (1)		
Place of entertainment			• (1)	• (1)	• (1)		



USE	ZONE						
	BV-RH	BV-RM	BV-MS1	BV-MS2	BV-UC	BV-OS	U
Public hall					• (1)		
Rental establishment			• (1)	• (1)	• (1)		
Restaurant			• (1)	• (1)	• (1)		
Retail store			• (1)(3)	• (1)	• (1)		
Retail store, accessory	•						
Service commercial establishment			• (1)(3)	• (1)	• (1)		
Sports facility			• (1)	• (1)	• (1)		
Taxi dispatch			• (1)	• (1)	• (1)		
Veterinary clinic			• (1)	• (1)	• (1)		
Community and Public Service Facility Uses							
Art gallery			• (1)	• (1)	• (1)		
Community centre			•	•	•	•	
Day care	• (4)	• (4)	•	•	•		
Dormitory			• (5)	• (5)	• (5)		
Emergency services facility	•	•	•	•	•	•	
Food bank			• (1)	• (1)	• (1)		
Library			•	•	•		
Major transit station							•
Museum			•	•	•		
Place of worship			•	•	•		
Post secondary school			•	•	•		

USE	ZONE						
	BV-RH	BV-RM	BV-MS1	BV-MS2	BV-UC	BV-OS	U
School, private			•	•	•		
School, public			•	•	•		
<b>Residential Uses</b>							
Additional Residential Unit		• (6)	• (6)	• (6)			
Apartment dwelling	•	•	• (7)	• (7)	• (7)		
Back-to-back townhouse dwelling		•					
Bed and breakfast establishments	• (8)	• (4), (8)	• (8)	• (8)			
Detached dwelling		• (9)	• (9)	• (9)			
Emergency shelter			• (10), (11)	• (10), (11)	• (10), (11)		
Home occupation	•	•	• (4)	• (4)	• (4)		
Long term care facility	•	•	• (7)	• (7)	• (7)		
Private home day care	• (4)	• (4)	• (4)	• (4)	• (4)		
Retirement home	•	•	• (7)	• (7)	• (7)		
Semi-detached dwelling		• (9)	• (9)	• (9)			
Short-term accommodation	• (4)	• (4)	• (4)	• (4)	• (4)		
Stacked townhouse dwelling		•					
Townhouse dwelling		•	•	•			



### 2.1.3 Criteria for Use Permissions associated with Table 2-1

- 1) Shall have a maximum net floor area of 1,400.0 square metres per premises, applying only for the portion of the premises located on the first storey.
- 2) On a lot having lot frontage greater than 20.0 metres (m) uses subject to this footnote are limited to a cumulative maximum width of 50% of the building in the first 9.0 metres of depth of the building on the first storey only, measured in from the main wall oriented toward the front lot line.
- 3) Retail and service commercial uses shall not be permitted adjacent to Sovereign Street.
- 4) A maximum of one of the accessory uses subject to this footnote shall be permitted in a dwelling.
- 5) Only permitted accessory to and on the same lot as a post-secondary school or private school.
- 6) Re: Additional Residential Units
  - i. Attached additional residential units are permitted in the following buildings:
    - a. Detached dwelling;
    - b. Semi-detached dwelling;
    - c. Linked dwelling;
    - d. Townhouse dwelling
  - ii. Detached additional residential units are permitted in the following accessory buildings:
    - a. Accessory building associated to a detached dwelling, semi-detached dwelling, linked dwelling, or townhouse dwelling.
  - iii. The permitted combinations of detached or attached additional residential units shall be as follows:
    - a. A maximum of two (2) attached additional residential units; or,
    - b. A maximum of one (1) attached additional residential unit and one (1) detached additional residential unit.
  - iv. Any entrance and exit to the attached or detached additional residential unit shall not be oriented towards any yard having a dimension less than 1.0 metre.
- 7)
  - i. Prohibited in the first 9.0 metres of depth of the building, measured in from the main wall oriented toward the front lot line, on the first storey.
  - ii. Notwithstanding (i), an ancillary residential use on the first storey is permitted to occupy a maximum of 15% of the length of the main wall oriented toward a front lot line.
- 8) Re: Bed and Breakfast Establishment
  - i. A bed and breakfast establishment is only permitted within a detached dwelling.

- ii. A bed and breakfast establishment shall have a maximum of three lodging units which shall in total not exceed a maximum of 30% of the residential floor area of the residential floor area of the detached dwelling. For the purposes of this subsection, residential floor area shall include all area within a basement.
  - iii. A bed and breakfast shall be operated by the person or persons whose principal residence is the detached dwelling in which the bed and breakfast establishment is located.
- 9) Permitted only where the use legally existed on the lot on the effective date of the By-law.
- 10) Prohibited within a single use building.
- 11) Re: Emergency Shelters
- i. Prohibited on a local road unless it is accessory to a place of worship.
- ii. The maximum number of beds permitted in an emergency shelter is 20.
  - iii. detached dwelling. For the purposes of this subsection, residential floor area shall include all area within a basement.
  - iv. A bed and breakfast shall be operated by the person or persons whose principal residence is the detached dwelling in which the bed and breakfast establishment is located.
- 12) District energy and power generation facilities shall be designed in a way to be compatible with the surrounding existing and proposed land uses subject to site specific assessment in accordance with the provision of the Official Plan.

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## 2.2 Site Layout

Community planning permit applications shall include plans that identify the site layout, including matters such as access to and from the site for pedestrians, cyclists, and vehicles, the placement of buildings on a site, and the provision of uses at the base of buildings. Standards regarding site layout are listed in **Table 2-2** for Mixed Use Zones and **Table 2-2** for Residential Zones. These are augmented by guidance provided in the Town's Urban Design Guidelines, and policies of the Official Plan. Variations from standards are identified in **Section 2.2.8**.

### 2.2.1 Active Frontage and Rights of Way (ROW)

- a) Active frontage shall be provided by properties that front onto the primary streets and secondary streets, as identified in the Official Plan **Schedule P2** Bronte Village Urban Design.
- b) Provisions in **Table 2-2** and **Table 2-3** apply to existing Rights of Way shown on **Schedule P2** of the Official Plan.

### 2.2.2 Mid-block Pedestrian Connections

- a) A mid-block pedestrian connection is shown in the Official Plan, as per **Schedule P2** Bronte Village Urban Design. Additional pedestrian connections may be required as part of development to facilitate through block connections to the waterfront and harbour.
- b) Mid-block connections are established through the approval of community planning permit applications and are formed through the separation of building bases/podiums located within large blocks, or along shared interior lot lines.
- c) Mid-block connections should align with existing or planned active transportation circulation routes.

### 2.2.3 Setbacks from public realm/publicly accessible spaces

- a) Along primary streets and where active frontages are required in **Schedule P2** of the Official Plan, setbacks shall be designed as a seamless, universally accessible hardscaped extension of the public boulevard. This is to support a vibrant, pedestrian-oriented environment.
- b) For properties on streets with a predominantly residential character, or where active frontages are not required, setbacks shall be designed as landscaped forecourts to provide an appropriate transition and enhance the streetscape.
- c) Landscaping includes: the provision and protection of healthy trees, complement the existing natural landscape, incorporate native and non-invasive species.

### 2.2.4 Gateways

- a) Bronte Market Square is a new established urban square located along Lakeshore Road West, as shown on **Schedule P2** of the Official Plan, and forms a key component of the public realm. Development on the remaining phases shall be designed to be compatible and support the public function of the square.
- b) Three gateways are identified on **Schedule P2** of the Official Plan. Redevelopment in these areas shall provide gateway treatments, which should include well designated built form or structure, distinctive

streetscape and landscape treatments, and public art.

- c) Provision of streetscape improvements and gateway features shall be required as part conditions of approval of community planning permit applications.

### 2.2.5 Future Public Realm

- a) The location and configuration of future ROW and public parks identified in approved community planning permits as a condition of community planning permit approval shall be in accordance with the Official Plan, Master Plans, Streetscape Design Plans, and Urban Design Guidelines, as applicable.

### 2.2.6 View Corridor

- a) Views to the lake and harbour from public streets shall be maintained by appropriate built form, as per **Table 2-2** and **Table 2-3**, and through public realm elements as identified in the Livable by Design Manual.

### 2.2.7 Heritage Preservation

- a) Identified heritage properties and mature trees shall be preserved. Redevelopment of lands that contain an identified heritage property should include adaptive reuse of the heritage property.

Table 2-2 Site Layout Statistics for Mixed Use Zones

Development Standard	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
<b>Maximum Front or Flankage Yard</b>	The maximum front and flankage yard shall be 5.0 metres where a dwelling occupies the entire first storey on a lot having lot frontage onto any public road other than Lakeshore Road West, Lakeshore Road East, or Kerr Street.	The maximum front and flankage yard shall be 5.0 metres where a dwelling occupies the entire first storey on a lot having lot frontage onto any public road other than Lakeshore Road West, Lakeshore Road East, or Kerr Street.	The maximum front and flankage yard shall be 5.0 metres where a dwelling occupies the entire first storey on a lot having lot frontage onto any public road other than Lakeshore Road West, Lakeshore Road East, or Kerr Street.		The maximum front yard and maximum flankage yard requirements do not apply when an urban square measuring no less than 300.0 square metres in area and having a minimum length of 10.0 metres is provided along the length of the main wall oriented toward the front or flankage lot line.	

Development Standard	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
<b>Minimum Front Yard</b>	1.0 m	0.0 m	0.0 m	Refer to Livable by Design Urban Design Manual.		Provision of easement to the Town to facilitate improved streetscape and pedestrian amenities.
<b>Minimum Flankage Yard</b>	1.0 m	0.0 m	0.0 m	Refer to Livable by Design Urban Design Manual.		Provision of easement to the Town to facilitate improved streetscape and pedestrian amenities.
<b>Minimum Interior Side Yard</b>	0.0 m	0.0m	0.0 m	Refer to Livable by Design Urban Design Manual.		
If the property is abutting a lot that permits a residential, institutional, or community use:	If the building is 13.5 metres tall or shorter: 7.5 m  If the building is taller than 13.5 metres: 10.0 m	3.0 m	If the building is 13.5 metres tall or shorter: 3.0 m  If the portion of the building, facing the interior side			

Development Standard	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
			yard, is taller than 13.5 metres: 7.5 m			
Minimum Rear Yard	0 m	0 m	0 m	Refer to Livable by Design Urban Design Manual.		
If the property is abutting a lot that permits a residential, institutional, or community use:	If the building is 13.5 metres tall or shorter: 7.5 m	3.0 m	3.0 m			
	If the building is taller than 13.5 metres: 10.0 m					
Minimum Landscaping Width	If the property is abutting a lot that permits a residential, institutional, or community use: 7.5 m	If the property is abutting a lot that permits a residential, institutional, or community use: 3.0 m	If the property is abutting a lot that permits a residential, institutional, or community use: 3.0 m	Refer to Livable by Design Urban Design Manual.		



Development Standard	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
<b>Surface Parking Area Setback (Excluding a Driveway)</b>	From any building or structure: 1.8 m or greater	From any building or structure: 1.8 m or greater	From any building or structure: 1.8 m or greater			
	From any road: 3.0 m or greater	From any road: 3.0 m or greater	From any road: 3.0 m or greater			
	From any interior side lot line or rear lot line: 3.0 m or greater	From any interior side lot line or rear lot line: 3.0 m or greater	From any interior side lot line or rear lot line: 3.0 m or greater			
	From any lot with a residential use: 4.5 m or greater	From any lot with a residential use: 4.5 m or greater	From any lot with a residential use: 4.5 m or greater			
<b>Vehicular Access</b>	Limited	Limited A surface parking area, not including a driveway, shall not be permitted in any yard between a	Limited A surface parking area, not including a driveway, shall not be permitted in any yard between a	Refer to Livable by Design Urban Design Manual.		Minimize access along primary streets and consolidate driveways where possible.

Development Standard	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
		building and Lakeshore Road West.	building and Lakeshore Road West.			
<b>Site, Building Services and Utilities</b>	Not permitted to front	Not permitted to front	Not permitted to front			
<b>Location Of New Transmission Lines, Utility Vaults, Meters, and Similar Infrastructure</b>	Transformer and telecommunications vaults and pads shall not be located between the main wall closest to the flankage lot line and the flankage lot line in a flankage yard or between the main wall closest to the front lot line and the front lot line in a front yard.	Transformer and telecommunications vaults and pads shall not be located between the main wall closest to the flankage lot line and the flankage lot line in a flankage yard or between the main wall closest to the front lot line and the front lot line in a front yard.	Transformer and telecommunications vaults and pads shall not be located between the main wall closest to the flankage lot line and the flankage lot line in a flankage yard or between the main wall closest to the front lot line and the front lot line in a front yard.			

Development Standard	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
<b>Minimum Active At-Grade Uses</b>	Commercial, community, cultural and office uses shall locate at grade for properties that front onto Lakeshore Road West, Bronte Street, or Jone Street, in accordance with <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Commercial, community, cultural and office uses shall locate at grade for properties that front onto Lakeshore Road West, Bronte Street, or Jone Street, in accordance with <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Commercial, community, cultural and office uses shall locate at grade for properties that front onto Lakeshore Road West, Bronte Street, or Jone Street, in accordance with <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Refer to Livable by Design Urban Design Manual.		

Table 2-3 Site Layout Statistics for Residential Zones

Development Standard	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
<b>Minimum Lot Area</b>	Detached dwellings: 270 m <sup>2</sup>	1,486.5 m <sup>2</sup>			
	For a corner lot: 315.0 m <sup>2</sup>				
	Sem-detached dwellings: 450.0 m <sup>2</sup>				
	For a corner lot: 510.0 m <sup>2</sup>				
<b>Minimum Lot Frontage</b>	Detached dwellings 9.0 m	240.0 m			
	For a corner lot: 10.5 m				
	Semi-detached dwellings 15.0 m				
	For a corner lot: 17.0 m				
<b>Minimum Front Yard</b>	Detached dwellings: the yard legally existing on the effective date of this By-law less 1.0 m	6.0 m or greater	Refer to Livable by Design Urban Design Manual.		Provision of easement to the Town to facilitate improved streetscape and pedestrian amenities.

Development Standard	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
	Maximum (for new dwellings on all lots): 5.5 metres greater than the minimum front yard for the applicable lot Semi-detached dwellings: 4.5 m				
<b>Minimum Flankage Yard</b>	3.0 m or greater	3.5 m or greater	Refer to Livable by Design Urban Design Manual.		
	From a daylight triangle: 0.7 m or greater				
<b>Minimum Interior Side Yard</b>	Detached dwellings: 0.6 m	4.5 m	Refer to Livable by Design Urban Design Manual.		
	From another detached dwelling on an abutting lot: 2.4 m				
	Semi-detached dwellings: 1.8 m				
<b>Minimum Rear Yard</b>	6.0 m or greater	6.0 m or greater	Refer to Livable by Design Urban Design Manual.		

Development Standard	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
Minimum Landscaping Coverage	10%	10%	Refer to Livable by Design Urban Design Manual.		
Minimum Landscaping Width	3.0 or greater	If the property is abutting a lot that permits a low or medium-density residential use: 3.0 m	Refer to Livable by Design Urban Design Manual.		
Surface Parking Area Setback (Excluding a Driveway)	From any building or structure: 1.8 m or greater	From any building or structure: 1.8 m or greater	From any building or structure: 1.8 m or greater		
	From any road: 3.0 m or greater	From any road: 3.0 m or greater	From any road: 3.0 m or greater		
	From any interior side lot line or rear lot line: 3.0 m or greater	From any interior side lot line or rear lot line: 3.0 m or greater	From any interior side lot line or rear lot line: 3.0 m or greater		
	From any lot with a residential use: 4.5 m or greater	From any lot with a residential use: 4.5 m or greater	From any lot with a residential use: 4.5 m or greater		
Service and Loading Area	There is no minimum number of loading space, but where a loading space is provided, the minimum	There is no minimum number of loading space, but where a loading space is provided, the minimum	Refer to Livable by Design Urban Design Manual.		Minimize access along primary streets, consolidate driveways where possible.

Development Standard	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
	<p>dimensions of a loading space are 3.5 m in width and 12.0 metres in length, with a minimum clearance of 4.2 m.</p> <p>A loading space shall abut the building for which the loading space is provided.</p> <p>A loading space shall be set back 7.5 m from any Residential Zone, except if it is located entirely within a structure.</p> <p>A loading space is not permitted in any minimum yard, between the main wall closest to the flankage lot line and the flankage lot line in a flankage</p>	<p>dimensions of a loading space are 3.5 m in width and 12.0 metres in length, with a minimum clearance of 4.2 m.</p> <p>A loading space shall abut the building for which the loading space is provided.</p> <p>A loading space shall be set back 7.5 m from any Residential Zone, except if it is located entirely within a structure.</p> <p>A loading space is not permitted in any minimum yard, between the main wall closest to the flankage lot line and the flankage lot line in a flankage yard, nor in any front yard.</p>			



Development Standard	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
	yard, nor in any front yard.				
<b>Site, Building Services and Utilities</b>	Not permitted to front	Not permitted to front			
<b>Minimum Active At-Grade Uses</b>	Commercial, community, cultural and office uses shall locate at grade for properties that front onto parts of Bronte Street, in accordance to <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Commercial, community, cultural and office uses shall locate at grade for properties that front onto parts of Bronte Street, in accordance to <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Refer to Livable by Design Urban Design Manual.		

Development Standard	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
<b>Minimum Active Entrances</b>	Building openings and principal entrances should face the street for properties that front onto Bronte Street, in accordance to <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Building openings and principal entrances should face the street for properties that front onto Bronte Street, in accordance to <b>Schedule P2</b> (Bronte Village Urban Design) of the Official Plan.	Refer to Livable by Design Urban Design Manual.		

### 2.2.8 Criteria and Variation from Standards associated with Table 2-2 and Table 2-3:

- (1) The minimum rear yard or interior side yard may be reduced for an interior side yard or rear yard for the portion of a building base that does not include windows. This provision shall not apply to any yard abutting a public street, park, or open space.
- (2) Limited access, such as consolidated driveway accesses, is permitted to maximize the areas available for landscaping and minimize disruption of the public sidewalk.

- (3) Private surface parking adjacent to a public park or public street is required to be screened to minimize negative visual impact from the public park.
- (4) Active At Grade uses include most of the permitted uses that are located within buildings, with the exception of residential uses.
  - i. The minimum at-grade activation requirement may be modified on a case by-case basis, in accordance with the policies of the Official Plan.

### 2.2.9 Outdoor Amenity and Landscaping

- a) Common outdoor amenity and landscaping may be provided at-grade and on rooftops (per Part B of this by-law).
- b) Any common outdoor amenities located within a yard abutting a public street, park, or other publicly-accessible open space shall be publicly accessible.
- c) Private amenity space shall be appropriately screened for privacy.
- d) Amenity spaces may include green infrastructure to enhance the ecological function of the area, provide climate change mitigation techniques, and assist with the management of stormwater and water-balance.

### 2.2.10 Surface Parking

- a) Surface parking shall only be permitted where:

- i. It is intended for limited visitor parking and/or short-term, temporary parking, including parking for vehicles that are associated with a ride-share program; and
- ii. It is located in the side or rear yard and screened.

### 2.2.11 Lighting

- a) Lighting levels shall be appropriate for the size, character and function of buildings and sites.
- b) Lighting levels and locations shall address the safety and security of persons and property, while also being directed away from the night-sky.
- c) Lighting design and standards shall be in accordance with the Official Plan and Town guidelines.

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## 2.3 Built Form Standards

In addition to Site Layout provisions, the following provides standards and variation from standards for sites and individual building types within the site.

### 2.3.1 Building Height

Standards, variations from standards, exemptions and conditions relate to site density and building

height are provided in **Table 2-4** for Mixed Uses and **Table 2-5** for Residential Uses.

Table 2-4 Building Height for Mixed Use Zones

Built Form	Urban Core (BV-UC)	Main Street 1 (BV-MS1)	Main Street 2 (BV-MS2)	Variation from Standard	Exemption	Condition
Minimum Building Height	25.5 m	7.5 m	13.5 m			
Maximum Building Height	36.0 m	15.0 m	22.0 m			Maintain views of the lake and harbour, in accordance with <b>Schedule P2</b> of the Livable Oakville Official Plan.
Minimum First Storey Height	4.5 m	4.5 m	4.5 m			
Minimum Number of Storeys)	8 storeys	2 storeys	4 storeys			
Maximum Number of Storeys	10 storeys	4 storeys	6 storeys			Maintain views of the lake and harbour, in accordance with <b>Schedule P2</b> of the Livable Oakville Official Plan.  Built form adjacent to low-rise residential areas must provide transition, in accordance with the Livable by Design Urban Design Manual.

Table 2-5 Building Height for Residential Zones

Built Form	Residential Medium Density (BV-RM)	Residential High Density (BV-RH)	Variation from Standard	Exemption	Condition
Maximum Net Floor Area	25.5 m <sup>2</sup>	Not Applicable (N/A)			
Maximum Density	50 dwelling units per hectare	185 dwelling units per hectare			
Maximum Building Height	15.0 m	N/A		The height legally existing on the lot on the effective date of this By-law.	Maintain views of the lake and harbour, in accordance with <b>Schedule P2</b> of the Livable Oakville Official Plan.  Built form adjacent to low-rise residential areas must provide transition, in accordance with the Livable by Design Urban Design Manual.
Maximum Number of Storeys	4 storeys	N/A		The height legally existing on the lot on the effective date of this By-law.	Maintain views of the lake and harbour, in accordance with <b>Schedule P2</b> of the Livable Oakville Official Plan.

### 2.3.2 Parking

- a) Parking shall be provided in accordance with provisions provided in Part D Section 5.
- b) Parking spaces and bicycle parking spaces required by this By-law for non-residential uses shall not be required for a lot in any Mixed Use Zone if the Town enters into an agreement with the landowner respecting the payment of cash-in-lieu for some or all of the parking spaces, bicycle parking spaces,

aisles, or driveways required, in accordance with Section 40 of the *Planning Act*.

#### 2.3.2.1 Parking Rates

- a) Parking Rates are as provided in **Table 2-6**.
- b) Long Term bicycle parking is provided in secure covered facilities, generally interior to the building.
- c) Short Term bicycle parking is provided in highly accessible and visible locations with opportunities to self-secure the bicycle.

Table 2-6 Parking Rates

Bronte Village Zone Standard	All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
<b>Motor Vehicle Parking Spaces (Minimum)</b>					
<b>Parks and Open Space Uses</b>					
<b>Cemeteries</b>	N/A	N/A			
<b>Conservation Use; Park, private; Park, public</b>	No minimum requirement.	No minimum requirement.			
<b>Commercial Uses</b>					
<b>Business office; Commercial Parking Area; Commercial school; Dry cleaning depot; Dry cleaning/laundry establishment; Financial institution; Food production; Medical office; Motor Vehicle Rental Facility;</b>	1.0 per 40.0 m <sup>2</sup> net floor area	N/A	Permitted subject to the provision of a Transportation Demand Management Plan to the satisfaction of the Town.		

Bronte Village Zone Standard	All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
Outside display and sales area; Pet care establishment; Place of entertainment; Rental establishment; Restaurant; Retail store; Retail store, accessory and showroom; Service commercial establishment; Sports facility; Taxi dispatch; Veterinary clinic					
Hotel	1.0 per lodging unit; plus, 1.0 per 40.0 m <sup>2</sup> net floor area outside of a lodging unit	N/A			
Public hall	1.0 per 20.0 m <sup>2</sup> net floor area	N/A			
<b>Community and Public Service Facility Uses</b>					
Art gallery; Food bank; Library; Museum; Place of worship; Post secondary school; School, private; School, public;	1.0 per 40.0 m <sup>2</sup> net floor area	N/A	Permitted subject to the provision of a Transportation Demand Management		



Bronte Village Zone Standard	All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
Community centre	1.0 per 40.0 m <sup>2</sup> net floor area	N/A	Plan to the satisfaction of the Town.		
Day care	1.0 per 40.0 m <sup>2</sup> net floor area	1.0 per 40.0 m <sup>2</sup> net floor area			
Emergency services facility	No minimum requirement.	No minimum requirement.			
Residential Uses					
Additional Residential Unit	1.0 addition-al parking space	1.0 addition-al parking space	Permitted subject to the provision of a Transportation Demand Management Plan to the satisfaction of the Town.		
Apartment dwelling	1.0 per dwelling where the unit has less than 75.0 m <sup>2</sup> net floor area; 1.25 per dwelling for all other units (1)(2a)(3).	1.0 per dwelling where the unit has less than 75.0 m <sup>2</sup> net floor area; 1.25 per dwelling for all other units (1)(2a)(3).			
Back-to-back townhouse dwelling	N/A	2.0 per dwelling			
Bed and breakfast establishments	1.0 addition-al parking space per lodging unit	1.0 addition-al parking space per lodging unit			
Detached dwelling; Semi-detached dwelling	2.0 per dwelling	2.0 per dwelling			
Dormitory	No minimum requirement.	N/A			
Emergency shelter	1.0 per 4.0 beds	N/A			

Bronte Village Zone Standard		All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
Home occupation; Private home day care		No minimum requirement.	No minimum requirement.			
Long term care facility		0.25 per bed	0.25 per bed			
Multiple attached dwellings		N/A	1.5 per dwelling (1)(2)			
Retirement home		0.33 per assisted living unit and dwelling unit	0.33 per assisted living unit and dwelling unit			
Short-term accommodation		1.0 addition-al parking space (4)	1.0 addition-al parking space (4)			
Stacked townhouse dwelling		N/A	1.5 per dwelling (1)(3)			
Townhouse dwelling		1.5 per dwelling (5)(2)	2.0 per dwelling (1)(2)			
Barrier Free Parking (Minimum Proportion)						
Total Number of Parking Spaces in all Parking Areas on the Lot	3 to 25	1 (visitor)	1 (visitor)	Permitted subject to the provision of a Transportation Demand Management Plan to the satisfaction of the Town.	Parking for Residential (non-visitor).	
	26 to 100	4% of total	4% of total visitor			
	101 to 200	1, + 3 % of total	1, + 3 % of total visitor			
	201 to 1,000	2, + 2% of total	2, + 2% of total visitor			
	1,001 and over	11, + 1% of total	11, + 1% of total visitor			

Bronte Village Zone Standard	All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
<b>Visitor Parking (Minimum Proportion)</b>					
<b>Minimum Proportion of all Residential Spaces</b>	15% of all Residential Parking	15% of all Residential Parking	Permitted subject to the provision of a Transportation Demand Management Plan to the satisfaction of the Town.		Visitor parking spaces are identified on plans.
<b>Electric Vehicle Parking Spaces (Minimum Proportion)</b>					
<b>Minimum Proportion of All Residential Parking Spaces</b>	25% of all residential parking spaces provided with Level 2 EV power outlet	25% of all residential parking spaces provided with Level 2 EV power outlet	Permitted subject to an alternative strategy that demonstrates residents of the building with EVs have access to charger.	Visitor parking spaces.	EV charger locations are identified on plans.
<b>Minimum Proportion of all Office Spaces</b>	1% of all with Level 2 EV power outlet	N/A	Permitted subject to an alternative strategy that demonstrates residents of the building with EVs have access to charger.		EV charger locations are identified on plans.

Bronte Village Zone Standard	All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
<b>Minimum Bicycle Parking (Minimum Proportion)</b>					
<b>Commercial Uses</b>					
<b>Business office (3); Medical office; Retail store; All other uses permitted in a zone under the heading Service Commercial Uses</b>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> net floor area	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> net floor area			Identified on plans and located conveniently near building entrances and integrated with the broader cycling network.
<b>Community and Public Service Facility Uses</b>					
<b>Art gallery</b>	The greater of 2 or 1.0 per 1,000.0 m <sup>2</sup> net floor area	N/A			Identified on plans and located conveniently near building entrances and integrated with the broader cycling network.
<b>Post-secondary school</b>	The greater of 3 or 2.0 per 100.0 m <sup>2</sup> of net floor area	N/A			
<b>School, private; School, public</b>	For elementary schools, 0.25 per classroom, not including any portables; For secondary schools, 0.5 per classroom, not	N/A			

Bronte Village Zone Standard	All Mixed Use Zones	All Other Zones	Variation from Standard	Exemption	Condition
	including any portables.				
All other uses permitted in a zone under the heading Institutional and Community Uses	The greater of 2 or 1.0 per 500.0 m <sup>2</sup> of net floor area	The greater of 2 or 1.0 per 500.0 m <sup>2</sup> of net floor area			
Residential Uses					
Apartment dwelling	1.0 per dwelling (1)(2)	1.0 per dwelling (1)(2)			Identified on plans and located conveniently near building entrances and integrated with the broader cycling network.
Dormitory	1.0 per lodging unit (1)(2)	N/A			
Long term care facility	The lesser of 5 or 0.25 per assisted living unit or dwelling unit (1)	The lesser of 5 or 0.25 per assisted living unit or dwelling unit (1)			

### 2.3.2.2 Criteria for Motor Vehicle Parking

- 1) Of the total number of parking spaces required, 0.25 of the parking spaces required per dwelling shall be designated as visitors parking spaces
- 2)
  - a) The location of visitors parking spaces shall be in accordance with Section 5.8.
  - b) The visitors parking spaces for a multiple or townhouse dwelling shall only be required in a condominium and shall be located on a parcel of land tied to a common element condominium.
- 3) A minimum of 50% of the minimum parking spaces shall be provided within a private garage, carport, or parking structure.
- 4) An additional parking space is not required when the additional parking can be accommodated in an existing visitor parking space.
- 5) Where a minimum of 5 parking spaces is required on a lot of the total number of parking spaces required, 0.2 of the parking spaces required per dwelling shall be designated as visitors parking spaces.

### 2.3.2.3 Criteria for Bicycle Parking

- a) In no circumstance shall the number of minimum bicycle parking spaces required on a lot be greater than 30.
- 1) A maximum of one of the accessory uses subject In a building having fewer than 20 assisted living units or dwelling units, the minimum number of bicycle parking spaces required shall be zero.
- 2) Of the total number of bicycle parking spaces required, 0.25 of the bicycle parking spaces required per dwelling shall be designated as visitors bicycle parking spaces 3.

### 2.3.2.4 Parking Structures

- a) Development shall provide structured parking, preferably below-grade.
- b) Notwithstanding (a), above-grade structured parking is permitted subject to the following:
  - i. should be designed with the flexibility to be repurposed for other uses, such as commercial, office and/or residential, as parking demand decreases over time due to shifts toward transit and active transportation.
  - ii. On a corner lot, a driveway providing access to a parking structure that crosses a flankage lot line shall be set back a minimum of 9.0 metres from

- the main wall of the parking structure oriented toward the front lot line.
- iii. The minimum first storey height of **Table 2-4 Building Height for Mixed Use Zones** shall not apply for those parts of the first storey of a parking structure solely occupied by parking area.

## 2.4 Community Benefits

### 2.4.1 Community Benefits in Exchange for Permitted Building Height

As a condition of approval, all community planning permit applications shall provide community benefit(s) that is otherwise gained through the implementation of the Town's community benefits charge by-law.

### 2.4.2 Maximum Building Height

The permitted height shall not exceed the maximum building height as identified in **Table 2-4** and **Table 2-5** of this Bylaw.

### 2.4.3 Eligible Benefits

- a) Eligible benefits are listed in Section 30 Implementation of the Official Plan.
- b) A decision to accept a benefit that is not explicitly listed in the Official Plan requires the approval of Council.
- c) A single type of benefit or more than one type of benefit may be provided, subject to the total benefits being in equivalent to the community benefit(s) that is otherwise gained through the implementation of the Town's community benefits charge by-law.
- d) Eligible sustainable building initiatives include, but are not limited to:
  - i. Improvements to building and site conditions beyond Ontario Building Code requirements in order to:

- Achieve Leadership in Energy and Environment Design (LEED) or similar certification;
  - Provide bird-friendly design strategies
  - Provide cooling roof material
  - Provide glazing ratio that results in higher energy efficiency rates
  - Integrate on-site renewable electricity/energy production (i.e. solar panels, geothermal energy)
  - Reduce embodied carbon energy in building materials (e.g. reuse material,
  - use lower-carbon material including encapsulated mass timber construction,
  - sourcing materials locally)
  - Target net-zero energy use and emissions
- ii. Provision of:
- Green or blue roof
  - Solar capture equipment
  - Urban tolerant trees and other vegetation to provide shade and additional tree canopy, beyond Town standards
  - On-site low impact development techniques beyond Town standards

- e) Eligible public art is required to be provided in strategic locations that are accessible to the public, create view termini as well as animate the public realm. The installation may be informed by Town guidelines and strategies.
- f) Other eligible benefits may include:
  - Preservation and adaptive reuse of heritage properties
  - Enhancing pedestrian connections to the lake and harbour
  - Preservation of mature trees
  - Enhancing streetscapes and gateways.

#### 2.4.4 Prioritization of benefit

- a) Benefits provided in exchange for the permitted building height are prioritized as follows:

**First Priority: Location** – the benefit is provided on development site.

**Second Priority: Timing** – the benefit may be provided concurrent with the proposed development.

**Third Priority: Funding** – the benefit provided is not funded or underfunded by the Town.

#### 2.4.5 Acknowledgement of Benefit Exchanges that pre-date this by-law

- a) A change in the proposed building height annuls this agreement through the processing of a new community planning permit agreement.

#### 2.4.6 Bronte Village Reserve Fund

- a) Any cash received in exchange for Community Benefits shall be placed in a reserve fund to provide the community benefit at a later date.

#### 2.4.7 Agreements

- a) The applicant shall enter into Agreements with the Town regarding the provision of community benefits for reasons such as:
  - i. The proposed benefit will be provided off-site
  - ii. The proposed benefit will be provided on-site, within the proposed development.
  - iii. The proposed benefit requires reciprocal agreements between the land owner and the Town; or
  - iv. The proposed benefit is providing affordable housing which must be maintained affordable in perpetuity or for a period of time.



## 2.5 Site-Specific Special Provisions

The following site-specific special provisions are carried forward from former Town of Oakville Zoning By-laws 2014-014 which are repealed by this By-law. These provisions have been retained to ensure a seamless transition and to recognize permissions applicable to specific properties at the time of this By-law's passing. Any references herein to former zone categories, schedules, or mapping from a repealed by-law are included for contextual and transitional purposes only and are intended to be updated through a future administrative amendment to this By-law.

All special provisions are subject to future review by the Town. This review will assess the continued relevance of each provision, particularly for sites with active development approvals or those subject to phased construction. Through this analysis, provisions may be amended or removed. As part of a future update, the Town may also consider the introduction of sunset clauses to establish a time limit for certain permissions to be acted upon.

### 2.5.1 Special Provision 14

#### **2441 Lakeshore Road West (Bronte Village Mall Redevelopment) (Part of Lots 29 and 30, Concession 3 S.D.S.)**

**Parent Zones:** MU4, O1

**Map:** Schedule E 2.1

##### 2.5.1.1 Zone Provisions for the Urban Core (MU4) Zone

The following regulations apply to all lands in the Urban Core (MU4) Zone under this provision:

- a) Maximum combined number of dwelling units and assisted living units: 570
- b) Maximum lot coverage: 55%
- c) Minimum below grade setbacks: 0.0 m
- d) Minimum landscaping coverage: 15%
- e) Minimum width of private internal driveways: 6.0 m
- f) Prohibition of first-storey dwelling units, does not apply to any premises or dwelling unit oriented toward Sovereign Street.
- g) Motor vehicle access is permitted only from Bronte Road and Jones Street. However, one driveway from Lakeshore Road and Sovereign Street is permitted until Blocks 3A and 3B are redeveloped.
- h) Height is to be measured from the finished floor level at grade.
- i) The maximum projection for stairs, porches, balconies, at-grade terraces, cornices, pilasters, or bay windows into a front or flankage yard is up to 0.5 metres from the lot line.

- j) Awnings, canopies, similar weather-shielding structures, and patios may project up to the lot line.
- k) Stairs and air vents for parking structures are permitted in any yard.

#### 2.5.1.2 Parking Provisions for the Urban Core (MU4) Zone

- 1) Required parking may be provided within any of the blocks subject to this provision and within a below-grade parking structure on lands in the Park (O1) Zone.
- 2) Minimum number of parking spaces for residential uses: 1.45 per unit
- 3) Minimum number of visitor parking spaces for residential uses: 0.25 per unit
- 4) Visitor parking for residential uses may count towards required parking for retail and/or office uses.
- 5) Visitor parking for residential uses may be provided in a parking structure, surface parking area, or adjacent to a private internal driveway.
- 6) Minimum number of parking spaces for office uses: 1.0 per 31.0 m<sup>2</sup> of net floor area
- 7) Minimum number of parking spaces for commercial uses: 1.0 per 25.0 m<sup>2</sup> of net floor area
- 8) Surface parking is not permitted in any yard between a building and a public road and shall have a maximum surface parking area coverage of 20%.

#### 2.5.1.3 Additional Permitted Uses for Block 1A and 1B

- 1) Multiple-attached dwelling units and/or stacked townhouse units that share a common wall with an apartment dwelling, and/or mixed-use buildings, and/or another multiple-attached dwelling.

#### 2.5.1.4 Zone Provisions for Block 1A and 1B Lands

- 2) Minimum yard from Bronte Road: 1.5 m
- 3) Minimum yard from Sovereign Street: 3.5 m
- 4) Minimum yard along any lot line abutting lands in the Main Street 1 (MU1) Zone: 0.0 m
- 5) Maximum area per premises (first storey):
- 6) Business office or medical office: 200.0 m<sup>2</sup>
- 7) Restaurant: 500.0 m<sup>2</sup>
- 8) Any other permitted use: 300.0 m<sup>2</sup>
- 9) Maximum height (Block 1A): 48.0 m
- 10) Maximum number of storeys (Block 1A): 14
- 11) Maximum height (Block 1B): 12.0 m
- 12) Maximum number of storeys (Block 1B): 4
- 13) Minimum building setbacks from Sovereign Street: 4.0 m from the main wall of the fourth floor (for fifth to tenth floor) and 4.0 m from the main wall of the tenth floor (for eleventh floor and above).
- 14) Minimum building setbacks from Bronte Road: 1.5 m from the main wall of the fourth floor (for fifth floor and above).
- 15) Minimum setback for rooftop mechanical penthouse/enclosures (exceeding 2.0 m in height and not screened): 6.0 m from all roof edges.
- 16) Minimum separation distance between buildings: 20.0 m (Blocks 1A and 2), 16.0 m (Blocks 1B and 2).

#### 2.5.1.5 Zone Provisions for Block 2 Lands

- 1) Minimum yard abutting Sovereign Street: 3.5 m
- 2) Minimum yard from an urban square or lot line abutting O1 Zone: 0.0 m
- 3) Maximum area per premises (first storey):
  - i. Business office or medical office: 200.0 m<sup>2</sup>

- ii. Restaurant: 500.0 m<sup>2</sup>
- iii. Any other permitted use: 300.0 m<sup>2</sup>
- 4) Maximum height: 35.0 m
- 5) Maximum number of storeys: 10
- 6) Minimum building setbacks from Sovereign Street: various setbacks required at the third, fifth, and tenth storeys.
- 7) Minimum building setbacks from the south main wall abutting an urban square: various setbacks required at the third, fifth, and eighth storeys.
- 8) Minimum setback for rooftop mechanical penthouse/enclosures (exceeding 2.0 m in height and not screened): 6.0 m from all roof edges.
- 9) Minimum separation distance to buildings: 20.0 m (Block 1A), 16.0 m (Block 1B).
- 10) Where commercial uses are at grade, a main entrance must be oriented toward an urban square.
- 11) A courtyard facing Sovereign Street is required with a minimum length of 15.0 m and minimum area of 330.0 m<sup>2</sup>.
- 12) (Provisions for Blocks 3A, 3B, and 4 continue on subsequent pages)

#### 2.5.1.6 Zone Provisions for Blocks 3A and 3B prior to Redevelopment

- 1) Maximum net floor area for a retail store where the primary good sold is food: 3,700 m<sup>2</sup>
- 2) Maximum net floor area for other commercial uses: 1,200 m<sup>2</sup>
- 3) Minimum yard from Sovereign Street: 9.0 m
- 4) Minimum yard from Sovereign Street for a wall which screens a loading area: 2.5 m

- 5) Minimum height of a wall to screen a loading area: 3.0 m
- 6) Minimum yard from Jones Street: 0.0 m
- 7) Minimum yard from Lakeshore Road West: 35.0 m

#### 2.5.1.7 Parking Provisions for Blocks 3A and 3B prior to Redevelopment

- 1) Minimum number of parking spaces: 1.0 per 25.0 m<sup>2</sup> net floor area
- 2) Surface parking shall be permitted within any yard between a building and any public road except Sovereign Street.
- 3) Loading and servicing areas may be visible from Jones Street, but must be screened from public view along Sovereign Street.

#### 2.5.1.8 Additional Zone Provisions for Block 3A as Redevelopment Occurs

- 1) Minimum yard from Sovereign Street: 3.5 m
- 2) Maximum yard from to Sovereign Street: 5.0 m
- 3) Minimum yard along a lot line abutting lands in the Park (O1) Zone: 0.0 m
- 4) Minimum yard from Jones Street: 0.0 m
- 5) Minimum setback of a main wall to Block 3B: 30.0 m
- 6) Minimum height: 8.0 m
- 7) Minimum number of storeys: 2
- 8) Maximum height: 15.0 m
- 9) Maximum number of storeys: 4

#### 2.5.1.9 Additional Zone Provisions for Block 3B as Redevelopment Occurs

- 1) Minimum yard from an urban square, from Block 3B, along any lot line: 0.0 m
- 2) Minimum yard from an urban square and along any lot line: 2.0 m
- 3) Minimum net floor area for a retail store where the primary good sold is food: 1,500.0 m<sup>2</sup>
- 4) Maximum net floor area for a retail store where the primary good sold is food: 4,000.0 m<sup>2</sup>
- 5) Maximum floor area for a retail store or restaurant on the first storey: 500.0 m<sup>2</sup>
- 6) Maximum floor area for any other permitted use on the first storey: 1,500.0 m<sup>2</sup>
- 7) Minimum building height for structures facing Lakeshore Road West: 8.0 m
- 8) Minimum number of storeys for structures facing Lakeshore Road West: 2
- 9) Maximum building height for structures facing Lakeshore Road West: 15.0 m
- 10) Maximum number of storeys for structures facing Lakeshore Road West: 4
- 11) Minimum setback from all roof edges for rooftop mechanical penthouse and enclosures which exceed 2.0 metres in height and are not screened by an extension of a building façade: 6.0 m

#### 2.5.1.10 Only Permitted Uses for Lands in the Park (O1) Zone

- 1) A below-grade parking structure for uses on all lands subject to this Special Provision.

- 2) A private internal driveway.
- 3) Patios for uses on all lands subject to this Special Provision.
- 4) Urban square fronting onto Lakeshore Road West.

#### 2.5.1.11 Additional Provisions for Block 4 Lands

- 5) Minimum yard, all yards: 0.0 m

#### 2.5.1.12 Special Site Provisions

- 1) Neither the severance of the land nor the registration of a condominium will render the land or the use thereof non-conforming, provided the entire site complies with the requirements of this By-law and required parking remains accessible to corresponding uses.
- 2) For the purposes of this Special Provision, “Redevelopment/Redeveloped” is defined to not include either an expansion or addition to an existing commercial building.
- 3) For the purposes of this Special Provision, the definition of “Stacked Townhouse Dwelling” shall include an end unit containing a single dwelling unit attached to the building that is divided vertically.
- 4) Maximum net floor area for a retail store where the primary good sold is food: 3,700 m<sup>2</sup>

### 2.5.2 Special Provision 24

2221 Lakeshore Road West and 117 East Street (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** MU1

**Map:** Schedule E 2.1

#### 2.5.2.1 Zone Provisions

- 1) Maximum number of storeys: 2
- 2) Maximum height: 8.2 m

#### 2.5.3 Special Provision 79

2311 Ontario Street (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RH

**Map:** Schedule E 2.1

#### 2.5.3.1 Zone Provisions

- 1) Maximum lot coverage: 501.7 m<sup>2</sup>
- 2) Minimum rear yard: 21.5 m
- 3) Minimum landscaping coverage: 1,282.0 m<sup>2</sup>

#### 2.5.4 Special Provision 81

77 Nelson Street (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RM1

**Map:** Schedule E 2.1

#### 2.5.4.1 Zone Provisions

- 1) Minimum front yard: 9.0 m
- 2) Minimum side yards: 4.5 m
- 3) Minimum rear yard: 12.0 m
- 4) Minimum landscaping coverage: 24%

#### 2.5.5 Special Provision 89

50 Nelson Street (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RM4

**Map:** Schedule E 2.1

#### 2.5.5.1 Zone Provisions

- 1) Minimum front yard: 7.5 m
- 2) Minimum flankage yard: 6.4 m
- 3) Minimum interior side yard: 6.4 m
- 4) Minimum rear yard: 7.3 m
- 5) Minimum landscaping coverage: 34%

#### 2.5.6 Special Provision 91

36 East Street (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RH

**Map:** Schedule E 2.1

#### 2.5.6.1 Zone Provisions

- 1) Minimum front yard (East Street): 24.0 m
- 2) Minimum flankage yard: 7.5 m
- 3) Minimum interior side yard: 7.5 m
- 4) Minimum rear yard: 50.0 m
- 5) Minimum landscaping coverage: 72%

#### 2.5.7 Special Provision 101

125-129 Jones Street (Lots 158 and 159, Plan M-7)

**Parent Zone:** MU1

**Map:** Schedule E 2.1

#### 2.5.7.1 Zone Provisions

Maximum front yard: 3.5 m for buildings legally existing on the by-law's effective date.

#### 2.5.7.2 Parking Provisions

For uses and buildings legally existing on the by-law's effective date:

- a) Minimum number of parking spaces: 8
- b) Minimum joint driveway width: As legally existing on the effective date.
- c) The minimum width of landscaping adjacent to parking areas abutting the side lot line shall not apply.

#### 2.5.7.3 Special Site Provisions

- 1) All lands under this provision are considered one lot.
- 2) Any new floor area added after the effective date is subject to parent zone regulations.

### 2.5.8 Special Provision 106

2326-2330 Marine Drive (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** ED

**Map:** Schedule E 2.1

#### 2.5.8.1 Only Permitted Uses

All uses permitted in the Residential Low (RL6) Zone.

#### 2.5.8.2 Zone Provisions

- 1) Minimum lot area: 334.4 m<sup>2</sup>
- 2) Minimum lot frontage: 10.9 m
- 3) Minimum front yard: 5.4 m
- 4) Minimum interior side yards: 1.8 m and 1.2 m
- 5) Minimum rear yard: 11.8 m
- 6) Maximum lot coverage: 30%
- 7) Maximum number of storeys: 2

### 2.5.9 Special Provision 113

Block bounded by Nelson Street, Jones Street, Ontario Street, and Marine Drive (Part of Lot 29, Concession 4 S.D.S.)

**Parent Zone:** RL9

**Map:** Schedule E 2.1

#### 2.5.9.1 Zone Provisions

- 1) Minimum front yard: 5.5 m
- 2) Minimum side yard: 1.2 m
- 3) Minimum rear yard for semi-detached dwellings: 9.1 m
- 4) Maximum height: 12.0 m
- 5) Maximum lot coverage: 30%

### 2.5.10 Special Provision 137

2295-2303 Marine Drive (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RM1

**Map:** Schedule E 2.1

**2.5.10.1 Zone Provisions for Block 1 Lands**

- 1) Minimum front yard (Marine Drive): 7.5 m
- 2) Minimum side yard: 0.0 m
- 3) Minimum rear yard (from internal private road): 7.5 m

**2.5.10.2 Zone Provisions for Block 2 Lands**

- 1) Minimum front yard (from internal private road): 7.5 m
- 2) Minimum interior side yard, south side: 0.0 m
- 3) Minimum side yard (from internal private road): 6.0 m
- 4) Minimum rear yard: 0.0 m

**2.5.10.3 Zone Provisions for Block 3 Lands**

- 1) Minimum front yard (from internal private road): 7.5 m
- 2) Minimum interior side yard abutting Lots 56 and 62 of Plan M-8: 0.0 m
- 3) Minimum interior side yard abutting private recreational space: 1.2 m
- 4) Minimum interior side yard for all other lots: 0.0 m
- 5) Minimum rear yard: 7.5 m

**2.5.11 Special Provision 140**

2353 Marine Drive (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RM1

**Map:** Schedule E 2.1

**2.5.11.1 Zone Provisions**

- 1) Minimum lot frontage: 23.0 m
- 2) Minimum frontage for each unit on the private road: 6.0 m
- 3) Minimum front yard: 11.6 m

- 4) Minimum easterly side yard: 3.0 m
- 5) Minimum westerly side yard: 7.5 m
- 6) Minimum rear yard: 4.8 m

**2.5.12 Special Provision 141**

37, 39, 41, 43 Nelson Street and 2314, 2318, and 2322 Marine Drive (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RM1

**Map:** Schedule E 2.1

**2.5.12.1 Zone Provisions for Block 1 Lands**

- 1) Minimum lot frontage (Nelson Street): 28.0 m
- 2) Minimum lot area per unit: 260.0 m<sup>2</sup>
- 3) Minimum front yard (Nelson Street): 7.5 m
- 4) Minimum interior side yard: 2.8 m
- 5) Minimum rear yard: 10.0 m

**2.5.12.2 15.141.2 Zone Provisions for Block 2 Lands**

- 1) Minimum lot frontage (Marine Drive): 68.0 m
- 2) Minimum lot area: 0.5 ha
- 3) Minimum interior side yard for a distance of 40.0 m from Marine Drive: 6.75 m
- 4) Minimum rear yard: 6.75 m
- 5) Minimum separation distance between buildings: 19.0 m

**2.5.13 Special Provision 142**

2511 and 2521 Lakeshore Road West (Part of Lot 30, Concession 4 S.D.S.)



**Parent Zone:** RH**Map:** Schedule E 2.1**2.5.13.1 Zone Provisions**

- 1) Minimum lot area: 1.0 ha
- 2) Minimum lot frontage: 47.0 m
- 3) Minimum front yard: 7.9 m
- 4) Minimum interior side yard, east side: 15.0 m (and 9.0 m within 35.1 m of the northeast corner).
- 5) Minimum setback from the stable top of bank: 7.5 m.

**2.5.14 Special Provision 152**

2331-2333 Ontario Street and 35 Nelson Street (Part of Lot 28, Concession 4 S.D.S.)

**Parent Zone:** RM1**Map:** Schedule E 2.1**2.5.14.1 Zone Provisions for Block 1 Lands**

- 1) Minimum front yard: 0.12 m
- 2) Minimum front yard for a private garage: 2.0 m
- 3) Minimum flankage yard: 2.0 m
- 4) Minimum rear yard: 6.0 m

**2.5.14.2 Zone Provisions for Block 2 Lands**

- 1) Minimum front yard: 5.0 m
- 2) Minimum front yard for a private garage: 5.0 m
- 3) Minimum rear yard: 6.0 m

**2.5.14.3 Zone Provisions for Block 3 Lands**

- 4) Minimum rear yard: 7.5m

**2.5.15 Special Provision 272**

114-126 and 117 Nelson Street (Part of Lots 28 and 29, Concession 3 S.D.S.)

**Parent Zone:** RM1**Map:** Schedule E 2.1**2.5.15.1 Zone Provisions**

- 1) Minimum front yard west of Nelson Street: 3.0 m
- 2) Maximum height: 14.0 m
- 3) Minimum width of landscaping abutting the northernmost lot line east of Nelson Street: 1.5 m

**2.5.16 Special Provision 279**

127-133 Nelson Street (Part of Lot 28, Concession 3 S.D.S.)

**Parent Zone:** RM1**Map:** Schedule E 2.1**2.5.16.1 Zone Provisions**

- 1) Minimum front yard: 2.8 m
- 2) Minimum flankage yard: 2.0 m
- 3) Maximum number of storeys: 4
- 4) Maximum height: 12.6 m
- 5) Minimum landscaping coverage: Zero

**2.5.17 Special Provision 286**

11 Bronte Road, 2401-2411 Ontario Street, and 56 Jones Street (Part of Lot 29, Concession 4 S.D.S.)



**Parent Zone:** MU4**Map:** Schedule E 2.1**2.5.17.1 Additional Permitted Uses**

- 1) Detached dwellings, Townhouse dwellings, Semi-detached dwellings.
- 2) A bed and breakfast establishment (only within a heritage designated building).
- 3) Live-work dwelling (only within 7.5 m of the lot line abutting Ontario Street).

**2.5.17.2 Only Permitted Uses**

The only use permitted on lands identified as Block 1 on Figure 15.286.1 is a private park.

**2.5.17.3 Zone Provisions**

- 1) Minimum lot area: 8,100.0 m<sup>2</sup>
- 2) Minimum lot frontage: 48.0 m
- 3) Maximum lot coverage: 60%
- 4) Maximum number of storeys: 10 (apartment), 3 (townhouse).
- 5) Maximum height: 36.5 m (apartment), 10.0 m (townhouse).
- 6) Minimum front yard (Ontario Street): 1.3 m
- 7) Minimum side yard: 0.0 m
- 8) Minimum rear yard: 3.0 m (abutting a lot with frontage on Bronte Road), 6.0 m (abutting a lot with frontage on Marine Drive).
- 9) Minimum separation distance between a heritage building and any other non-heritage building: 8.5 m
- 10) Minimum landscaping coverage: 30%

- 11) Minimum number of parking spaces for commercial uses: 0

**2.5.17.4 Zone Provisions for Rooftop Structures and Amenities**

- 1) Maximum rooftop projection for a parapet and railing: 1.2 m
- 2) Maximum rooftop projection for a stair tower: 3.2 m
- 3) Maximum rooftop projection for a pool deck: 1.5 m
- 4) Maximum projection beyond the pool deck for a fence: 1.8 m
- 5) Maximum area for a rooftop mechanical equipment room: 100.0 m<sup>2</sup>
- 6) Minimum setback from the westerly roof edge for a rooftop mechanical equipment room: 1.0 m
- 7) Minimum setback from all other roof edges for a rooftop mechanical equipment room: 4.0 m
- 8) Maximum area for a combined rooftop mechanical equipment room and amenity room: 300.0 m<sup>2</sup>, of which a maximum 200.0 m<sup>2</sup> shall be occupied by the amenity room
- 9) Minimum setback from the Jones Street roof edge for a combined rooftop mechanical equipment room and amenity room: 11.0 m
- 10) Minimum setback from all other roof edges for a combined rooftop mechanical equipment room and amenity room: 4.0 m

**2.5.17.5 Special Site Provisions**

- 1) Height shall be measured from the average grade along the front wall facing Bronte Road for the apartment

dwellings, and the average grade along the front wall for the townhouse dwellings.

- 2) All lands identified as subject to this Special Provision shall be considered to be one lot for the purposes of this By-law.

### 2.5.18 Special Provision 287

140-160 Bronte Road (Part of Lot 30, Concession 4 S.D.S.)

**Parent Zone:** RM4

**Map:** Schedule E 2.1

#### 2.5.18.1 Zone Provisions

- 1) Maximum dwelling units: 17
- 2) Maximum assisted living units: 122
- 3) Minimum front yard: 2.0 m
- 4) Minimum interior side yard, south side: 2.4 m (exclusive of air ventilation shafts).
- 5) Minimum interior side yard, north side: 2.1 m (for building portion  $\leq$  9.2 m in height), 4.1 m (for building portion  $>$  9.2 m in height).
- 6) Minimum rear yard: 0.0 m
- 7) Maximum lot coverage: 65%
- 8) Maximum number of storeys: 8 (with an increase to 31.0 m height for the portion set back 30.0 m from the north lot line).
- 9) Maximum height: 23.0 m
- 10) Maximum floor space index: 3.4
- 11) Minimum personal recreational space: 3.5 m<sup>2</sup> per dwelling unit and assisted living unit, all of which may be provided on a rooftop or other common areas

- 12) Minimum setback for rooftop mechanical equipment not wholly enclosed by an architectural feature: 4.0 m

#### 2.5.18.2 Parking Provisions

- 1) Minimum number of parking spaces: 72 (all to be provided below grade).

### 2.5.19 Special Provision 324

39-43 Jones Street and 2389 Ontario Street (Part of Lot 29, Concession 4 S.D.S.)

**Parent Zone:** RM1

**Map:** Schedule E 2.1

#### 2.5.19.1 Additional Permitted Uses

Detached dwellings

#### 2.5.19.2 Zone Provisions

- 1) Minimum and maximum front yard: 3.5 m
- 2) Minimum interior side yards: 2.4 m and 1.2 m (reducible to 1.2 m on both sides if an attached garage is provided).
- 3) Maximum height: 12.0 m
- 4) Maximum number of storeys: 3
- 5) Maximum lot coverage: 37%
- 6) A detached private garage is permitted in a rear yard.

### 2.5.20 Special Provision 381

2286, 2296 & 2298 Sovereign Street and 124, 126 & 128 East Street (Lots 195-200, Registered Plan M-7)

**Parent Zone:** RM1**Map:** Schedule E 2.1**2.5.20.1 Zone Provisions for All Lands**

- 1) Maximum dwelling units: 19
- 2) Minimum dwelling units: 12
- 3) Maximum private garage depth: 9.0 m
- 4) A rooftop terrace is permitted on the roof of the first storey.
- 5) Various regulations regarding building height articulation, access to rooftop terraces, and landscaping apply.
- 6) Notwithstanding Table 6.3.8, when a townhouse dwelling fronts onto a public road, the maximum height shall be 8.0m measured at the top of the main wall (primary front) increasing diagonally to 12.0 m at a minimum of 4.0m from the main wall (primary front) as provided in Figure 15.381.2. In addition, roof dormers shall be permitted to project along the roofline provided they comply with an overall maximum height of 11.0 m and do not exceed 50% of the width of the roof.
- 7) Minimum landscape coverage shall be applied as the average of Blocks 1 to Blocks 3 inclusive.
- 8) Minimum landscape widths for surface parking areas shall not apply.

**2.5.20.2 Additional Zone Provisions for Block 1 Lands**

- 1) The lot line abutting Sovereign Street shall be deemed the front lot line.
- 2) Minimum lot frontage: 6.5 m per unit

- 3) Notwithstanding Table 6.3.8, the dwelling may project a maximum of 1.5 m into the front yard for a maximum of 60% of the dwelling width.
- 4) Minimum interior side yard: 1.8 m
- 5) Minimum rear yard: 0.75 m
- 6) Section 5.8.2 c) shall not apply to a driveway located in a rear yard.

**2.5.20.3 Additional Zone Provisions for Block 2 Lands**

- 1) The lot line abutting East Street shall be deemed the front lot line.
- 2) Minimum lot frontage: 6.5 m per unit
- 3) Minimum front yard: 3.0 m
- 4) Minimum rear yard: 0.75 m
- 5) Minimum northerly interior side yard 0.0 m when abutting a common sidewalk
- 6) Section 5.8.2 c) shall not apply to a driveway located in a rear yard.

**2.5.20.4 Additional Zone Provisions for Block 3 Lands**

- 1) The northwesterly lot line abutting the private road shall be deemed the front lot line.
- 2) Minimum lot frontage: 4.5 m per unit
- 3) Minimum landscaping width between Block 3 and an RL8-0 zone: 3.0 m
- 4) Access from grade to a rooftop terrace located on the roof of a first storey is permitted. e) Minimum interior side yard: 0.0 m
- 5) Access stairs associated with a rooftop terrace are permitted to encroach a maximum of 1.5 m into the rear yard

### 2.5.21 Special Provision 389

121 & 125 East Street (Lots 210 & 211, Registered Plan M-7)

**Parent Zone:** RM1

**Map:** Schedule E 2.1

#### 2.5.21.1 Provisions for All Lands

- 1) Maximum dwelling units: 5
- 2) Minimum dwelling units: 3
- 3) The lot line abutting East Street is deemed the front lot line.
- 4) Minimum lot frontage: 5.9 m per unit
- 5) Minimum flankage yard: 2.0 m
- 6) Rooftop terraces are prohibited.
- 7) Maximum balcony projection in rear yard: 2.5 m, prohibited above the second storey.
- 8) Maximum building height: 11.0 m

### 2.5.22 Special Provision 417

2262-2266 Lakeshore Road West and 83 East Street (2266 Lakeshore LP)

**Parent Zone:** MU2

**Map:** Schedule E 2.1

#### 2.5.22.1 Zone Provisions

- 1) The lot line abutting Lakeshore Road West is deemed the front lot line.
- 2) Minimum lot area: 3750.0 m<sup>2</sup>
- 3) Maximum dwelling units: 244

- 4) Maximum storeys: 10 (upon compliance with bonusing provisions).
- 5) Maximum height: 35.5 m (upon compliance with bonusing provisions).
- 6) Minimum floor area for non-residential uses: 575.0 m<sup>2</sup>
- 7) In addition the storeys authorized by subsection 2.4.23.1 4), a storey in the form of a second level built within the limits of what would otherwise be the first storey is permitted subject to:
  - i. The floor area within the second level being less than 50% of the floor area of the ground floor level;
  - ii. Maximum height of combined two levels is 6.3 m; and
  - iii. If two levels are provided, the ground floor level is exempt from the minimum height applicable to a first storey of 4.5 m as referenced in Table 8.3.1 of By-law 2014-014.
- 8) The maximum total projection for balconies beyond the main wall is 2.0 m.
- 9) All dwellings are prohibited in the first 8.0 metres of depth of the building, measured in from the main wall oriented toward the front lot line, on the first storey.
- 10) Notwithstanding Special Figure 1, the minimum building setback from the daylight triangle for the first, second and third storeys shall be 2.0 metres. For the purposes of this section, the additional storey permitted under Sec. 2.4.23.1 7) shall be considered part of the first storey.
- 11) Maximum encroachment into minimum yard for awnings, canopies, cornices, coves, belt courses,

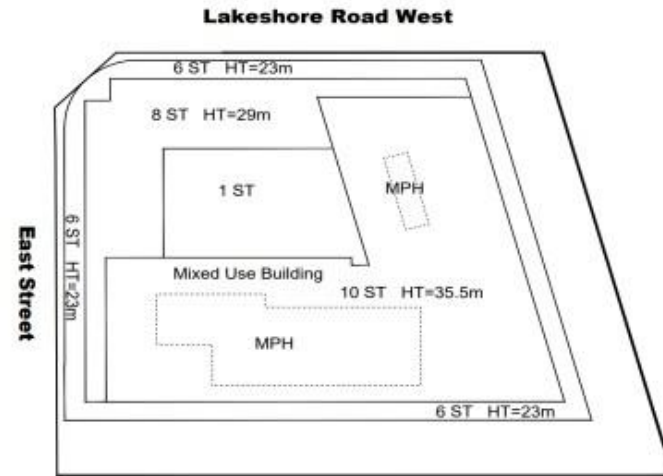
eaves, gutters, pilasters, sills, or weather-shielding structure: 1.0 m

#### 2.5.22.2 Parking Regulations

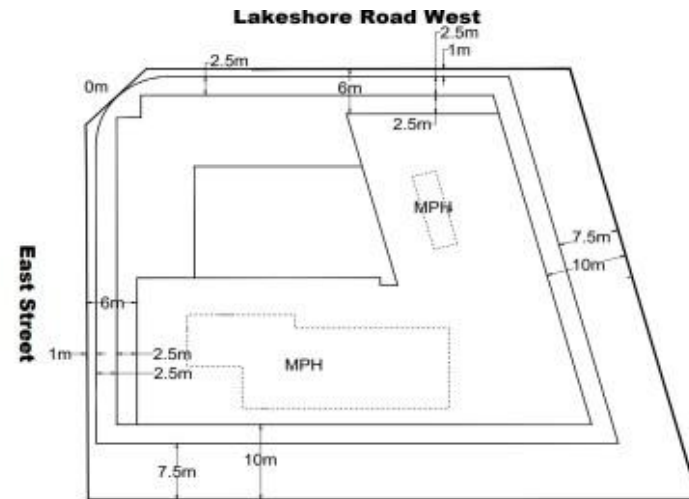
- 1) Minimum parking for dwelling units: 0.93/dwelling unit
- 2) Minimum parking for residential visitors and non-residential uses: 0.17/dwelling unit
- 3) Notwithstanding Section 5.2.3 (a), 33% of the underground parking spaces shall have minimum length of 5.5 m.
- 4) A minimum of 20% of the parking spaces in a building shall include the provision for the installation of electric motor vehicle supply equipment.
- 5) Ventilation shafts, stairs and stairways associated with an underground parking structure, hydro vaults and above ground water and gas meters including any appurtenances thereto are not permitted between a building wall and front lot line or flankage lot line.
- 6) Ventilation shaft within 3 metres of a lot line abutting a public road shall be incorporated into a building wall and located a minimum 2.5 m above finished floor level of the first storey.

#### 2.5.22.3 Special Site Figures

- 1) Minimum The following storey, height and yard regulations in Special Figure 1 and Special Figure 2 shall apply to the building above grade.
- 2) For the purposes of this section, the additional storey permitted under Sec. 2.4.23.1 7) shall be considered part of the first storey.



Special Figure 1



Special Figure 2

**2.5.22.4 Special Site Provisions**

- 1) Height shall be measured from the finished floor elevation of the first storey.

**2.5.22.5 Bonusing Provisions for Lands**

- 1) In order to permit the increased height permissions contained in this Special Provision 417, zoning compliance for the additional height and storeys shall be dependent upon the execution, registration against title and compliance with an agreement pursuant to Section 37 of the Planning Act securing the provision by the Owner of one or more of the following to the satisfaction of the Town:
  - i. Eligible public benefits identified in Part E, Section 24.8.2 b) or Part F, Section 28.8.2 of the Livable Oakville Plan as it read on the date of this by-law and otherwise acceptable to the Town providing benefits to the Bronte Growth Area.
  - ii. A cash contribution payable to the Town to be applied by the Town towards the eligible public benefits referred to in paragraph a) benefiting the Bronte Growth Area.

**2.5.23 Special Provision 425**

2365-2377 Lakeshore Road West

**Parent Zone:** MU1

**Map:** Schedule E 2.1

**2.5.23.1 Zone Provisions for All Lands**

- 1) Maximum height: 26 m

- 2) Maximum number of storeys: 7
- 3) Maximum total balcony projection: 1.8 m
- 4) Balconies are not permitted within the rear yard.
- 5) Minimum floor area for non-residential uses on the first storey: 600 m<sup>2</sup>
- 6) Maximum number of dwelling units: 165

**2.5.23.2 Parking Regulations**

- 1) Minimum parking for dwelling units: 112 spaces
- 2) Minimum parking for residential visitors and non-residential uses: 40 spaces
- 3) Minimum parking for car share service: 2 spaces
- 4) One of the parking spaces for residential visitors and non-residential uses may be dedicated for para-transit short-term parking if a para-transit short-term parking location is not available on Lakeshore Road West, adjacent to the site.
- 5) A minimum of 20% of the parking spaces in a building shall include the provision for installation of electric motor vehicle supply equipment

**2.5.23.3 Special Site Provisions**

The provisions will apply to the whole lands despite any future severance or division.

**2.5.24 Holding Provision H22**

2441 Lakeshore Road West (Bronte Village Mall Redevelopment)

**Parent Zone:** MU4

**Map:** Schedule E 2.1

#### 2.5.24.1 Only Permitted Uses Prior to Removal of the “H”

- 1) Legal uses, buildings, and structures existing on the lot.
- 2) An expansion of the existing food store to a maximum floor area of 3,700 m<sup>2</sup>.
- 3) Permitted commercial uses within existing or expanded buildings to a maximum floor area of 1,200 m<sup>2</sup>.

#### 2.5.24.2 Zoning Regulations Prior to the Removal of the “H”

The "H" symbol can be removed once:

- 1) The regulations to which the lands were subject under Zoning By-law 1984-63, as amended, on the day before By-law 2012-009 was approved by the Ontario Municipal Board. Expansions to buildings authorized by Section 2.5.24.1 of this Hold shall be subject to the regulations applicable to Blocks 3A and 3B in Section 2.5.1.6 and 2.5.1.7 of this By-law.

#### 2.5.24.3 Conditions for Removal of the “H”

The "H" symbol can be removed once:

- a) Registration on title of a servicing agreement between the owner of the property subject to this Hold and the Regional Municipality of Halton which provides for, among other matters, the design and construction of an upgrade to the inlet trunk sewer to the Marine Drive Sanitary Sewage Pumping Station, by either enlargement or twinning, which is sufficient to accommodate the additional flow

resulting from the entire drainage area, and which provides for the payment of the cost of designing and constructing such inlet trunk sewer and associated works on terms and conditions which are to the satisfaction of the Regional Municipality of Halton.

- b) Updates to the Functional Servicing Report for one or more blocks which confirms that sufficient water and wastewater services are available for each block has been provided to the satisfaction of the Regional Municipality of Halton and the Town of Oakville.

### 2.5.25 Holding Provision H54

2365-2377 Lakeshore Road West

**Parent Zone:** MU1

**Map:** 19(2a)

#### 2.5.25.1 Only Permitted Uses Prior to Removal of the “H”

Legal uses, buildings, and structures existing on the lot.

#### 2.5.25.2 Conditions for Removal of the “H”

The "H" symbol can be removed once:

- a) That prior to any site alteration, servicing or grading of the site and to the satisfaction of Halton Region, the Owner submits a Phase Two Environmental Site



Assessment (ESA), at minimum (and any further subsequent reports/documentation as recommended per the Phase Two ESA) and a Ministry of the Environment, Conservation and Parks (MECP) acknowledged Record of Site Condition (RSC) that is certified by (a) qualified person(s) as defined under O.Reg. 153/04 and indicates the environmental condition of the site is suitable for the proposed land use (and all environmental documentation, including any ESAs, used for filing the RSC). The Phase Two ESA and any other environmental reports/documentation must be completed in accordance with O.Reg. 153/04, and signed and stamped by (a) qualified person(s) as defined under O.Reg 153/04. The author(s) of the environmental reports/documentation and RSC submitted to the Region must also extend third party reliance to Halton Region. The Owner complies with O.Reg 153/04 and Halton Region's Protocol for Reviewing Development Applications with respect to Contaminated or Potentially Contaminated Sites, to the satisfaction of Halton Region.

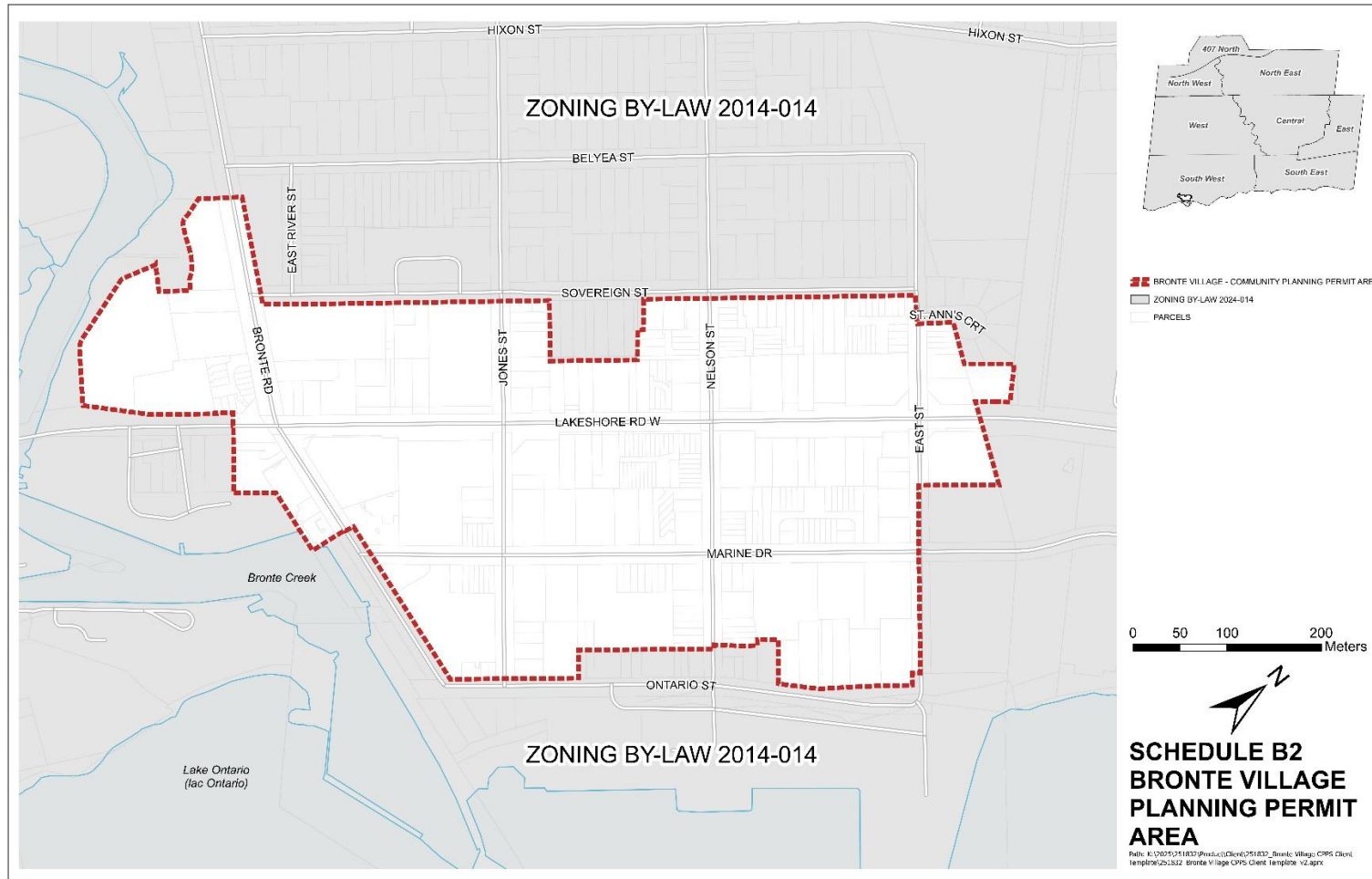
- b) Notwithstanding the above, this holding provision shall not prevent the issuance of a building permit necessary to authorize the removal of soil, rock or fill for the purposes of making an excavation; or the erection of a retaining structure or other structure to

support the sides of the excavation , that are erected to assist in the conduct of an investigation in relation to property, or for any other activity necessary to accommodate site remediation for the purpose of filing a Record of Site Condition.



## 2.6 Schedules

### Schedule B2 Bronte Village Planning Permit Area



Schedule E 2.1 Bronte Village Land Use Zones

