SITE STATISTICS | PROJECT STATISTICS

ZONING DESIGNATION: NORTH OAKVILLE ZONING BY-LAW 2009-189 AND AMENDMENT BY-LAW 2018-108
ZONE DESCRIPTION: H20-DUC sp:60 (DUNDAS URBAN CORE)

LOT AREA = 10871.0 m² or 1.0871 ha

ESTABLISHED GRADE = 177.79 m

MAXIMUM FLOOR SPACE INDEX IS 2.52 AS PER ZONING BY-LAW REGULATION H20 DUC SP60 WITH APPROVED MINOR VARIANCE.

FLOOR SPACE INDEX PROPOSED:

LOT AREA WITHIN PROPERTY LINE AFTER ROAD WIDENING DEDICATION = 10785.5 m²
DAYLIGHT TRIANGLE AREA AT 50 m ROW = 85.5 m²
TOTAL LOT AREA INCLUDING DAYLIGHT TRIANGLE = 10785.5 m² + 85.5 m² = 10871.0 m²

GROSS FLOOR AREA = 27344 m²
TOTAL LOT AREA = 10871.0 m²

FLOOR SPACE INDEX PROPOSED = 27339 m² / 10871.0 m² = 2.515

FLOOR SPACE INDEX PROPOSED 2.515 < MAXIMUM FLOOR SPACE INDEX 2.52 PER BY-LAW ABOVE.

LOT COVERAGE = (BUILDING FOOTPRINT ABOVE GROUND LEVEL TO A MAXIMUM OF 0.6 m 4690 m² / LOT AREA 10871.0 m²) * 100% = 43.1 %

SETBACKS (PER ZONING BY-LAW REGULATION H20 DUC SP60 WITH APPROVED MINOR VARIANCE)

	PROPOSED	REQUIRED
FRONT YARD	0.48 m	0.45 m MIN.
REAR YARD	5.6 m	5.6 m MIN. | 5.7 m MAX.
FLANKING YARD	2.4 m MINIMUM	2.0 m MIN. | 7.0 m MAX.
INTERIOR SIDE YARD	10.1 m @ SOUTH 11.1 m MINIMUM @ NORTH	3.0 m MIN.

GROSS FLOOR AREA (DEFINITION AS PER NORTH OAKVILLE ZONING BY-LAW 2009-189)
THE TOTAL AREA OF ALL FLOORS OF A BUILDING WITHIN THE OUTSIDE WALLS OR OUTSIDE FINISHED FURRED PARTITIONS OF THE WALLS, BUT DOES NOT INCLUDE A PORCH, NON-WALK-IN BAY WINDOW, ATTIC, BASEMENT, ENCLOSED OR ROOFED WALK-WAYS OR LOADING DOCK.

LEVEL	AREA SM
LEVEL 1 (1st FLOOR)	4439 m²
LEVEL 2 (2nd FLOOR)	4140 m²
LEVEL 3 (3rd FLOOR)	4533 m²
LEVEL 4 (5th FLOOR)	4619 m²
LEVEL 5 (6th FLOOR)	2839 m²
LEVEL 6 (7th FLOOR)	2715 m²
LEVEL 7 (8th FLOOR)	1863 m²
LEVEL 8 (9th FLOOR)	1813 m²
TOP OF ROOF	377 m²
GROSS FLOOR AREA	27339 m²

PARKING

PARKING REQUIREMENT AS PER ZONING BY-LAW REGULATION H20 DUC SP60 WITH APPROVED MINOR VARIANCE:

PARKING RATE IS 1.20 SPACE/UNIT OF WHICH 0.15 SPACE/UNIT ARE DESIGNATED VISITOR PARKING SPACES.

PARKING @ 1.20 SPACE/UNIT = 380 UNITS X 1.20 SPACE/UNIT = 456 SPACES

PARKING PROPOSED:

LEVEL	PROPOSED PARKING COUNT
P2	234
P1	222
TOTAL: 456	

TOTAL PARKING PROPOSED = 456 SPACES

VISITOR PARKING REQUIREMENT AS PER ZONING BY-LAW REGULATION H20 DUC SP60 WITH APPROVED MINOR VARIANCE:

PARKING RATE IS 1.20 SPACE/UNIT OF WHICH 0.15 SPACE/UNIT ARE DESIGNATED VISITOR PARKING SPACES.

VISITOR PARKING @ 0.15 SPACE/UNIT = 380 UNITS X 0.15 SPACE/UNIT = 57 SPACES (PART OF 456 TOTAL)

VISITOR PARKING PROPOSED:

LEVEL	PROPOSED VISITOR PARKING COUNT
P1	57
TOTAL: 57	

TOTAL VISITOR PARKING PROPOSED = 57 SPACES

ACCESSIBLE PARKING REQUIRED:
AS PER BY-LAW 2018-108, 2% OF PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS ACCESSIBLE PARKINGS.

ACCESSIBLE PARKING @ 2% OF TOTAL PROPOSED PARKING SPACES = 456 SPACES X 0.02 = 9 SPACES

ACCESSIBLE PARKING PROPOSED:

LEVEL	PROPOSED ACCESSIBLE PARKING COUNT
P2	5
P1	4
TOTAL: 9	

TOTAL ACCESSIBLE PARKING PROPOSED = 9 SPACES

BICYCLE PARKING

BICYCLE PARKING REQUIRED:
OCCUPANT @ 0.75 SPACE/UNIT = 380 UNITS X 0.75 SPACE/UNIT = 285 SPACES
VISITOR @ 0.25 SPACE/UNIT = 380 UNITS X 0.25 SPACE/UNIT = 95 SPACES
OR
A MAXIMUM OF 200 BICYCLE PARKING SPACES SHALL BE REQUIRED

BICYCLE PARKING PROPOSED:
OCCUPANT @ 0.75 SPACE/UNIT OF 200 BICYCLE PARKING SPACES = 200 X 0.75 = 150 OCCUPANT BICYCLE SPACES
VISITOR @ 0.25 SPACES/UNIT OF 200 BICYCLE PARKING SPACES = 200 X 0.25 = 50 VISITOR BICYCLE SPACES

RESIDENTIAL BICYCLE PARKING PROPOSED AT P1 PARKING:

LEVEL	PROPOSED RESIDENTIAL BICYCLE PARKING
P1	151

TOTAL RESIDENTIAL BICYCLE PARKING PROPOSED PER ZONING BY-LAW 2009-189 = 150 SPACES

VISITOR BICYCLE PARKING PROPOSED AT GRADE:

LEVEL	PROPOSED VISITOR BICYCLE PARKING
LEVEL 1 (1st FLOOR)	50

TOTAL VISITOR BICYCLE PARKING PROPOSED PER ZONING BY-LAW 2009-189 = 50 SPACES

AMENITY AREA

INDOOR AMENITY AREA:

LEVEL	Area (SM)
LEVEL 1 (1st FLOOR)	390.8 m²
LEVEL 4 (5th FLOOR)	33.4 m²
LEVEL 7 (8th FLOOR)	7.7 m²
TOTAL INDOOR AMENITY:	431.8 m²

TOTAL INDOOR AMENITY AREA = 431.2 m²

OUTDOOR AMENITY AREA:

TOTAL OUTDOOR AMENITY AREA ON LEVEL 7 (8th FLOOR) = 595.8 m²

UNIT MIX MATRIX

UNIT TYPE OVERVIEW
A - 1 BEDROOM @ TARGET AREA 49.5 m² (533 ft²)
B - 1 BEDROOM + DEN/FLEX OR 2 BEDROOMS @ TARGET AREA 57.1 m² (615 ft²)
C - 2 BEDROOMS OR 2 BEDROOMS + FLEX OR 3 BEDROOMS @ TARGET AREA 66.9 m² (720 ft²)
D - 2 BEDROOMS OR 2 BEDROOMS + FLEX OR 3 BEDROOMS OR 3 BEDROOMS + FLEX @ TARGET AREA 89.8 m² (967 ft²)

TOTAL NUMBER OF UNITS = 380 UNITS

UNIT COUNT FOR 1-BEDROOM (TYPE A + TYPE B) UNIT DESCRIPTION	COUNT
1 BEDROOM + DEN, 1 BATHROOM	16
1 BEDROOM + DEN, 2 BATHROOMS	10
1 BEDROOM + FLEX, 1 BATHROOM	36
1 BEDROOM + FLEX, 2 BATHROOMS	197
1 BEDROOM, 1 BATHROOM TOTAL 1-BEDROOM UNITS: 287	28

UNIT COUNT FOR 2-BEDROOM (TYPE B + TYPE C) UNIT DESCRIPTION	COUNT
2 BEDROOMS + FLEX, 2 BATHROOMS	4
2 BEDROOMS, 1 BATHROOM	4
2 BEDROOMS, 2 BATHROOMS TOTAL 2-BEDROOM UNITS: 70	62

UNIT COUNT FOR 3-BEDROOM (TYPE C + TYPE D) UNIT DESCRIPTION	COUNT
3 BEDROOMS + FLEX, 2 BATHROOMS	7
3 BEDROOMS + FLEX, 3 BATHROOMS	2
3 BEDROOMS, 2 BATHROOMS TOTAL 3-BEDROOM UNITS: 23	14

BARRIER-FREE UNIT REQUIREMENT AS PER OBC 3.8.2.1.(5)
1 BEDROOM @ 15% = 287 X 0.15 = 43 UNITS
2 BEDROOM @ 15% = 70 X 0.15 = 11 UNITS
3 BEDROOM @ 15% = 23 X 0.15 = 4 UNITS

PROJECT STATISTIC SUMMARY

	PROPOSED	REQUIRED
FSI	2.515	2.52 MAXIMUM
SETBACK	FRONT YARD 0.48 m REAR YARD 5.6 m FLANKING YARD 2.4 m MINIMUM INTERIOR SIDE YARD 10.1 m @ SOUTH 11.1 m MINIMUM @ NORTH	FRONT YARD 0.45 m MIN. REAR YARD 5.6 m MIN. | 5.7 m MAX. FLANKING YARD 2.0 m MIN. | 7.0 m MAX. INTERIOR SIDE YARD 3.0 m MIN.
PARKING	456 SPACES TOTAL (OF WHICH 57 VISITOR SPACES AND 9 ACCESSIBLE SPACES) 392 RESIDENTIAL PARKING 7 RESIDEITNAL ACCESSIBLE PARKING 55 VISITOR PARKING 2 ACCESSIBLE VISITOR PARKING	456 SPACES TOTAL (OF WHICH 57 VISITOR SPACES AND 9 ACCESSIBLE SPACES) 392 RESIDENTIAL PARKING 7 RESIDENTIAL ACCESIBLE PARKING 55 VISITOR PARKING 2 ACCESSIBLE VISITOR PARKING
BICYCLE PARKING	200 SPACES TOTAL 150 RESIDENTAIL BICYCLE PARKING 50 VISITOR BICYCLE PARKING	200 SPACES TOTAL 150 RESIDENTAIL BICYCLE PARKING 50 VISITOR BICYCLE PARKING
UNIT MIX	380 RESIDENTIAL SUITES TOTAL 1 BEDROOM SUITE = 287 UNITS 2 BEDROOM SUITE = 70 UNITS 3 BEDROOM SUITE = 23 UNITS 59 BARRIER-FREE RESIDENTIAL SUITES TOTAL 1 BEDROOM BARRIER-FREE SUITE = 43 UNITS 2 BEDROOM BARRIER-FREE SUITE = 12 UNITS 3 BEDROOM BARRIER-FREE SUITE = 4 UNITS	380 RESIDENTIAL SUITES TOTAL 1 BEDROOM SUITE = 287 UNITS 2 BEDROOM SUITE = 70 UNITS 3 BEDROOM SUITE = 23 UNITS 58 BARRIER-FREE RESIDENTIAL SUITES TOTAL 1 BEDROOM @ 15% = 287 X 0.15 = 43 UNITS 2 BEDROOM @ 15% = 70 X 0.15 = 11 UNITS 3 BEDROOM @ 15% = 23 X 0.15 = 4 UNITS

UNIT BREAKDOWN PER LEVEL

LEVEL	UNIT TYPE	UNIT DESCRIPTION	COUNT
LEVEL 1 (1st FLOOR)	A	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 1 (1st FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	3
LEVEL 1 (1st FLOOR)	A	1 BEDROOM, 1 BATHROOM	9
LEVEL 1 (1st FLOOR)	B	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 1 (1st FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	1
LEVEL 1 (1st FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	26
LEVEL 1 (1st FLOOR)	B	1 BEDROOM, 1 BATHROOM	1
LEVEL 1 (1st FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	6
LEVEL 1 (1st FLOOR)	C	2 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 1 (1st FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	2
LEVEL 1 (1st FLOOR)	D	2 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 1 (1st FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 1 (1st FLOOR): 53			
LEVEL 2 (2nd FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	4
LEVEL 2 (2nd FLOOR)	A	1 BEDROOM, 1 BATHROOM	5
LEVEL 2 (2nd FLOOR)	B	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 2 (2nd FLOOR)	B	1 BEDROOM + DEN, 2 BATHROOMS	3
LEVEL 2 (2nd FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	2
LEVEL 2 (2nd FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	37
LEVEL 2 (2nd FLOOR)	B	2 BEDROOMS, 1 BATHROOM	2
LEVEL 2 (2nd FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	2
LEVEL 2 (2nd FLOOR)	C	2 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 2 (2nd FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	1
LEVEL 2 (2nd FLOOR)	D	2 BEDROOMS, 2 BATHROOMS	1
LEVEL 2 (2nd FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	2
LEVEL 2 (2nd FLOOR): 61			
LEVEL 3 (3rd FLOOR)	A	1 BEDROOM + DEN, 1 BATHROOM	2
LEVEL 3 (3rd FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	4
LEVEL 3 (3rd FLOOR)	A	1 BEDROOM, 1 BATHROOM	4
LEVEL 3 (3rd FLOOR)	B	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 3 (3rd FLOOR)	B	1 BEDROOM + DEN, 2 BATHROOMS	2
LEVEL 3 (3rd FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	4
LEVEL 3 (3rd FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	42
LEVEL 3 (3rd FLOOR)	B	2 BEDROOMS, 1 BATHROOM	1
LEVEL 3 (3rd FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	2
LEVEL 3 (3rd FLOOR)	C	2 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 3 (3rd FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	3
LEVEL 3 (3rd FLOOR)	C	3 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 3 (3rd FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 3 (3rd FLOOR): 68			
LEVEL 4 (5th FLOOR)	A	1 BEDROOM + DEN, 1 BATHROOM	3
LEVEL 4 (5th FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	3
LEVEL 4 (5th FLOOR)	A	1 BEDROOM, 1 BATHROOM	4
LEVEL 4 (5th FLOOR)	B	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 4 (5th FLOOR)	B	1 BEDROOM + DEN, 2 BATHROOMS	2
LEVEL 4 (5th FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	3
LEVEL 4 (5th FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	44
LEVEL 4 (5th FLOOR)	B	2 BEDROOMS, 1 BATHROOM	1
LEVEL 4 (5th FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	2
LEVEL 4 (5th FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	4
LEVEL 4 (5th FLOOR)	C	3 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 4 (5th FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 4 (5th FLOOR): 69			

UNIT BREAKDOWN PER LEVEL

LEVEL	UNIT TYPE	UNIT DESCRIPTION	COUNT
LEVEL 5 (6th FLOOR)	A	1 BEDROOM + DEN, 1 BATHROOM	2
LEVEL 5 (6th FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	2
LEVEL 5 (6th FLOOR)	A	1 BEDROOM, 1 BATHROOM	2
LEVEL 5 (6th FLOOR)	B	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 5 (6th FLOOR)	B	1 BEDROOM + DEN, 2 BATHROOMS	1
LEVEL 5 (6th FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	2
LEVEL 5 (6th FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	25
LEVEL 5 (6th FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	1
LEVEL 5 (6th FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	3
LEVEL 5 (6th FLOOR)	C	3 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 5 (6th FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 5 (6th FLOOR): 41			
LEVEL 6 (7th FLOOR)	A	1 BEDROOM + DEN, 1 BATHROOM	2
LEVEL 6 (7th FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	2
LEVEL 6 (7th FLOOR)	A	1 BEDROOM, 1 BATHROOM	2
LEVEL 6 (7th FLOOR)	B	1 BEDROOM + DEN, 1 BATHROOM	1
LEVEL 6 (7th FLOOR)	B	1 BEDROOM + DEN, 2 BATHROOMS	2
LEVEL 6 (7th FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	1
LEVEL 6 (7th FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	17
LEVEL 6 (7th FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	9
LEVEL 6 (7th FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	3
LEVEL 6 (7th FLOOR)	C	3 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 6 (7th FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 6 (7th FLOOR): 41			
LEVEL 7 (8th FLOOR)	A	1 BEDROOM + FLEX, 1 BATHROOM	1
LEVEL 7 (8th FLOOR)	A	1 BEDROOM, 1 BATHROOM	1
LEVEL 7 (8th FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	2
LEVEL 7 (8th FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	4
LEVEL 7 (8th FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	6
LEVEL 7 (8th FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	4
LEVEL 7 (8th FLOOR)	C	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 7 (8th FLOOR)	D	3 BEDROOMS + FLEX, 2 BATHROOMS	1
LEVEL 7 (8th FLOOR)	D	3 BEDROOMS + FLEX, 3 BATHROOMS	1
LEVEL 7 (8th FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	3
LEVEL 7 (8th FLOOR): 24			
LEVEL 8 (9th FLOOR)	B	1 BEDROOM + FLEX, 1 BATHROOM	2
LEVEL 8 (9th FLOOR)	B	1 BEDROOM + FLEX, 2 BATHROOMS	2
LEVEL 8 (9th FLOOR)	B	2 BEDROOMS, 2 BATHROOMS	6
LEVEL 8 (9th FLOOR)	C	2 BEDROOMS, 2 BATHROOMS	7
LEVEL 8 (9th FLOOR)	C	3 BEDROOMS, 2 BATHROOMS	1
LEVEL 8 (9th FLOOR)	D	3 BEDROOMS + FLEX, 2 BATHROOMS	2
LEVEL 8 (9th FLOOR)	D	3 BEDROOMS + FLEX, 3 BATHROOMS	1
LEVEL 8 (9th FLOOR)	D	3 BEDROOMS, 2 BATHROOMS	2
LEVEL 8 (9th FLOOR): 23			
TOTAL NUMBER OF UNITS: 380			

ONTARIO BUILDING CODE MATRIX

Name of Practice:
BARON NELSON ARCHITECTS INC.
161 BELLWOODS AVE, TORONTO, ONTARIO M6J 2P6

Name of Project:
1005 DUNDAST ST E

Location:
1005 DUNDAS STREET EAST, OAKVILLE, ONTARIO L6H 7E8

Date: 2022 MARCH 21

Ontario Building Code Data Matrix Part 3

			Building Code Reference [1]
3.00	Building Code Version:	O. Reg. 332/12 — Last Amendment — O. Reg. 511/20	
3.01	Project Type:	☒ New ☐ Addition ☐ Renovation ☐ Change of use ☐ Addition and renovation Description: New Residential Apartment Building	[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy / Use Group C — Residential Occupancy	3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	☐ No ☒ Yes Description: Group A2 Assembly Occupancy in Amenity Spaces	3.2.2.7.
3.04	Building Area (m²)	Description: / Existing / New / Total The greatest horizontal area of the building above grade: 0 / 4690m² / 4690m² Total: 0 / 4690m² / 4690m²	[A] 1.4.1.2.
3.05	Gross Area (m²)	Description: / Existing / New / Total The total area of all floors above grade: 0 / 27343m² / 27343m² Total: 0 / 27343m² / 27343m²	[A] 1.4.1.2.
3.06	Mezzanine Area (m²)	Description: / Existing / New / Total N/A: 0 / 0 / 0 Total: 0 / 0 / 0	3.2.1.1.
3.07	Building Height	8 Storeys above grade — 27.5 m (m) Above grade 2 Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.
3.08	High Building	☐ No ☒ Yes	3.2.6.
3.09	Number of Streets/ Firefighter access	2 street(s)	3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.42 — Group/Div Group C – Residential Occupancies	3.2.2.20. - 83.
3.11	Sprinkler System	☒ Required ☐ Not Required Proposed: ☒ entire building ☐ selected compartments ☐ selected floor areas ☐ basement ☐ in lieu of roof rating ☐ none	3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	☐ Not required ☒ Required	3.2.9.
3.13	Fire Alarm System	☒ Required ☐ Not required Proposed: ☒ Single stage ☐ Two stage ☐ None	3.2.4.
3.14	Water Service / Supply is Adequate	☐ No ☒ Yes	
3.15	Construction Type:	Restriction: ☐ Combustible permitted ☒ Non-combustible required Actual: ☐ Combustible ☒ Non-combustible ☐ Combination Heavy Timber Construction: ☒ No ☐ Yes	3.2.2.20. - 83. & 3.2.1.4.
3.16	Importance Category:	☐ Low ☐ Low human occupancy ☐ Post-disaster shelter ☒ Normal ☐ High ☐ Minor storage building ☐ Explosive or hazardous substances ☐ Post-disaster	4.1.2.1.(3) & T4.1.2.1.B
3.17	Seismic Hazard Index:	(I_E Fa Sa (0.2)) = 0 Seismic design required for Table 4.1.8.18. items 6 to 21: ((I_E Fa Sa (0.2)) = 0.208 < 0.35 or Post-disaster) ☒ No ☐ Yes	4.1.2.1.(3) 4.1.8.18.(2)
3.18	Occupant Load	Floor Level/Area — Occupancy Type — Based On — Occupant Load (Persons) Occupant Load Based On Design of Building — Group C Major Occupancy — 2 people per bedroom — 995	3.1.17.
3.19	Barrier-free Design:	■ Yes ☐ No In a Group C major occupancy apartment building, no less than 15% of all residential suites shall be provided with a barrier-free path of travel from the suite entrance door to the following rooms and spaces that shall be located at the same level as the barrier-free path of travel: (a) at least one bedroom (b) at least one bathroom (c) a kitchen (d)a living space	3.8. 3.8.2.1.(5)
3.20	Hazardous Substances:	☐ Yes ■ No	3.3.1.2. & 3.3.1.19.
3.21	Required Fire Resistance Ratings	Horizontal Assembly / Rating (H) / Supporting Assembly (H) / Noncombustible in lieu of rating? Floors over basement: 2 / 2 / ☐ No ☐ Yes ☐ N/A Floors: 2 / 2 / ☐ No ☐ Yes ☐ N/A Mezzanine: N/A / N/A / ☐ No ☐ Yes ☐ N/A Roof: 0 Unoccupied 2 Outdoor Amenity / 2 / ☐ No ☐ Yes ☐ N/A *Refer to A1.01 to A1.04 for assemblies schedule	3.2.2.20. - 83. & 3.2.1.4.
3.22	Spatial Separation	Wall / EBF Area (m²) / L.D. (m) / Max. % of Openings / Required FRR (H) / Construction Type Required / Cladding Type Required North: 660 / 6 / 50 / 0 / ☒ Noncombustible / ☒ Noncombustible East: 2160 / 8 -15 / 50 / 0 / ☒ Noncombustible / ☒ Noncombustible South: 1690 / 3 - 7 / 50 / 0 / ☒ Noncombustible / ☒ Noncombustible West: 1960 / 2 - 7 / 50 / 0 / ☒ Noncombustible / ☒ Noncombustible *Insert additional lines as needed*	3.2.3. Table 3.2.3.1.D.

1 *All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.*

Ontario Building Code Data Matrix, Part 3
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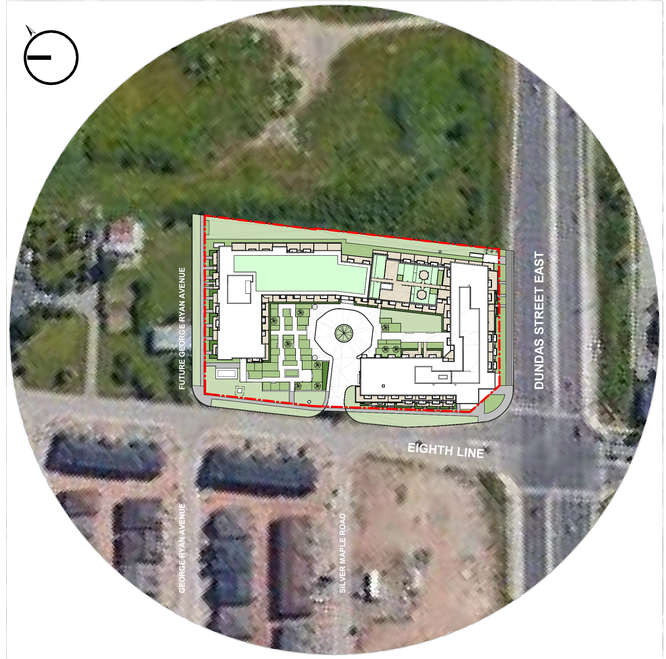
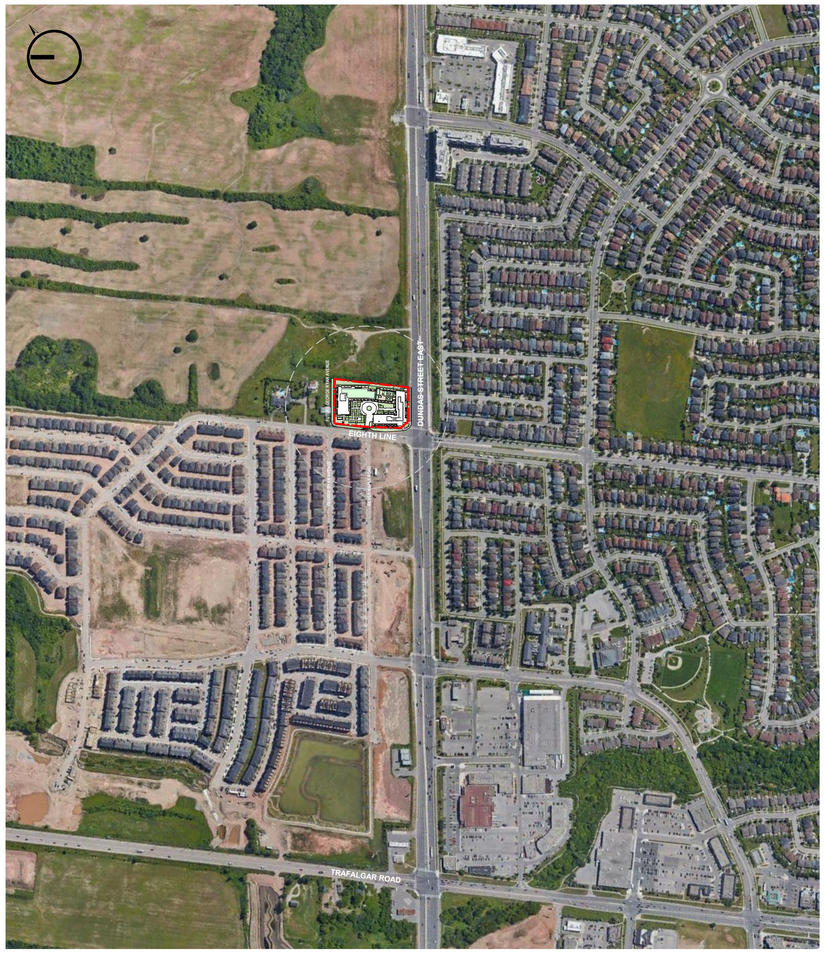
October 2016



2 **CONTEXT PLAN AND AERIAL PHOTOGRAPH_ENLARGED**
1 : 1500



1 **CONTEXT PLAN AND AERIAL PHOTOGRAPH**
1 : 4000

Baron Nelson Architects Inc.
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Do not scale this drawing.

This drawing shall not be used for construction purposes unless issued for construction and signed by the Consultant.

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Interior Design
Sheila Kennedy Design Studio
160 Pears Avenue, Suite 314,Toronto, Ontario, M5R 3P8

Sprinkler Design
Otsam Sprinkler Design
80 Tiverton Ct, Suite 700, Markham, Ontario, L3R 0G4

Metric Scale Drawing

No.	Issued for:	Date:
1	PRE-CONSULTATION	2020/07/02
2	ISSUED FOR SPA	2020/08/31
3	ISSUED FOR URBAN DESIGN REVIEW	2021/04/01
4	ISSUED FOR 2ND SPA SUBMISSION	2021/04/14
5	ISSUED FOR MINOR VARIANCE	2021/08/05
6	ISSUED FOR GCL	2021/08/24
7	ISSUED FOR 3RD SPA SUBMISSION	2021/08/31
8	GCL BID PACKAGE 1	2021/10/22
9	CONSULTANTS COORDINATION	2021/10/29
10	3RD SPA SUBMISSION - REPLACE SHEETS	2021/11/08
11	ISSUED FOR 4TH SPA SUBMISSION	2022/01/20
12	CONSULTANTS COORDINATION FOR BP	2022/03/04
13	BUILDING PERMIT APPLICATION	2022/03/21
14	ISSUED FOR TENDER	2022/06/29
15	ISSUED FOR BUILDING PERMIT RESUBMISSION	2022/06/29
16	ISSUED FOR ACOUSTIC CONSULTANT	2022/08/22
17	ISSUED FOR FINAL SPA	2022/08/23
18	ISSUED FOR BUILDING PERMIT RESUBMISSION	2022/08/29
19	ISSUED FOR CONDITIONAL PERMIT	2022/08/30
20	ISSUED FOR CONSTRUCTION	2022/10/17
21	ISSUED FOR DRAFT PLAN OF CONDOMINIUM	2023-10-24
22	ISSUED FOR DRAFT PLAN OF CONDOMINIUM	2024-02-07
23	ISSUED FOR NOTE TO FILE	2024-06-19

GENERAL NOTE:
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Last Issued For
ISSUED FOR NOTE TO FILE
2024-06-19

The Wilmot
1005 Dundas Street East, Oakville, Ontario L6H 7E8

1005 Dundas Street Inc.
230-7181 Woodbine Ave, Markham, Ontario L3R 1A3

Project Number
1901

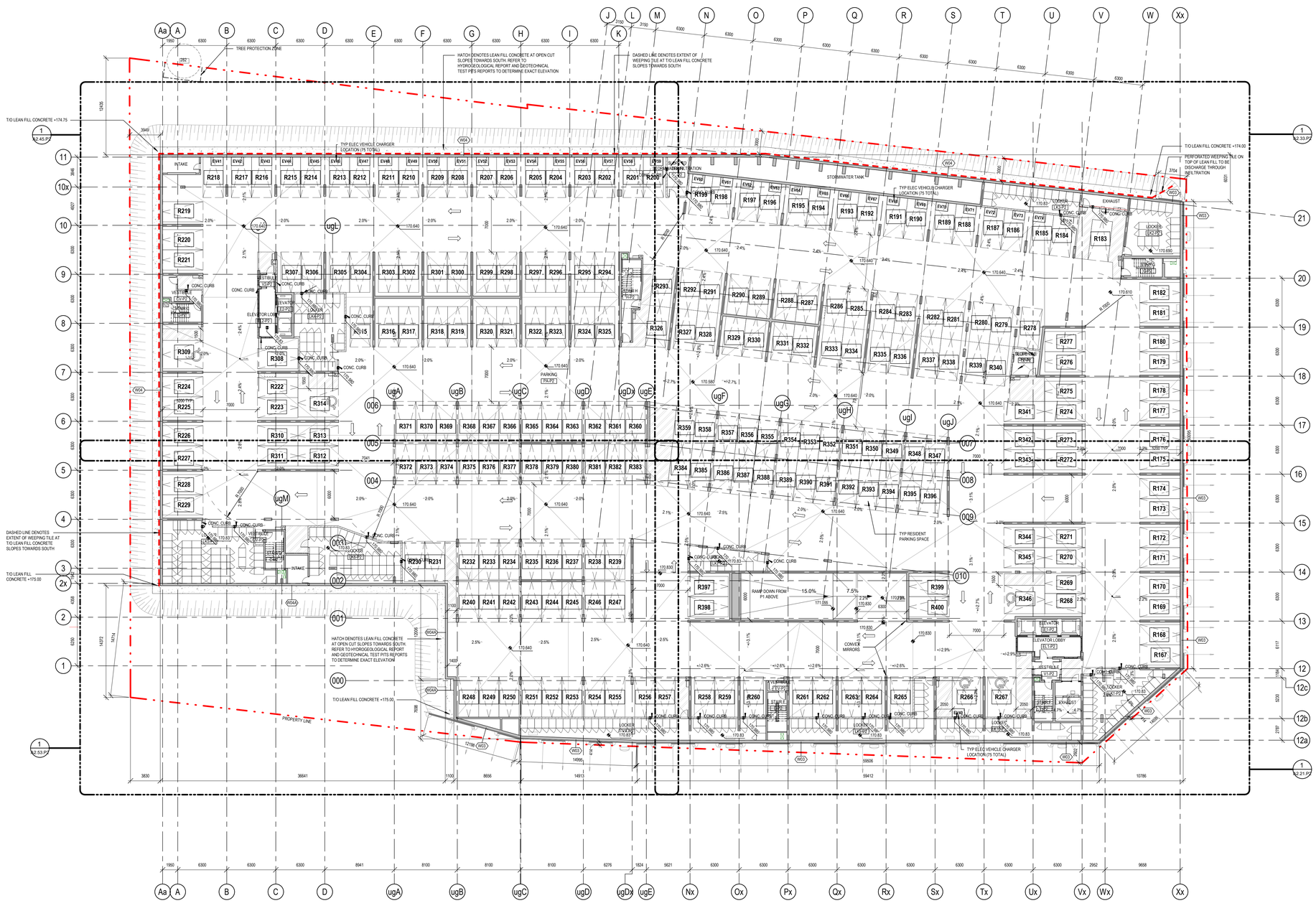
North

Seal

Title
PROJECT STATISTICS, CONTEXT AND AERIAL PLAN

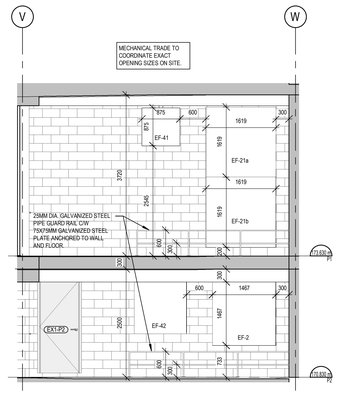
Scale: As indicated
Plot Date: 2025-01-28 2:02:55 PM
Number
A0.02

Autodesk Docs://1901 Dundas Hotel/ 1005 DUNDAS ST_AR25.rvt



2 ELEVATION FACING EXHAUST SHAFT AT P1/P2

1 : 50



P2 PARKING SCHEDULE		
LEVEL	PARKING TYPE	NUMBER OF PARKING
P2	PARKING	229
PARKING		
P2	ACCESSIBLE PARKING	5
ACCESSIBLE PARKING		
TOTAL PARKING: 234		

OVERALL PARKING TOTALS

VISITORS - 57
RESIDENTIAL - 343
TOTAL - 400 (INCLUDING BF PARKING)

P1 BARRIER FREE PARKING - 4
P2 BARRIER FREE PARKING - 5
TOTAL - 9

P1 EV CHARGING ROUGH-IN - 39
P2 EV CHARGING ROUGH-IN - 36
TOTAL - 75

Baron Nelson Architects Inc.
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info@bnarch.ca www.bnarch.ca 437-222-6688

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Structural Engineering
Crozier Consulting Engineers
211 Yonge Street, Suite 400,Toronto, Ontario, M5B 1M4

Mechanical Engineering
Crozier Consulting Engineers
211 Yonge Street, Suite 400,Toronto, Ontario, M5B 1M4

Electrical Engineering
Crozier Consulting Engineers
211 Yonge Street, Suite 400,Toronto, Ontario, M5B 1M4

Landscape Architect
Janet Rosenberg & Studio
148 Kenwood Avenue, Toronto, Ontario, M6C 2S3

Civil Engineering
Crozier Consulting Engineers
211 Yonge Street, Suite 400,Toronto, Ontario, M5B 1M4

Interior Design
Baron Nelson Design Studio
180 Peters Avenue, Suite 314,Toronto, Ontario, M5R 3P8

Sprinkler Design
Otsaro Sprinkler Design
80 Tiverton Ct, Suite T00, Markham, Ontario, L3R 0G4

Metric Scale Drawing

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6	ISSUED FOR 3RD SPA SUBMISSION	2021/08/31
7	GCL BID PACKAGE 1	2021/10/22
8	CONSULTANTS COORDINATION	2021/10/29
9	3RD SPA SUBMISSION - REPLACE SHEETS	2021/11/08
10	ISSUED FOR 4TH SPA SUBMISSION	2022/01/20
11	CONSULTANTS COORDINATION FOR BP	2022/03/04
12	BUILDING PERMIT APPLICATION	2022/03/21
13	ISSUED FOR TENDER	2022/06/29
14	ISSUED FOR BUILDING PERMIT RESUBMISSION	2022/06/29
15	ADDENDUM 1	2022/07/15
16	ISSUED FOR ACOUSTIC CONSULTANT	2022/08/22
17	ISSUED FOR FINAL SPA	2022/08/23
18	ISSUED FOR BUILDING PERMIT RESUBMISSION	2022/08/29
19	ISSUED FOR CONDITIONAL PERMIT	2022/08/30
20	ISSUED FOR CONSTRUCTION	2022/10/17
21	SI-009	2023-02-27
22	SI-017	2023-04-19
23	SI-019 PARKING SPOT ELEVATIONS AND SLOPES	2023-05-25
24	ISSUED FOR DRAFT PLAN OF CONDOMINIUM	2023-10-24
25	SI-ADM SLAB EDGE LTLB AND CURBS	2024-02-06
26	ISSUED FOR DRAFT PLAN OF CONDOMINIUM	2024-02-07
27	ISSUED FOR NOTE TO FILE	2024-06-19
28	ISSUED FOR PARKING AMENDMENTS	2025-01-28

GENERAL NOTE:
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Last Issued For: ***ISSUED FOR PARKING AMENDMENTS 2025-01-28***

The Wilmot
1005 Dundas Street East, Oakville, Ontario L6H 7E8

THE WILMOT CONDOS

1005 Dundas Street Inc.
230-7181 Woodbine Ave, Markham, Ontario L3R 1A3

DEVELOPMENT

Project Number: **1901**

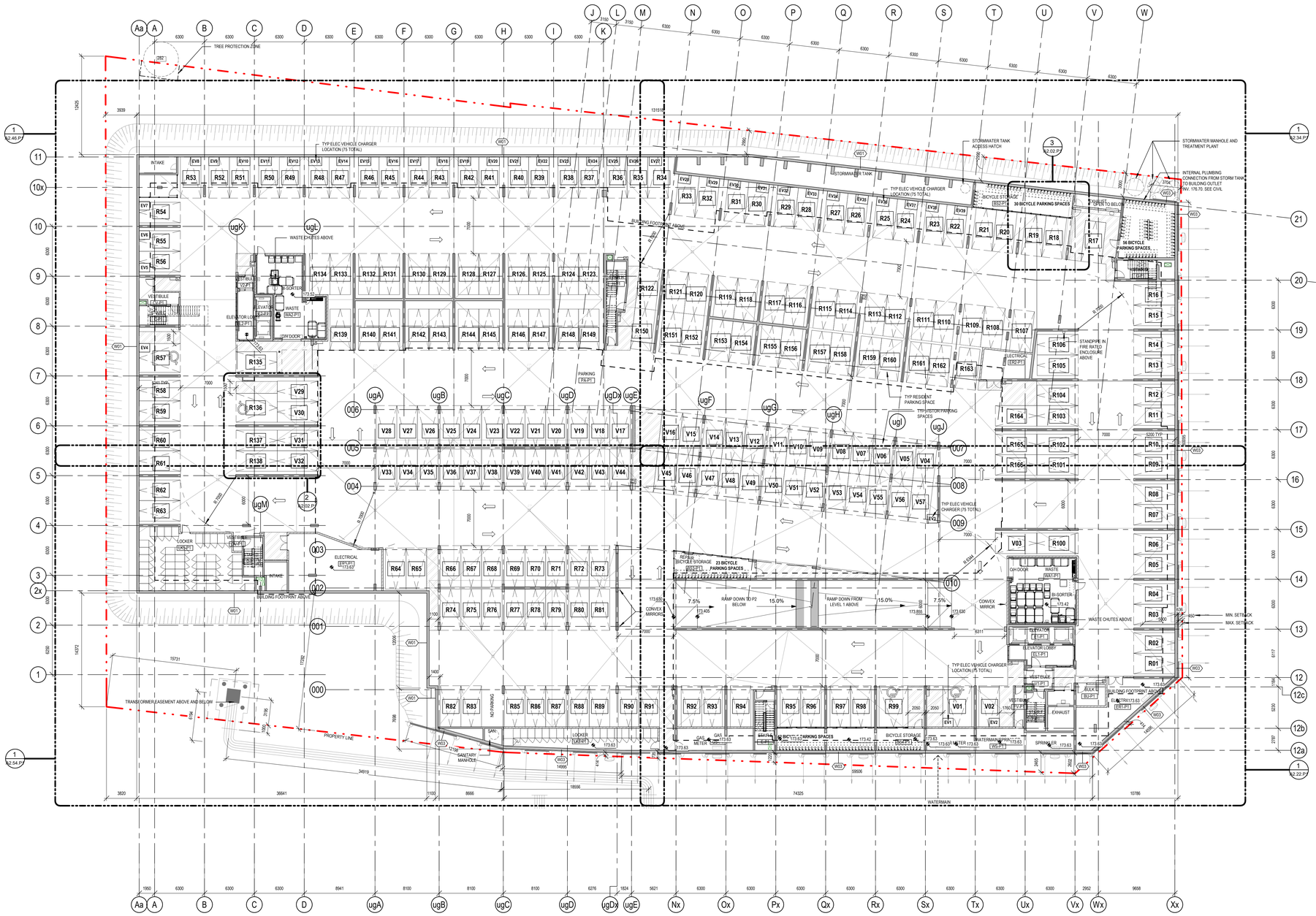
North

Seal: ONTARIO ASSOCIATION OF ARCHITECTS LICENCE 5714

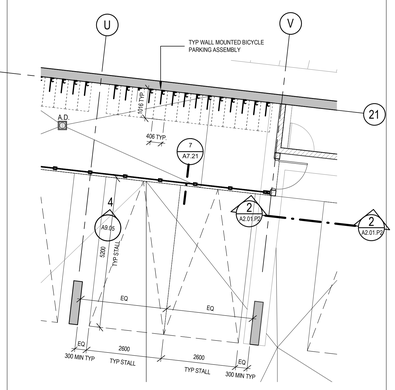
Title: **FLOOR PLAN - PARKING P2**

Scale: As indicated
Plot Date: 2025-01-28 12:22:00 PM
Number: **A2.01.P2**

Autodesk Docs://WP Oakville/1901 1005 DUNDAS ST_AR2021.rvt

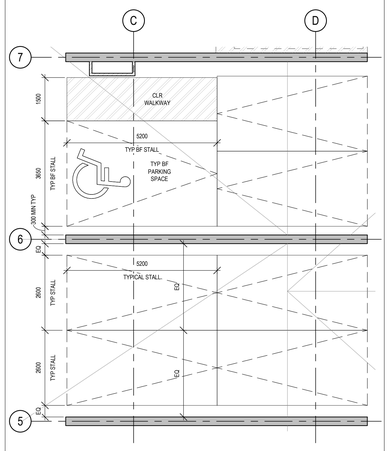


4 TYP WALL MOUNTED BIKE PARKING ASSEMBLY



3 TYP PARKING AND BIKE PARKING DIMENSIONS

1 : 75



2 TYP PARKING SPACE DIMENSIONS

1 : 75

P1 PARKING SCHEDULE		
LEVEL	PARKING TYPE	NUMBER OF PARKING
P1	PARKING	218
PARKING		
P1	ACCESSIBLE PARKING	4
ACCESSIBLE PARKING		
TOTAL PARKING: 222		

OVERALL PARKING TOTALS

VISITORS - 57
RESIDENTIAL - 343
TOTAL - 400 (INCLUDING BF PARKING)

P1 BARRIER FREE PARKING - 4
P2 BARRIER FREE PARKING - 5
TOTAL - 9

P1 EV CHARGING ROUGH-IN - 39
P2 EV CHARGING ROUGH-IN - 36
TOTAL - 75

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Structural Engineering
Crozier Consulting Engineers
211 Yonge Street, Suite 400,Toronto, Ontario, M5B 1M4

Mechanical Engineering
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Electrical Engineering
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Landscape Architect
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Civil Engineering
Crozier Consulting Engineers
211 Yonge Street, Suite 400,Toronto, Ontario, M5B 1M4

Interior Design
Baron Nelson Design Studio
160 Pears Avenue, Suite 314,Toronto, Ontario, M5R 3P8

Sprinkler Design
Mazen Sprinkler Design
80 Tiverton Ct, Suite 700, Markham, Ontario, L3R 0G4

Metric Scale Drawing

No.	Issued for:	Date:
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17	ISSUED FOR BUILDING PERMIT RESUBMISSION	2022/08/29
18	ISSUED FOR CONDITIONAL PERMIT	2022/08/30
19	ISSUED FOR CONSTRUCTION	2022/10/17
20	S-019 PARKING SPOT ELEVATIONS AND SLOPES	2023-05-25
21	ISSUED FOR DRAFT PLAN OF CONDOMINIUM	2023-10-24
22	ISSUED FOR DRAFT PLAN OF CONDOMINIUM	2024-02-07
23	ISSUED FOR NOTE TO FILE	2024-06-19
24	ISSUED FOR PARKING AMENDMENTS	2025-01-28

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Last Issued For: ***ISSUED FOR PARKING AMENDMENTS 2025-01-28***

The Wilmot
1005 Dundas Street East, Oakville, Ontario L6H 7E8

THE WILMOT CONDOS

1005 Dundas Street Inc.
230-7181 Woodbine Ave, Markham, Ontario L3R 1A3

DEVELOPMENT

Project Number: **1901**

North

Seal: ONTARIO ASSOCIATE OF ARCHITECTS — MARIANNE STAI — 8714

Title: **FLOOR PLAN - PARKING P1**

Scale: As indicated
Plot Date: 2025-01-28 12:22:39 PM
Number: ***A2.02.P1***

Autodesk Docs://WP Oakville/1901 1005 DUNDAS ET_AR2Vr.rvt

GENERAL NOTES

TYPICAL 200MM MINIMUM PLUMBING CHASE IN BATHROOM UNO.
200MM MEASURED FROM F/O GYPSUM WALL BOARD TO F/O CONCRETE OR STUD.

GENERAL NOTES

MOVABLE KITCHEN ISLAND WITH FLOOR RECEPTACLE

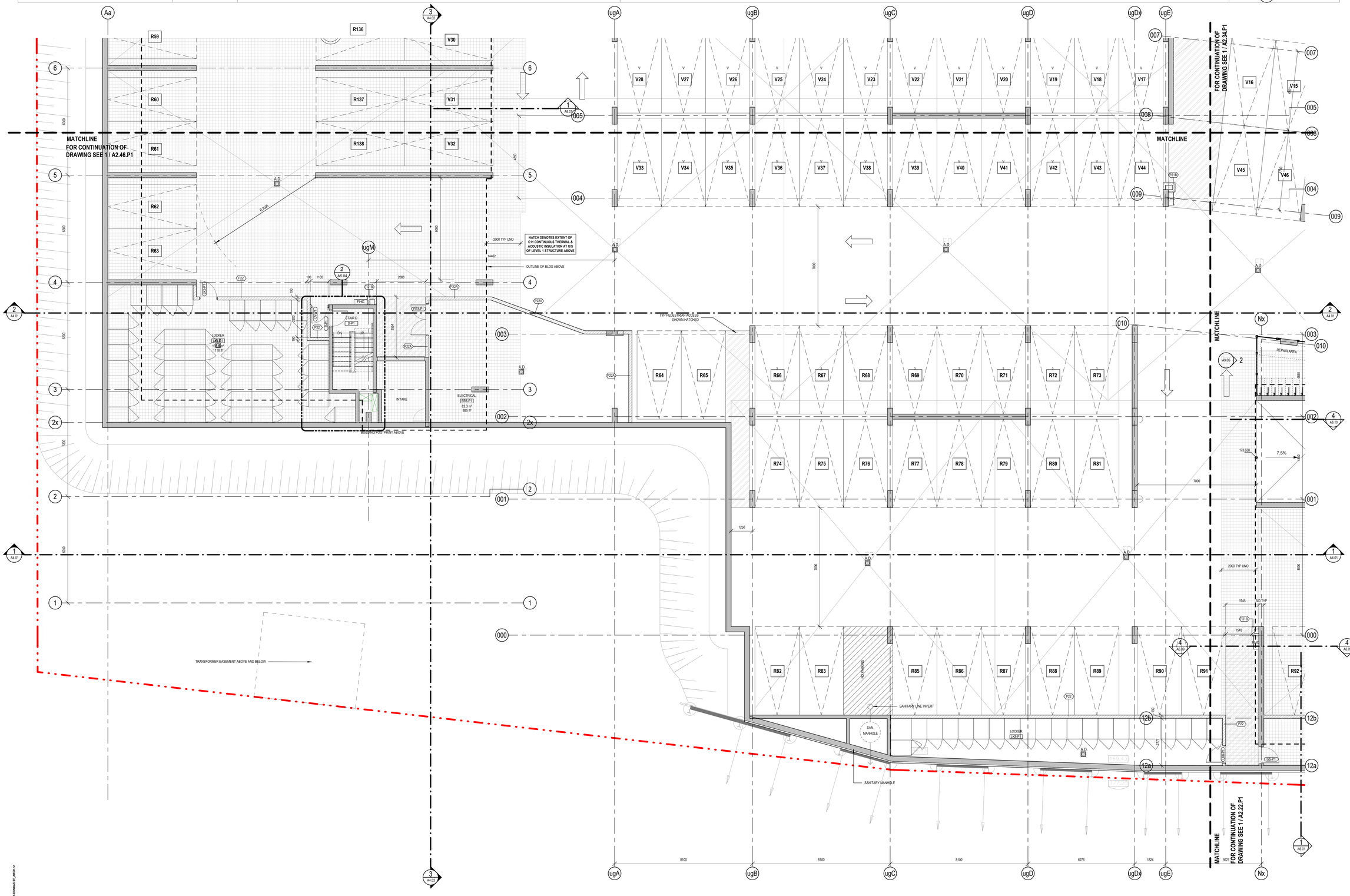
STATIONARY KITCHEN ISLAND WITH RECEPTACLE IN MILLWORK

GENERAL LEGEND AND NOTES:

- Unit 1 — SUITE LEGAL NUMBER
- B1 F — UNIT TYPE
- 101 — MUNICIPAL NUMBER
- DASH LINE DENOTES BUILDING ABOVE
- BARRIER FREE
- HATCH DENOTES IN SUITE BARRIER FREE PATH OF TRAVEL
- HATCH DENOTES C4 AND C4A GYPSUM CEILING AND BULKHEAD INSIDE SUITES. SEE DETAIL D9A1.02.
- HATCH DENOTES C6 SUSPENDED ACOUSTIC GYPSUM CEILING. SEE DETAIL D5A1.02.
- HATCH DENOTES C10 LOW PROFILE ACOUSTIC GYPSUM CEILING.
- HATCH DENOTES C11 THERMAL & ACOUSTIC SLAB INSULATION
- HATCH DENOTES C8 FIRE-RATED SHAFTWALL CEILING
- HATCH DENOTES S1/S1A SOFFIT. SEE ELECTRICAL FOR HEAT TRACING
- HATCH DENOTES PEDESTRIAN ACCESS

1. SHADED AREA DENOTES BULKHEADS AND DROP CEILINGS AT ALL RESIDENTIAL UNITS. SEE MECHANICAL DRAWINGS FOR COVERING OF HVAC DUCTS. DROP CEILINGS AND FURRING AS REQUIRED FOR INSTALLATION AND ENCLOSURE OF MECHANICAL AND ELECTRICAL SERVICES.
2. REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS.
3. CORRIDOR OUTSIDE OF SUITE TO BE C4 CEILING TYPE ON ALL TYPICAL FLOORS, EXCEPT FOR LEVEL 4 (5TH FLOOR) AND LEVEL 8 (9TH FLOOR). LEVEL 4 (5TH FLOOR) AND LEVEL 8 (9TH FLOOR) TO BE C9 ACT CEILING TYPE. REFER TO INTERIOR DESIGN DRAWING FOR SCOPE AND FINISHES.
4. BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE SLOPED AWAY FROM BUILDING FOR DRAINAGE. PROVIDE SCUPPER DRAIN OR BALCONIES WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAINS. SEE PLANS FOR LOCATIONS.
5. PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALL AND FLOOR PENETRATION AS REQUIRED. REFER TO MECHANICAL DRAWINGS & ACOUSTICAL REPORT.
6. REFER TO WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND INSECT SCREEN.
7. PROVIDE ALL FURRING SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
8. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPE AND SHAFT SLEEVE REQUIREMENTS.
9. ALL BATHROOM CEILINGS TO BE CONSTRUCTED AS C4A CEILING TYPE. PROVIDE ACOUSTICAL BATTS IN ALL BATHROOM PIPE SPACES AND BATHROOMS ADJACENT TO BEDROOMS.
10. AT ALL STAIR PRESSURIZATION SHAFT ENCLOSURES, NO SERVICES SHALL BE ALLOWED TO PENETRATE, OR PASS THRU THIS ENCLOSURE.
11. ELEVATOR:
    a. ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE ELEVATOR SUPPLIER. COORDINATE SHAFT SIZE AND REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
    b. ELEVATOR PITS SHALL BE CO-ORDINATED WITH ELEVATOR SUPPLIER.
    c. ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MIN. FIRE RESISTANCE RATING OF 90 MIN.
    d. AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION TOP OF CONCRETE BLOCK AT FLOOR SLABS.
    e. ELEVATOR PIT LADDERS TO BE GALVANIZED STEEL AND EXTEND 1200mm ABOVE SILL. LADDERS TO BE SUPPLIED & INSTALLED BY GENERAL CONTRACTOR.
12. LOCKER ROOM NOTES:
    a. ALL LOCKER ASILES WIDTH TO BE 1100mm (TYP.). LOCKERS TO BE CONSTRUCTED WITH 6"x6" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH. PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILINGS TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT. REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
13. BICYCLE SPACE NOTES:
    a. ALL BICYCLE SPACES TO BE WALL MOUNTED SINGLE BICYCLE RACK.

KEY PLAN



1 ENLARGED PARTIAL PLAN - PARKING P1
1 : 75

Baron Nelson Architects Inc.
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Mechanical Engineering
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Sprinkler Design
Deluex Sprinkler Design
80 Tiverton Ct, Suite T00, Markham, Ontario, L3R 0G4

Metric Scale Drawing

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7	ISSUED FOR ACOUSTIC CONSULTANT	2022/08/22
8	ISSUED FOR BUILDING PERMIT RESUBMISSION	2022/08/29
9	ISSUED FOR CONDITIONAL PERMIT	2022/08/30
10	ISSUED FOR CONSTRUCTION	2022/10/17
11	ISSUED FOR PARKING AMENDMENTS	2025-01-28

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Last Issued For: **ISSUED FOR PARKING AMENDMENTS 2025-01-28**

The Wilmot
1005 Dundas Street East, Oakville, Ontario L6H 7E8

THE WILMOT CONDOS

1005 Dundas Street Inc.
230-7181 Woodbine Ave, Markham, Ontario L3R 1A3

DEVELOPMENT

Project Number: **1901**

North

Seal: ONTARIO ASSOCIATION OF ARCHITECTS — MARIANNE STYK — REGISTERED ARCHITECT

Title: **PARTIAL PLAN PARKING P1 PART 4**

Scale: As indicated
Plot Date: 2025-01-28 12:22:41 PM
Number: **A2.54.P1**

Autodesk Docs://WP Sale+Dev/1901 1005 DUNDAS ST_JV/01+1