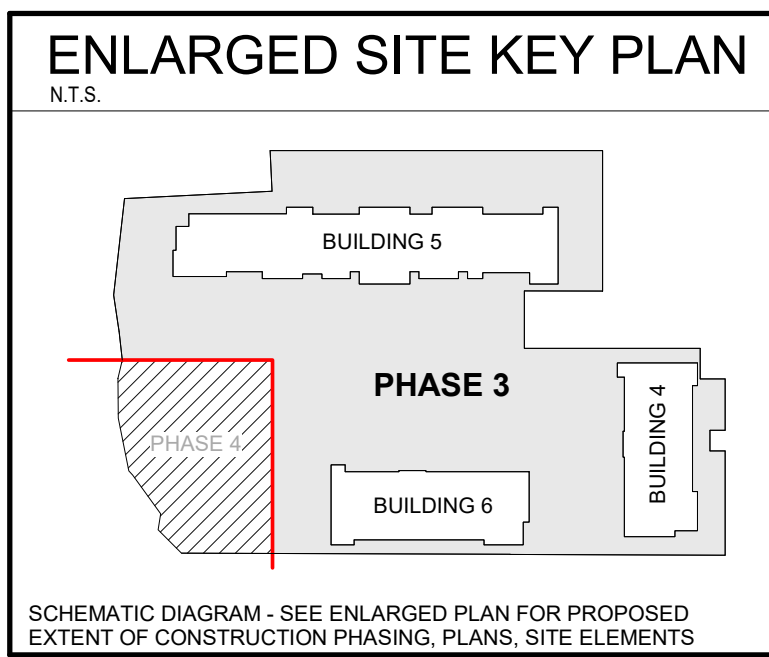


SITE PARKING SUMMARY		
CATEGORY	PROVIDED SPACES	REQUIRED SPACES
RESIDENT/TENANT PARKING	532	1.06 SPACES/UNIT
VISITOR PARKING	101	0.20 SPACES/UNIT
NON-RES PARKING (CALCULATED @ 90% OF GFA)	N/A	N/A
SUB TOTAL	633	633
TANDEM PARKING	0	N/A
TOTAL PARKING	633	633
ACCESSIBLE PARKING RESIDENT (INCL. IN PARKING TOTAL)	8	
ACCESSIBLE PARKING VISITOR (INCL. IN PARKING TOTAL)	5	13
TOTAL ACCESSIBLE PARKING	13	(2% OF TOTAL)
RESIDENT BICYCLE PARKING	195	
VISITOR BICYCLE PARKING	42	200 (MAXIMUM)
MINIMUM PARKING SIZES		2600mm x 5200mm
STANDARD PARKING		2900mm x 5200mm
BARRIER FREE PARKING		

UNDERGROUND AREA STATISTICS			
Level	Name	TOTAL CONST. AREA	
		SM	SF
UNDERGROUND LEVEL 1	OVERALL CONSTRUCTION AREA	11,804 m²	127,058 ft²
UNDERGROUND LEVEL 2	OVERALL CONSTRUCTION AREA	11,804 m²	127,058 ft²
TOTAL UNDERGROUND CONSTRUCTION AREA		23,608 m²	254,117 ft²



KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

[illegible]

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

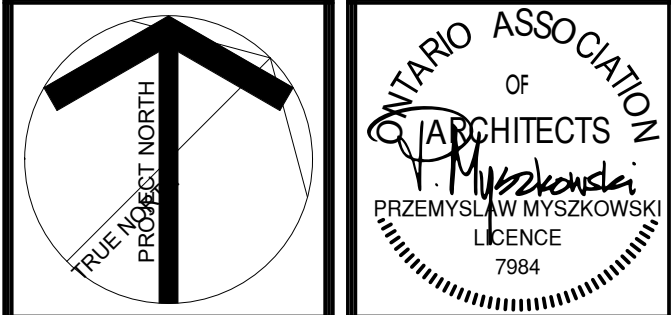
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BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH
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CLOCKWORK PH3

BLDG 4 - OAKVILLE, ONTARIO
BLDG 5 - OAKVILLE, ONTARIO
BLDG 6 - OAKVILLE, ONTARIO

DRAWING SHEET TITLE:

OVERALL SITE PLAN

DRAWING SCALE: As indicated		PROJECT NUMBER: 22402	
DRAWN BY: Author	CHECKED BY: Checker	DRAWING SHEET NUMBER: A001	
DRAWING VERSION:			
PLOT DATE:			



GENERAL NOTES

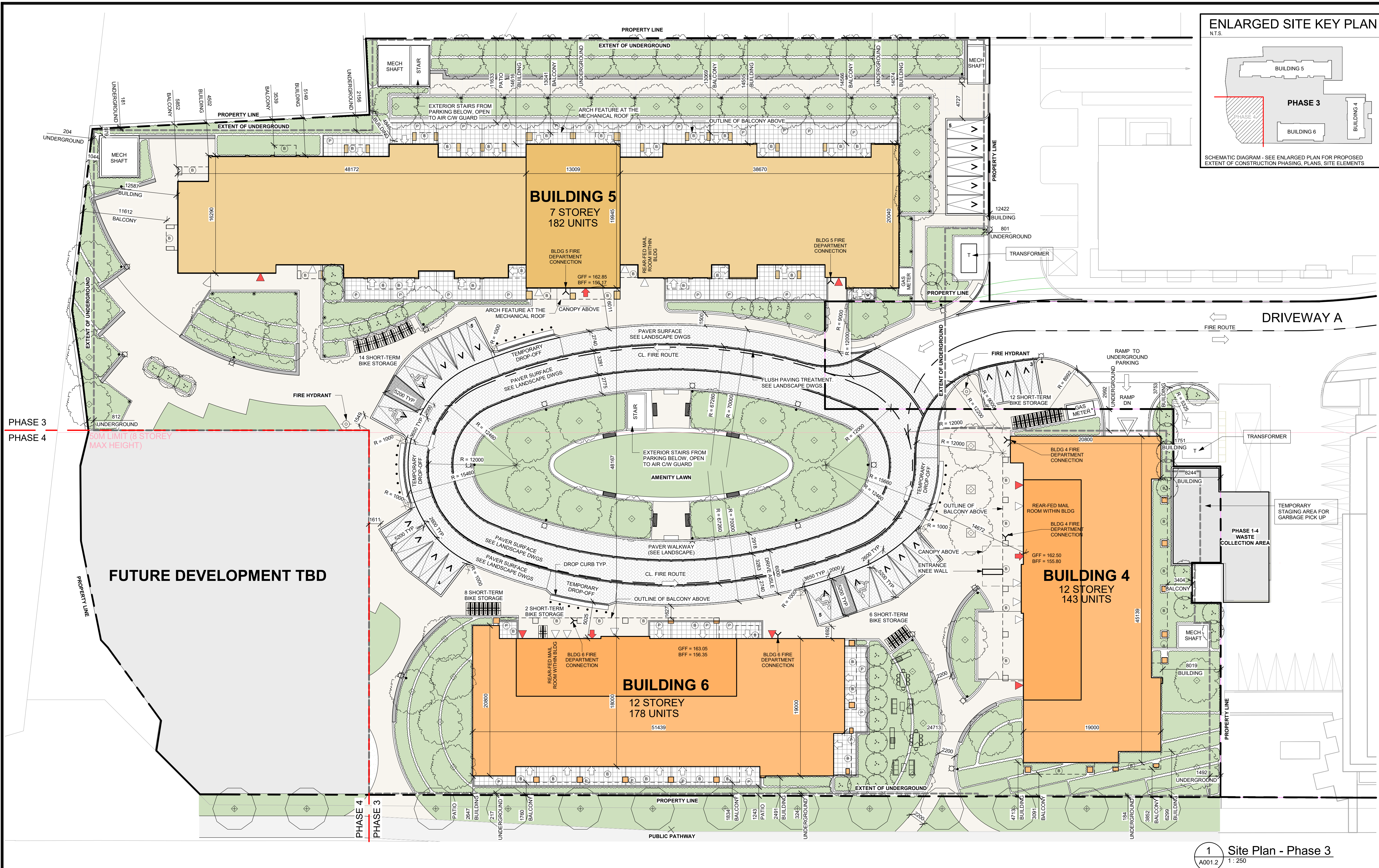
1. DESIGN PROPOSED/SHOWN IS PREPARED IN METRIC UNITS. ALL IMPERIAL DIMENSIONS/MEASUREMENTS SHOWN ARE APPROXIMATE FROM METRIC.
2. TYPICAL CURB RADIUS 500mm UNLESS OTHERWISE DIMENSIONED
3. SNOW MANAGEMENT
4. A. THE PROPERTY MANAGER IS REQUIRED TO REMOVE SNOW OFF SITE AND MAINTAIN REQUIRED PARKING UNLESS OTHERWISE INDICATED BY THE CITY OF SNOW REMOVAL. SNOW WILL BE REMOVED FROM SITE BY PRIVATE COMPANY.
5. B. THE PROPERTY MANAGER IS REQUIRED TO REMOVE SNOW AND ICE FROM ALL EXIT PATHS AND STAIRS.
6. C. SNOW WILL BE REMOVED FROM SITE BY PRIVATE COMPANY.
4. PARKING
5. A. STALL DELINEATION TO BE 100MM WIDE WHITE OR YELLOW PAINT MARKINGS
6. B. VISITOR SPACES TO BE IDENTIFIED WITH PAINTED 'V'
3. C. RESIDENTIAL PARKING TO BE MARKED WITH PAINTED NUMBERS
4. D. VISITOR SPACES INCLUDING GARAGES AND VISITOR SPACES ARE FOR VISITOR USE EXCEPT AS INDICATED BY ICON PER LEGEND AS TENANT SPACE
6. LOCATION OF GUARDS PROTECTING OPENINGS TO ACCESS UNDERGROUND PARKADE ARE IDENTIFIED ON PLAN. SIGNAGE TO BE PROVIDED TO BE PART OF FUTURE COMPLETE ARCHITECTURAL DRAWINGS & ENGINEERED SHOP DRAWINGS BY SYSTEM MANUFACTURER ISSUED FOR CONSTRUCTION.

LEGEND		
	"PRINCIPAL ENTRANCE" AS PER ONTARIO BUILDING CODE AND FIRE ACCESS/FIRE CODE	
	BLDG EXITS	
	SECONDARY DOOR, SERVICE/PERSON	
	EXCLUSIVE USE DOOR	
	UNDERGROUND PARKING GARAGE ENTRY	
	PATIO AT GND LEVEL (EXCLUSIVE USE)	
	BALCONY ABOVE _____	
	(2 ND TO TOP FLOOR)	
	(RETRACTABLE BALCONY SYSTEM)	
		SITE TRAFFIC CONTROL SIGNAGE: Pavement markings and signage are to be implemented as per the Traffic Control/Pavement Markings (Drawing No. TCP-101 & TCP-102) by GHD TEXT Ra-1 STOP SIGN Ra-1.1 ALL WAY STOP SIGN Rb-51.1 NO PARKING Rb-93 ACCESSIBLE PARKING SIGN SN-1 FIRE ACCESS ROUTE SN-2 VISITOR PARKING SIGN SN-3 LOADING SPACE SIGN SN-5 VISITOR PARKING ONLY AD AREA DRAIN (SEE CIVIL DRAWINGS) DC DEPRESSED CURB (SEE CIVIL DRAWINGS)
		TR 1.1m TERRACE RAILING > SEE LANDSCAPE DRAWINGS PD 1.8m PRIVACY DIVIDER > --- EXTENT OF UNDERGROUND (SEE A200) — SURFACE PAINTED SYMBOL OF ACCESSIBILITY  HYDRANT (SEE CIVIL DWG) Y FIRE DEPARTMENT CONNECTION STREETLIGHT (SEE ELEC. DWG.)  WALL MT. EXT. LIGHT (SEE ELEC. DWG)  GROUND MT. EXT. LIGHT (SEE ELEC. DWG)

SITE HATCH KEY

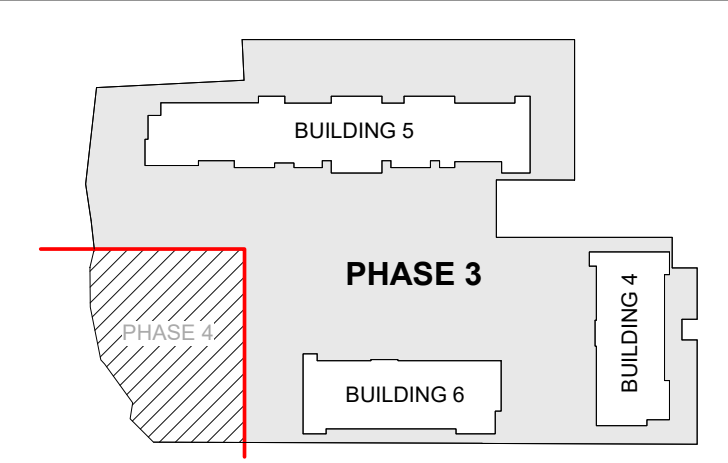
	GROUND FLOOR BUILDING FOOTPRINT		UNIT PAVING, SEE LANDSCAPE PLANS
	PEDESTRIAN NETWORK		SOD, SHRUBS, SEE LANDSCAPE PLANS
	PUBLIC PATHWAYS (MATERIAL AS NOTED)		CONCRETE, SEE LANDSCAPE PLANS
	LINE PAINTING PEDESTRIAN CROSSING		RETAINING WALL, SEE LANDSCAPE PLANS
	LOADING/LAY-BY		
	LINE PAINTING		
	GROUND FLOOR TERRACE [EXCLUSIVE USE BY ADJACENT SUITE]		
			
			
			
			
			
			
			
			
			
			
			

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ENLARGED SITE KEY PLAN

N.T.S.



SCHEMATIC DIAGRAM - SEE ENLARGED PLAN FOR PROPOSED EXTENT OF CONSTRUCTION PHASING, PLANS, SITE ELEMENTS

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK

ALL DRAWINGS MAY BE TO BE SUBJECT TO CHANGE DUE TO COMMENTS FROM MUNICIPAL DEPARTMENTS AND OTHER AGENCIES WITH AUTHORITY

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK

THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK

KEY TO DETAIL LOCATION

No. DETAIL NUMBER
No. DRAWING SHEET NUMBER

DRAWING SETS ISSUED
SPA SUBMISSION 1

No. DATE (DD.MM.YY) BY
1 10.05.24 KNYMH

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING No. DATE (DD.MM.YY) BY

1 10.05.24 KNYMH

NOT FOR CONSTRUCTION

BUILDING PERMIT NUMBER:

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TRUE NORTH
PROJECT NORTH

mattamyHOMES

CLOCKWORK PH3

BLDG 4 - OAKVILLE, ONTARIO
BLDG 5 - OAKVILLE, ONTARIO
BLDG 6 - OAKVILLE, ONTARIO

DRAWING SHEET TITLE:

ENLARGED SITE PLAN

DRAWING SCALE: As indicated
PROJECT NUMBER: 22402

DRAWN BY: Author
CHECKED BY: Checker

DRAWING VERSION: A001.2

PLOT DATE:

LEGEND

	PRINCIPAL ENTRANCE AS PER ONTARIO BUILDING CODE AND FIRE ACCESS/FIRE CODE
	BLDG EXITS
	SECONDARY DOOR, SERVICE/PERSON
	EXCLUSIVE USE DOOR
	UNDERGROUND PARKING GARAGE ENTRY
	PATIO AT GND LEVEL (EXCLUSIVE USE)
	BALCONY ABOVE...
	(2ND TO TOP FLOOR) (RETRACTABLE BALCONY SYSTEM)
	AD AREA DRAIN (SEE CIVIL DRAWINGS)
	DC DEPRESSED CURB (SEE CIVIL DRAWINGS)
	SITE TRAFFIC CONTROL SIGNAGE: Pavement markings and signage are to be implemented as per the Traffic Control/Pavement Marking Plans (Drawing No. TCP-101 & TCP-102) by GHD
	Ra-1 STOP SIGN
	Ra-11 ALL WAY STOP SIGN
	Rb-S1L NO PARKING
	Rb-S1L ACCESSIBLE PARKING SIGN
	SN-1 FIRE ACCESS ROUTE
	SN-2 VISITOR PARKING SIGN
	SN-3 LOADING SPACE SIGN
	SN-5 VISITOR PARKING ONLY
	TR 1.1m TERRACE RAILING SEE LANDSCAPE DRAWINGS
	PD 1.8m PRIVACY DIVIDER SEE LANDSCAPE DRAWINGS
	U EXTENT OF UNDERGROUND (SEE A200)
	S SURFACE PAINTED SYMBOL OF ACCESSIBILITY
	H HYDRANT (SEE CIVIL DWG.)
	F FIRE DEPARTMENT CONNECTION
	SL STREETLIGHT (SEE ELEC. DWG.)
	W WALL MT. EXT. LIGHT (SEE ELEC. DWG.)
	G GROUND EXT. LIGHT (SEE ELEC. DWG.)

SITE HATCH KEY

	GROUND FLOOR BUILDING FOOTPRINT
	PEDESTRIAN NETWORK
	PUBLIC PATHWAYS (MATERIAL AS NOTED)
	LINE PAINTING PEDESTRIAN CROSSING
	LOADING/LAY-BY
	LINE PAINTING
	GROUND FLOOR TERRACE (EXCLUSIVE USE BY ADJACENT SUITE)
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	UNIT PAVING, SEE LANDSCAPE PLANS
	SOD, SHRUBS, SEE LANDSCAPE PLANS
	CONCRETE, SEE LANDSCAPE PLANS
	RETAINING WALL, SEE LANDSCAPE PLANS