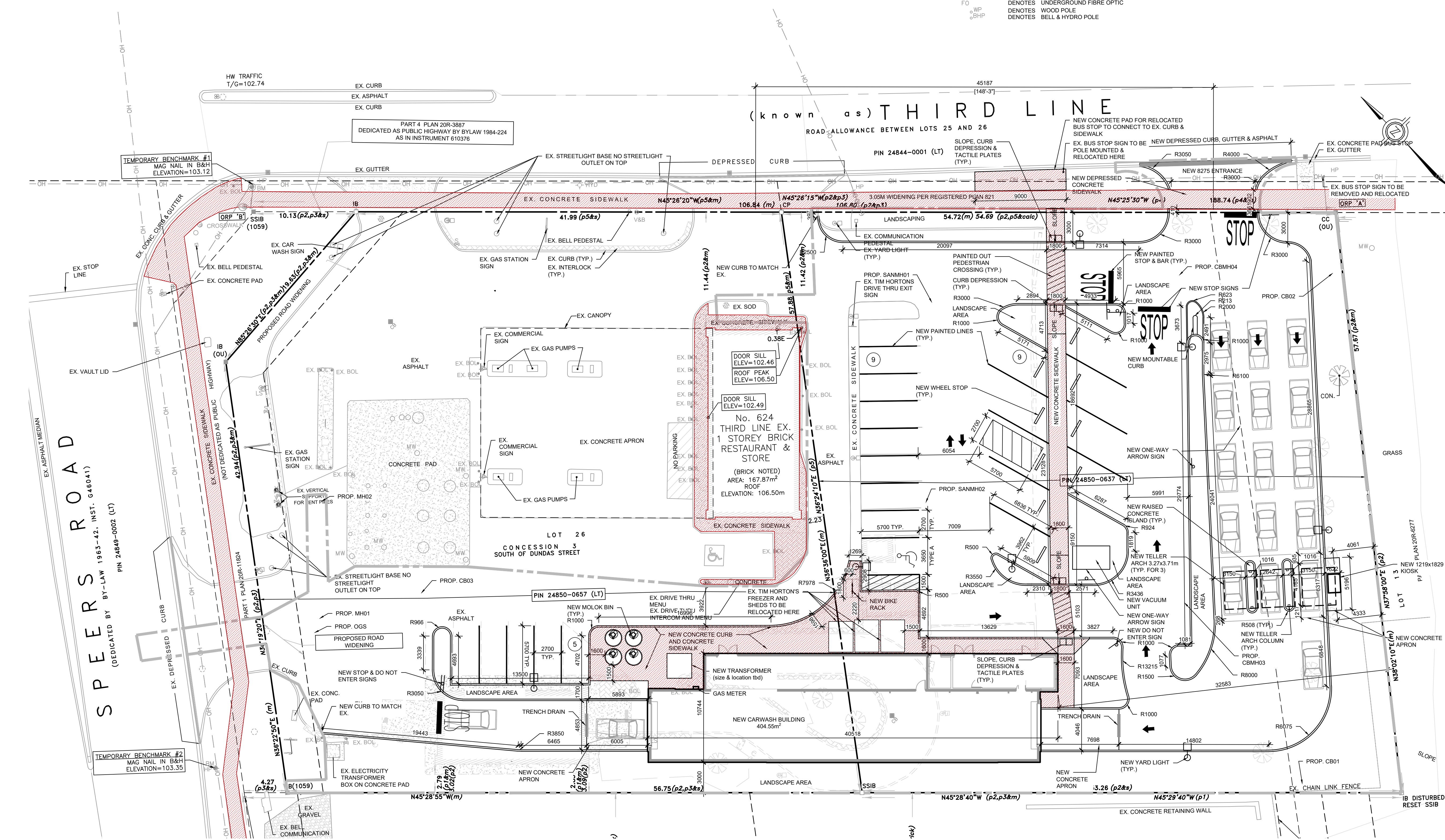
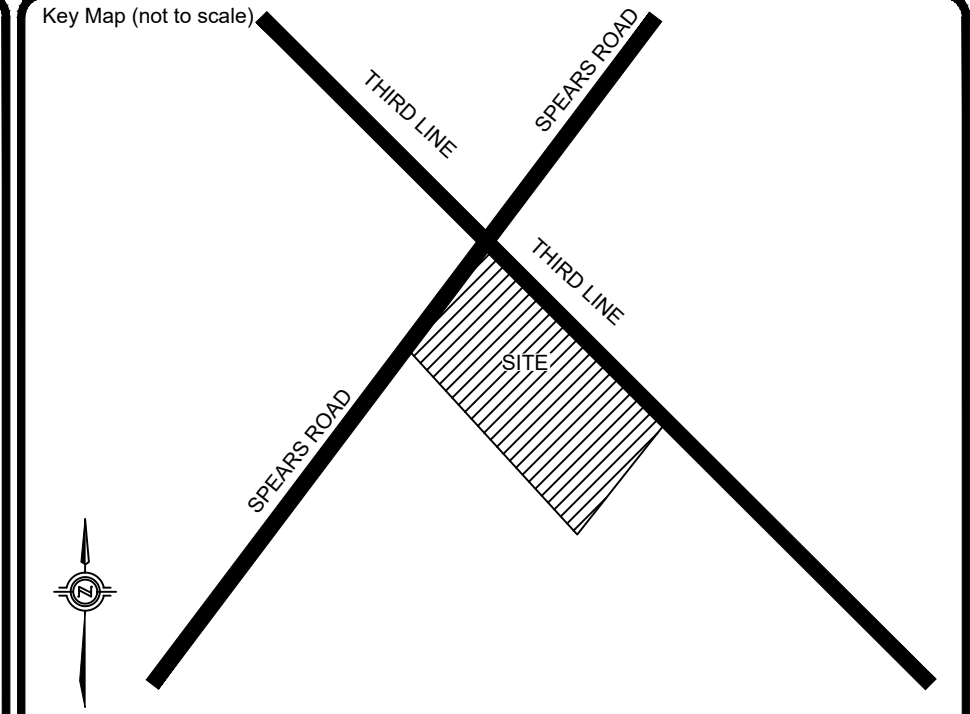


DEVELOPMENT STATISTICS		
ZONING E4 - BY-LAW 2014-014		
DEVELOPMENT AREA	REQUIREMENTS	PROPOSED
MINIMUM LOT FRONTAGE	30m	110m
MINIMUM LOT DEPTH	-	55.9m
LANDSCAPE BUFFER	MIN. 3m ALONG THIRD LINE	
MIN. REQUIRED FRONT YARD & EXTERIOR SIDE YARD SETBACK	3.0m FRONT YARD & 3.0m EXTERIOR SIDE YARD	35.7m FRONT YARD & 32.5m EXT. SIDE YARD
MINIMUM REAR YARD	7.5m TO ACCESSORY STRUCTURES	BUILDING - 32.5m PAYSTATION CANOPY - 3.0m
MIN. REQUIRED INTERIOR SIDE YARD SETBACK	3.0m	3.0m
REQUIRED LANDSCAPE AREA	10% OF LOT AREA	18%
MAXIMUM BUILDING HEIGHT	6.0m MAX.	TOP OF PARAPET - 6.1m TOP OF TOWER - 7.32m
MIN. 2-WAY TRAFFIC DRIVE AISLE	6.0m	6.0m
CARWASH QUEUING	8 SPACES PER WASH BAY + 2 AT CARWASH EXIT	21+2
EXISTING PARKING	1 PER 100sq.m. (167.8sq.m./100 = 1.68 = 2 SPACES)	9
NEW PARKING (2.7m x 5.7m)	1 PER 100sq.m. (415sq.m./100 = 4.15 = 5 SPACES)	13
BARRIER-FREE PARKING	1 TYPE A 3.65x5.7m + 1.5m ACCESS AISLE	1
TOTAL PARKING	8	23

- GENERAL NOTES:**
- ALL DIMENSIONS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS MUST BE VERIFIED BY THE GC PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF CIRCLE K'S REPRESENTATIVE.
 - ALL WORK TO BE DONE BY THE GC UNLESS NOTED OTHERWISE.
 - EVERYTHING TO BE CONSIDERED NEW UNLESS NOTED OTHERWISE.
 - MAKE GOOD ALL AREAS DISTURBED DURING CONSTRUCTION.
 - EXISTING CARWASH TO BE DECOMMISSIONED & REMOVED. NEW CAR WASH TO BE CONSTRUCTED.
 - GC IS RESPONSIBLE FOR ALL LOCATES BEFORE CONSTRUCTION START.
 - TOPOGRAPHIC SURVEY INFORMATION: BY EGIS SURVEYING INC. DRAWING NO. 25-0632 DATED MARCH 19, 2025.
 - LEGAL INFORMATION: PIN 24850-0637 (LT) LT 12 & PT LT 13, PL 821, AS IN 745741 OAKVILLE WILSON MAC'S CONVENIENCE STORES INC. PIN 24850-0657 (LT) PT LT 26, CON 3 TRAFALGAR, SOUTH OF DUNDAS STREET, AS IN 56150, EXCEPT PT "4" 20R3887, "AND EXCEPT PT 1 20R11824"; OAKVILLE/TRAFALGAR AMENDED APR 12 99 J MENARD
 - FIRE ROUTE SIGNAGE TO MEET TOWN OF OAKVILLE

- LEGEND**
- CONC. DENOTES ANCHOR CONCRETE
 - DEC. CON. DENOTES TREE
 - IB DENOTES DECIDUOUS CONIFEROUS
 - SSIB DENOTES FENCE LINE (TYPE NOTED)
 - OC DENOTES CONCRETE CURB
 - CP DENOTES SPOT ELEVATION
 - (m) DENOTES SET
 - (p1) DENOTES PLAN OF SURVEY BY TMK DATED JULY 12, 2024
 - (p2) DENOTES SPR BY W.M. FENTON LIMITED DATED APRIL 12, 1996
 - (p3) DENOTES PLAN 20R-11824
 - (p4) DENOTES PLAN 20R-22628
 - (p5) DENOTES PLAN 20R-3887
 - (p6) DENOTES PLAN 20R-8277
 - (950) DENOTES CUNNINGHAM MCCONNELL LIMITED, O.L.S.
 - (1059) DENOTES W.M. FENTON LIMITED, O.L.S.
 - (OU) DENOTES ORIGIN UNKNOWN
 - ORP DENOTES OBSERVED REFERENCE POINT
 - N DENOTES NORTH
 - S DENOTES SOUTH
 - E DENOTES EAST
 - W DENOTES WEST
 - LS DENOTES LIGHT STANDARD
 - FH DENOTES FIRE HYDRANT
 - CB DENOTES CATCH BASIN
 - MH DENOTES MANHOLE
 - T/G DENOTES TOP OF GRATE
 - UB DENOTES SUBJECT PROPERTY BOUNDARY LINE EASEMENT
 - G DENOTES UNDERGROUND GAS
 - W DENOTES UNDERGROUND WATER MAINS
 - LH DENOTES UNDERGROUND HYDRO
 - OH DENOTES OVERHEAD HYDRO
 - UB DENOTES UNDERGROUND PHONE LINE
 - S DENOTES UNDERGROUND SANITARY LINE
 - ST DENOTES UNDERGROUND STORM LINE
 - UB DENOTES BELL
 - LNK DENOTES UNKNOWN
 - FO DENOTES UNDERGROUND FIBRE OPTIC
 - SHIP DENOTES WOOD POLE
 - BP DENOTES BELL & HYDRO POLE



NOTE: THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL STAMPED ISSUED FOR CONSTRUCTION.

No.	REVISIONS	Date	By	App.
C	ISSUED FOR SPA	JUNE 22 2026	T.M.	C.F.
B	ISSUED FOR SPA	MAR 10 2026	E.D.	C.F.
A	ISSUED FOR INFORMATION	SEPT 29 2025	E.D.	C.F.

No.	REVISIONS	Date	By	App.
C	ISSUED FOR SPA	JUNE 22 2026	T.M.	C.F.
B	ISSUED FOR SPA	MAR 10 2026	E.D.	C.F.
A	ISSUED FOR INFORMATION	SEPT 29 2025	E.D.	C.F.

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- INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

Owner/Cliet:

CIRCLE K

MAC'S CONVENIENCE STORES INC. (CIRCLE K) - CENTRAL CANADA DIVISION
 305 MILNER AVE
 SUITE 400, TORONTO, ONTARIO M1B 3V4

Location:
**624 THIRD LINE
 OAKVILLE, ONTARIO**

Title:
SITE PLAN

Designed By:	Drawn By: T.M.	Checked By: C.F.
Scale: AS NOTED	Date: JANUARY 2024	Drawing No.:
Project No.: BRM-0060364-P1		A01

DRAWING No. A01

A SITE PLAN
 SCALE 1:200

