



**THE CORPORATION OF THE TOWN OF
OAKVILLE BY-LAW NUMBER 2026-XXX
(DRAFT)**

A by-law to amend the North Oakville Zoning By-law 2009-189, as amended, to permit the use of lands described as Part of Lot 12, Concession 1, NDS (1816986 Ontario Inc.; **File Z.XXXX.XX**)

COUNCIL ENACTS AS FOLLOWS:

1. Map 12(5) of By-law 2009-189, as amended, is further amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Part 8, Special Provisions, of By-law 2009-189, as amended, is further amended by adding new Sections **8.XX** as follows:

8.X	340 Burnhamthorpe Road East and 3437 Trafalgar Road	Parent Zone: TUC
Map 12(5)	(Part of Lot 12, Concession, NDS)	(BY-LAW #)
8.X.1 – Permitted Uses		
The following uses are permitted:		
a)	Permitted uses in the Trafalgar Urban Core zone subject to the zone regulations of the TUC Zone unless modified below.	
b)	Townhouse Dwelling, Townhouse Dwelling Back-to-Back, and Stacked Townhouse Dwelling, subject to the standards of the Neighbourhood Centre (NC) zone unless modified below.	
8.X.2 – Zone Regulations for All Lands		
a)	Minimum and maximum <i>floor space index</i> shall not apply.	
b)	Maximum front yard and flankage yard shall not apply.	
c)	No minimum required residential and residential visitor parking spaces.	
d)	No minimum required parking spaces for non-residential uses, except supermarket and commercial retail.	
e)	Minimum height of the first storey for an apartment	4m

	building or mixed-use building.	
f)	Minimum required commercial retail parking ratio.	1/100 m ² LFA
g)	Notwithstanding any severance, partition or division of the lands subject to this Special Provision, the regulations of each Block identified in Schedule 'C' shall apply to the whole of such lands as if no severance, partition or division had occurred.	
8.X.3 – Additional Zone Regulations for Block 3		
The following additional regulations shall apply to all lands identified as Block 3 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	11 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	1.5 m
e)	Minimum east building <i>setback</i>	1.5 m
f)	Minimum south building <i>setback</i>	7.5 m
g)	Minimum west building <i>setback</i>	5.0 m
8.X.4 – Additional Zone Regulations for Block 6		
The following additional regulations shall apply to all lands identified as Block 6 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	8 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	3 m
e)	Minimum east building <i>setback</i>	1.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	1.5 m
8.X.5 – Additional Zone Regulations for Block 7		
The following additional regulations shall apply to all lands identified as Block 7 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	6 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	1.5 m
e)	Minimum east building <i>setback</i>	1.5 m

f)	Minimum south building <i>setback</i>	7.5 m
g)	Minimum west building <i>setback</i>	1.5 m
8.X.6 – Additional Zone Regulations for Block 9		
The following additional regulations shall apply to all lands identified as Block 9 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	8 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	1.5 m
e)	Minimum east building <i>setback</i>	1.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	3.0 m
8.X.7 – Additional Zone Regulations for Block 10		
The following additional regulations shall apply to all lands identified as Block 10 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	8 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	5.0 m
e)	Minimum east building <i>setback</i>	7.5 m
f)	Minimum south building <i>setback</i>	5.0 m
g)	Minimum west building <i>setback</i>	1.5 m
8.X.8 – Additional Zone Regulations for Block 11		
The following additional regulations shall apply to all lands identified as Block 11 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	8 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	5.0 m
e)	Minimum east building <i>setback</i>	7.5 m
f)	Minimum south building <i>setback</i>	3.0 m
g)	Minimum west building <i>setback</i>	1.5 m
8.X.9 – Additional Zone Regulations for Block 12		

The following additional regulations shall apply to all lands identified as Block 12 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	8 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	3.0 m
e)	Minimum east building <i>setback</i>	7.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	1.5 m

8.XX	340 Burnhamthorpe Road East and 3437 Trafalgar Road	Parent Zone: TUC-2
Map 12(5)	(Part of Lot 12, Concession, NDS)	(BY-LAW #)
8.XX.1 – Permitted Uses		
The following uses are permitted:		
a)	Permitted uses in the Trafalgar Urban Core zone subject to the zone regulations of the TUC Zone unless modified below.	
b)	Townhouse Dwelling, Townhouse Dwelling Back-to-Back, and Stacked Townhouse Dwelling, subject to the standards of the Neighbourhood Centre (NC) zone unless modified below.	
8.XX.2– Zone Regulations for All Lands		
a)	Minimum and maximum <i>floor space index</i> shall not apply.	
b)	Maximum front yard and flankage yard shall not apply.	
c)	No minimum required residential and residential visitor parking spaces.	
d)	No minimum required parking spaces for non-residential uses, except supermarket and commercial retail.	
e)	Minimum height of the first storey for an apartment building or mixed-use building.	4.0 m
f)	Minimum required commercial retail parking ratio.	1/100 m ² LFA
g)	Notwithstanding any severance, partition or division of the lands subject to this Special Provision, the regulations of each Block identified in Schedule 'C' shall apply to the whole of such lands as if no severance, partition or division had occurred.	
8.XX.3 – Additional Zone Regulations for Block 5		

The following additional regulations shall apply to all lands identified as Block 5 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	18 storeys
b)	Maximum <i>floor space index</i>	5.25
c)	Minimum non-residential <i>floor area</i>	1,500 m ²
d)	Minimum north building <i>setback</i>	1.5 m
e)	Minimum east building <i>setback</i>	3 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	1.5 m

8.XX.4 – Additional Zone Regulations for Block 8

The following additional regulations shall apply to all lands identified as Block 8 identified in Schedule 'C'		
a)	Maximum <i>building height</i>	18 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	0.0 m ²
d)	Minimum north building <i>setback</i>	5.0 m
e)	Minimum east building <i>setback</i>	1.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	7.5 m

8.XXX	340 Burnhamthorpe Road East and 3437 Trafalgar Road	Parent Zone: TUC-3
Map 12(5)	(Part of Lot 12, Concession, NDS)	(BY-LAW #)
8.XXX.1 – Permitted Uses		
The following uses are permitted:		
a)	Permitted uses in the Trafalgar Urban Core zone subject to the zone regulations of the TUC Zone unless modified below.	
b)	Townhouse Dwelling, Townhouse Dwelling Back-to-Back, and Stacked Townhouse Dwelling, subject to the standards of the Neighbourhood Centre (NC) zone unless modified below.	
c)	Supermarket.	
8.XXX.2– Zone Regulations for All Lands		
a)	Minimum and maximum <i>floor space index</i> shall not apply.	

b)	Maximum front yard and flankage yard shall not apply.	
c)	No minimum required residential and residential visitor parking spaces.	
d)	No minimum required parking spaces for non-residential uses, except supermarket and commercial retail.	
e)	Minimum height of the first storey for an apartment building or mixed-use building.	4.0 m
f)	Minimum required supermarket parking ratio.	1/30 m ² LFA
g)	Minimum required commercial retail parking ratio.	1/100 m ² LFA
h)	A minimum of 50% of the first storey shall be utilized for commercial or institutional uses, shall not apply.	
i)	Notwithstanding any severance, partition or division of the lands subject to this Special Provision, the regulations of each Block identified in Schedule 'C' shall apply to the whole of such lands as if no severance, partition or division had occurred.	

8.XXX.3 – Additional Zone Regulations for Block 1

The following additional regulations shall apply to all lands identified as Block 1 identified in **Schedule 'C'**

a)	Maximum <i>building height</i>	30 storeys
b)	Maximum <i>floor space index</i>	7.5
c)	Minimum non-residential <i>floor area</i>	7,500 m ²
d)	Minimum north building <i>setback</i>	5.0 m
e)	Minimum east building <i>setback</i>	1.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	5.0 m

8.XXX.4 – Additional Zone Regulations for Block 2

The following additional regulations shall apply to all lands identified as Block 2 identified in **Schedule 'C'**

a)	Maximum <i>building height</i>	24 storeys
b)	Maximum <i>floor space index</i>	6.5
c)	Minimum non-residential <i>floor area</i>	5,000 m ²
d)	Minimum north building <i>setback</i>	1.5 m
e)	Minimum east building <i>setback</i>	1.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	5.0 m

8.XXX.5 – Additional Zone Regulations for Block 4

The following additional regulations shall apply to all lands identified as Block 4 identified in **Schedule 'C'**

a)	Maximum <i>building height</i>	24 storeys
b)	Maximum <i>floor space index</i>	5.0
c)	Minimum non-residential <i>floor area</i>	2,000 m ²
d)	Minimum north building <i>setback</i>	5.0 m
e)	Minimum east building <i>setback</i>	7.5 m
f)	Minimum south building <i>setback</i>	1.5 m
g)	Minimum west building <i>setback</i>	1.5 m

3. Section 9, Holding Provisions, of By-law 2009-189, as amended, is further amended by adding a new Section 9.5.XX as follows:

HXX	340 Burnhamthorpe Road East and 3437 Trafalgar Road (Part of Lot 12, Concession, NDS)	Parent Zone: TUC
Map 12(5)		(BY-LAW #)
9.5.XX.1 Conditions for Removal of the “H”		
<p>The “H” symbol shall, upon application by the Owner, be removed for all or part of a block by Town Council passing a By-law under Section 36 of the Planning Act. The following condition(s) shall first be completed to the satisfaction of the Town of Oakville:</p>		
a)	<p>Prior to any development proceeding on the site, as identified in Figure 8.XX.1, the Owner shall provide written confirmation from the Region of Halton that:</p> <ul style="list-style-type: none"> i. The Owner has secured the appropriate amount of water and wastewater Servicing Allocation under the Region of Halton Allocation Program; ii. The Owner has signed the applicable Allocation Agreement or any required Amending Agreements; iii. The Owner has made all required payments associated with the Allocation Program; and <p>The Owner is in receipt of the Region of Halton Public Works Commissioner’s Notice (PWCN) letter.</p>	
b)	<p>Prior to any development proceeding on the site, as identified in Figure 8.XX.1, the Owner shall provide written confirmation from the Region of Halton that:</p> <ul style="list-style-type: none"> i. The Owner has secured the appropriate amount of water and wastewater Servicing Allocation under the Region of Halton Allocation Program; ii. The Owner has signed the applicable Allocation Agreement or any required Amending Agreements; iii. The Owner has made all required payments associated with the Allocation Program; and <p>The Owner is in receipt of the Region of Halton Public Works Commissioner’s Notice (PWCN) letter.</p>	

SCHEDULE A TO BY-LAW NUMBER 20XX-XX

This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

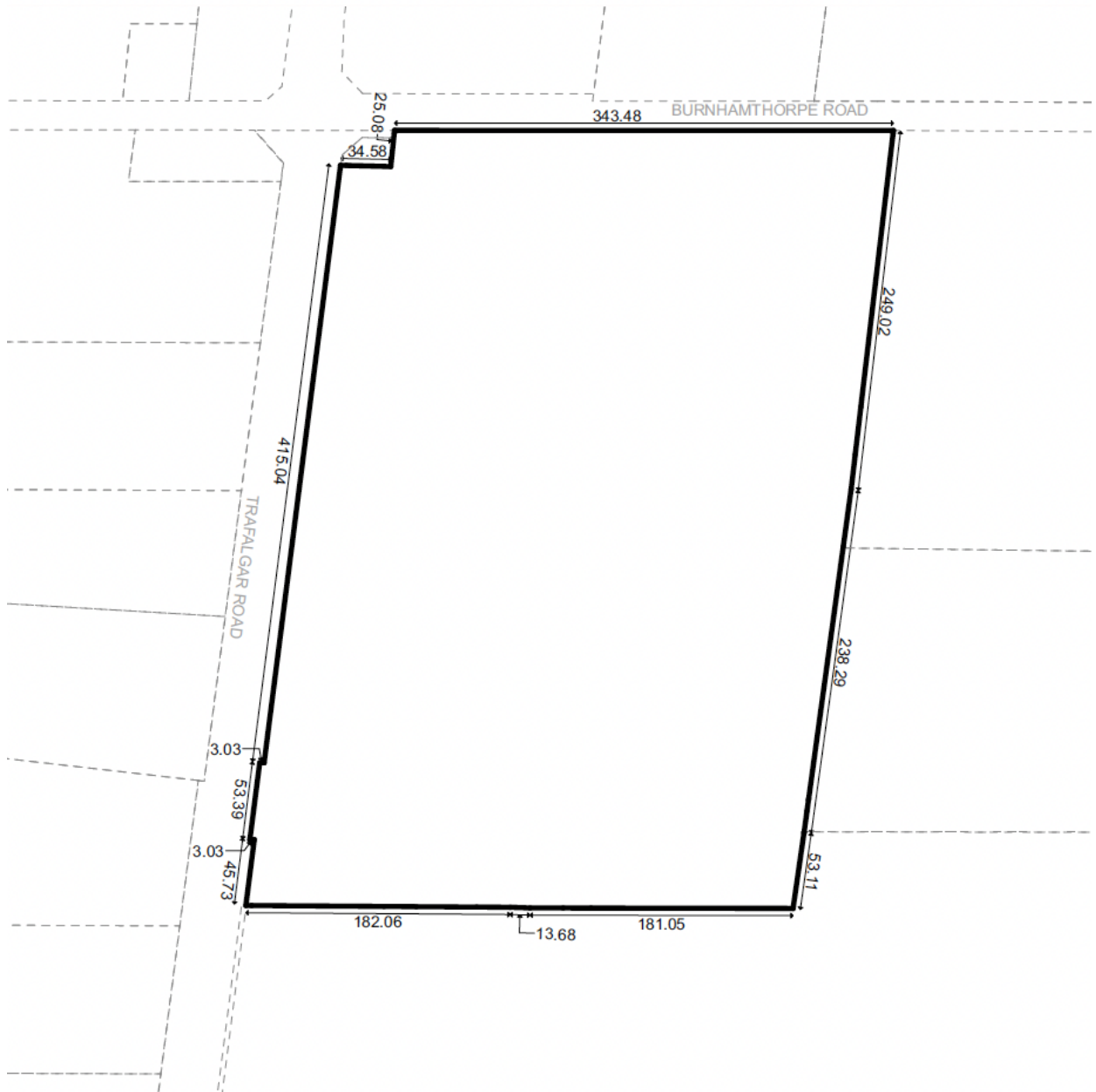
PASSED this ## day of MONTH, 2026

MAYOR

CLERK

SCHEDULE "A"

Town of Oakville By-Law No.: xxxx



ZBL Diagram 1

340 Burnhamthorpe Road East
& 3437 Trafalgar Road

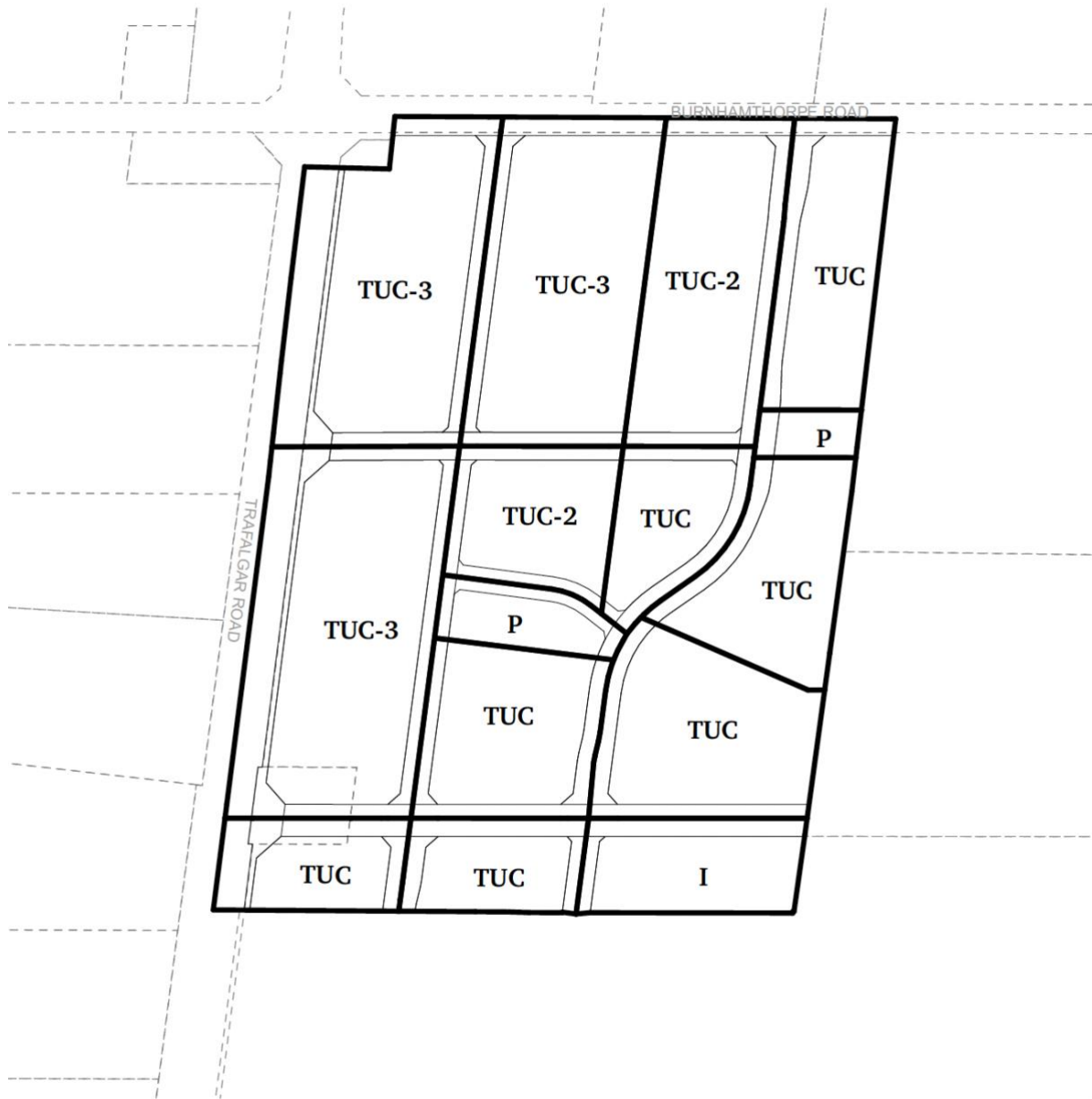
NOTE: ALL DIMENSIONS ARE IN METRES

Not To Scale
2026-02-26



SCHEDULE "B"

Town of Oakville By-Law No.: xxxx



ZBL Diagram

**340 Burnhamthorpe Road East
& 3437 Trafalgar Road**

NOTE: ALL DIMENSIONS ARE IN METRES

Not To Scale
2026-04-06



SCHEDULE "C"

Town of Oakville By-Law No.: xxxx



ZBL Diagram 3

**340 Burnhamthorpe Road East
& 3437 Trafalgar Road**

NOTE: ALL DIMENSIONS ARE IN METRES

Not To Scale
2026-02-26

