



1.0 PROJECT REPORT COVER PAGE

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 P058

PROJECT INFORMATION:

Corporate Project Number:

13181-P

MTCS Project Number:

P058-914-2013

Investigation Type:

Stage 1 Archaeological Background Study

Project Name:

Merton Tertiary Plan

Project Location:

Part of Lots 26, 27, 28, 29, 30 & 31,
 Concession 2 South of Dundas Street
 (Geographic Township of Trafalgar South,
 County of Halton),
 Town of Oakville, Regional Municipality of Halton.

APPROVAL AUTHORITY INFORMATION:

File Designation Number:

Not Currently Available

REPORTING INFORMATION:

Site Record/Update Forms:

N/A

Date of Report Filing:

08 March 2017

Type of Report:

REVISED

2.0 EXECUTIVE SUMMARY

This report describes the results of the 2013 Stage 1 Archaeological Background Study of Merton Tertiary Plan, 1401 Bronte Road, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, Regional Municipality of Halton, conducted by AMICK Consultants Limited. This study was conducted under Professional Archaeologist License #P058 issued to Michael Henry by the Minister of Tourism and Culture for the Province of Ontario. This assessment was undertaken as a requirement under the Planning Act (RSO 1990b) in order to support proposed Official Plan Amendments for the Town of Oakville. All work was conducted in conformity with Ontario Ministry of Tourism and Culture (MTC) Standards and Guidelines for Consultant Archaeologists (MTC 2011), the Ontario Heritage Act (RSO 1990a), and the Ontario Heritage Amendment Act (SO 2005).

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Background Study of lands contained within the planning boundary of the Merton Tertiary Plan on 07 March 2013. A detailed photoreconnaissance of the study area was conducted on 01 April 2013. All records, documentation, field notes, photographs and artifacts (as applicable) related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited.

The Town of Oakville describes the Merton Tertiary Plan area and the objectives of the tertiary plan process as follows:

“The Town of Oakville has initiated a study of the Merton lands, the undeveloped lands generally located on the north side of the QEW and south of Upper Middle Road between Bronte Road and Third Line. The Liveable Oakville Plan identifies these lands as a Special Policy Area for potential future development and directs that the area be studied comprehensively to determine future land uses and policies.

The Merton lands were settled in 1812 as an ideal location halfway between Dundas Street and Lakeshore Road. The name ‘Merton’ came from a local settler, Ed Wrench, who originated from Merton, England. The community grew to include a blacksmith service, two schools, a Methodist church, post office, orchards and mixed farming. Merton began to decline in the early 1900s with the loss of the post office, low church attendance and the development of the Queen Elizabeth Way. Merton is now a part of Oakville with several properties of heritage significance to be considered through the study.

There are two major landowners within the Study Area, Bronte Green Corporation and the Province of Ontario, both have expressed interest in developing their lands and have initiated technical studies in support of future development applications. Approvals for individual site development applications on these lands shall be considered premature until the necessary comprehensive studies are completed.

Staff has worked with the major landowners, the Region of Halton and Conservation Halton to develop a study process. This process will be facilitated by the town and will consist of four components:

- 1. Technical Reports – to be completed by the landowners’ consultants and relating to natural heritage, servicing and infrastructure, transportation, noise, vibration, odour, archaeology and phasing.*
- 2. Tertiary Plan – land use options to be developed with town Planning staff and participating landowners within the study area, utilizing the Livable Oakville policies and schedules, and the initial constraint information from the Technical Reports.*
- 3. Peer Review – the town has retained a Peer Review Consultant to assist with the review of the technical reports and Tertiary Plan, and coordination of all internal and external agency comments.*
- 4. Applications and Approvals – The Tertiary Plan will be implemented through proposed amendment(s) to the Livable Oakville Plan and later through individual development applications for zoning and draft plan of subdivision approvals.”*

(Town of Oakville 2012)

As a result of the Stage 1 Background Research, the study area has been identified as an area of archaeological potential. However, no property within the study area is so disturbed as to remove all archaeological potential. Therefore, Stage 2 Property Assessment should be required for all properties, or portions of properties, not previously assessed. Background research also indicates that a large portion of the study area has been subject to archaeological assessment in the past. These areas do not require reassessment. Previous assessments completed within the limits of the study area did document a number of archaeological sites. It is further recommended that select sites previously documented be further investigated through Stage 3 Site-specific Assessment.

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** MAPS CONTAINING ARCHAEOLOGICAL SITE LOCATION DATA ARE FILED WITH THE SUPPLEMENTARY REPORT PACKAGE UNDER SEPARATE COVER.*

4.0 PROJECT PERSONNEL

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5.0 PROJECT BACKGROUND

5.1 DEVELOPMENT CONTEXT

This report describes the results of the 2013 Stage 1 Archaeological Background Study of Merton Tertiary Plan, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, Regional Municipality of Halton, conducted by AMICK Consultants Limited. This study was conducted under Professional Archaeological License #P058 issued to Michael Henry by the Minister of Tourism and Culture for the Province of Ontario. This assessment was undertaken as a requirement under the Planning Act (RSO 1990b) in order to support proposed Official Plan Amendments for the Town of Oakville. All work was conducted in conformity with Ontario Ministry of Tourism and Culture (MTC) Standards and Guidelines for Consultant Archaeologists (MTC 2011), the Ontario Heritage Act (RSO 1990a), and the Ontario Heritage Amendment Act (SO 2005).

The Merton Tertiary Planning Study area is identified as an area for potential future development in Livable Oakville policy 26.5. As such, on October 16, 2012, Town Council approved the development of a Tertiary Plan that will identify land use designations and policies for the entire Study Area. A number of technical studies are required to be completed as set out in Livable Oakville policy 26.5. A terms of reference for the Merton Tertiary Planning Study was developed in response to the Town's requirement for comprehensive studies to be completed prior to development proceeding. The subject study responds to the Town's Terms of Reference.

The Study Area consists of approximately 234 gross hectares and is located north of the Queen Elizabeth Way (north of the North Service Road), east of Bronte Road (and includes some parcels of land located on the west side of Bronte Road), south of Upper Middle Road and west of existing residentially developed lands west of Third Line. A map of the study area is provided in Figure 1.

Currently, the Saw Whet and the Deerfield Golf Courses, existing rural residential, an Ontario Hydro right-of-way, the Mid-Halton Pollution Control Plant, an existing designated heritage cemetery, and the Region of Halton Offices and Halton Regional Policy Headquarters occupy the subject lands. Fourteen Mile Creek and natural heritage features associated with Bronte Creek traverses through the Study Area.

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Background Study of lands contained within the planning boundary of the Merton Tertiary Plan on 07 March 2013. A detailed photoreconnaissance of the study area was conducted on 01 April 2013. All records, documentation, field notes, photographs and artifacts (as applicable) related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited.

5.2 HISTORICAL CONTEXT

As part of the present study, background research was conducted in order to determine the archaeological potential of the proposed project area.

“A Stage 1 background study provides the consulting archaeologist and Ministry report reviewer with information about the known and potential cultural heritage resources within a particular study area, prior to the start of the field assessment.” (OMCzCR 1993)

The evaluation of potential is further elaborated Section 1.3 of the Standards and Guidelines for Consultant Archaeologist (2011) prepared by the Ontario Ministry of Tourism and Culture:

“The Stage 1 background study (and, where undertaken, property inspection) leads to an evaluation of the property’s archaeological potential. If the evaluation indicates that there is archaeological potential anywhere on the property, the next step is a Stage 2 assessment.” (MTC 2011: 17)

Features or characteristics that indicate archaeological potential when documented within the study area, or within close proximity to the study area (as applicable), include:

- “ - *previously identified archaeological sites*
 - *water sources (It is important to distinguish types of water and shoreline, and to distinguish natural from artificial water sources, as these features affect site locations and types to varying degrees.):*
 - *primary water sources (lakes, rivers, streams, creeks)*
 - *secondary water sources (intermittent streams and creeks, springs, marshes, swamps)*
 - *features indicating past water sources (e.g., glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, cobble beaches)*
 - *accessible or inaccessible shoreline (e.g., high bluffs, swamp or marsh fields by the edge of a lake, sandbars stretching into marsh)*
 - *elevated topography (e.g., eskers, drumlins, large knolls, plateaux)*
 - *pockets of well-drained sandy soil, especially near areas of heavy soil or rocky ground*
 - *distinctive land formations that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use, such as burials, structures, offerings, rock paintings or carvings.*
 - *resource areas, including:*
 - *food or medicinal plants (e.g., migratory routes, spawning areas, prairie)*
 - *scarce raw materials (e.g., quartz, copper, ochre or outcrops of chert)*
 - *early Euro-Canadian industry (e.g., fur trade, logging, prospecting, mining)*

- areas of early Euro-Canadian settlement. These include places of early military or pioneer settlement (e.g., pioneer homesteads, isolated cabins, farmstead complexes), early wharf or dock complexes, pioneer churches and early cemeteries. There may be commemorative markers of their history, such as local, provincial, or federal monuments or heritage parks.
- Early historical transportation routes (e.g., trails, passes, roads, railways, portage routes)
- property listed on a municipal register or designated under the Ontario Heritage Act that is a federal, provincial or municipal historic landmark or site
- property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations”

(MTC 2011: 17-18)

The evaluation of potential does not indicate that sites are present within areas affected by proposed development. Evaluation of potential considers the possibility for as yet undocumented sites to be found in areas that have not been subject to systematic archaeological investigation in the past. Potential for archaeological resources is used to determine if property assessment of a study area or portions of a study area is required.

“Archaeological resources not previously documented may also be present in the affected area. If the alternative areas being considered, or the preferred alternative selected, exhibit either high or medium potential for the discovery of archaeological remains an archaeological assessment will be required.”

(MCC & MOE 1992: 6-7)

“The Stage 1 background study (and, where undertaken, property inspection) leads to an evaluation of the property’s archaeological potential. If the evaluation indicates that there is archaeological potential anywhere on the property, the next step is a Stage 2 assessment.”

(MTC 2011: 17)

In addition, archaeological sites data is also used to determine if any archaeological resources had been formerly documented within or in close proximity to the study area and if these same resources might be subject to impacts from the proposed undertaking. This data was also collected in order to establish the relative significance of any resources that might be encountered during the conduct of the present study. For example, the relative rarity of a site can be used to assign an elevated level of significance to a site that is atypical for the immediate vicinity. The requisite archaeological sites data of previously registered archaeological sites was collected from the Programs and Services Branch, Culture Programs Unit, MTCS and the corporate research library of AMICK Consultants Limited. The Stage 1 Background Research methodology also includes a review of the most detailed available topographic maps, historical settlement maps, archaeological management plans (where applicable) and commemorative plaques or monuments. When previous archaeological research documents lands to be impacted by the proposed undertaking or archaeological sites within 50 metres of the study area, the reports documenting this earlier work are reviewed for

pertinent information. AMICK Consultants Limited will often modify this basic methodology based on professional judgment to include additional research (such as, local historical works or documents and knowledgeable informants).

5.2.1 CURRENT CONDITIONS

The Town of Oakville describes the Merton Tertiary Plan area as follows:

“The Town of Oakville has initiated a study of the Merton lands, the undeveloped lands generally located on the north side of the QEW and south of Upper Middle Road between Bronte Road and Third Line. The Liveable Oakville Plan identifies these lands as a Special Policy Area for potential future development and directs that the area be studied comprehensively to determine future land uses and policies.

The Merton lands were settled in 1812 as an ideal location halfway between Dundas Street and Lakeshore Road. The name ‘Merton’ came from a local settler, Ed Wrench, who originated from Merton, England. The community grew to include a blacksmith service, two schools, a Methodist church, post office, orchards and mixed farming. Merton began to decline in the early 1900s with the loss of the post office, low church attendance and the development of the Queen Elizabeth Way. Merton is now a part of Oakville with several properties of heritage significance to be considered through the study.

There are two major landowners within the Study Area, Bronte Green Corporation and the Province of Ontario, both have expressed interest in developing their lands and have initiated technical studies in support of future development applications. Approvals for individual site development applications on these lands shall be considered premature until the necessary comprehensive studies are completed.”

(Town of Oakville 2012)

The location of the study area is illustrated in Figure 1 of this report.

5.2.2 GENERAL HISTORICAL OUTLINE

The County of Halton was named after Major William Mathew Halton, who was the Secretary to the Upper Canada provincial Lieutenant-Governor Sir Francis Gore in 1805. United Empire Loyalists were the first settlers in the area and arrived in the early 1780s. The United Empire Loyalists chose to settle in the southern part of the county and immigrants from the British Isles settled the northern part. The area was officially designated a county in 1816 and was originally part of Gore District and consisted of 4 townships: Esquesing, Nassageweya, Nelson and Trafalgar Township.

The Township of Trafalgar was opened to settlers in 1806 after the lands from the Mississauga Purchase were surveyed. Samuel Wilmot surveyed the Township and a segment of his original survey is included in this report (see Figure 3). The Township was named

after the Battle of Trafalgar, where the British defeated the Spanish and French fleets. Within 4 years settlers within the area had already constructed schools and churches within villages (Oakville Fine Homes 2011).

Merchant and shipbuilder Colonel William Chisholm founded the Village of Oakville in 1827. Chisholm purchased 960 acres of Crown Land at the mouth of Sixteen Mile Creek and he then established the first privately owned harbor in Upper Canada. This harbor created a hub for trade between Hamilton, Toronto and foreign cities. In 1834, Oakville was declared a Port of Entry into Canada where William Chisholm was the first Customs Inspector. When incorporated as a town in 1857, his son George Chisholm became Oakville's first mayor. The current Town of Oakville includes the surrounding townships of Trafalgar and Bronte, which were amalgamated in 1962 (Town of Oakville 2011).

Robert Gourlay's *Statistical Account of Upper Canada* (Gourlay 1974) originally published in 2 volumes in 1822, includes the following description of Trafalgar Township from 1817. The 31st item provides a particularly vivid description of the hardships of early settlement.

“At a meeting of the inhabitants of our township, held on the 27th November, 1817, at the house of Daniel Munn, innkeeper, the following answers were framed in reply to your queries, as they appeared to us in the Niagara Spectator.

9th. The surface of the land is level; the topsoil is clay, mixed with loam and a little gravel; under that is clay, mostly of a red colour.

10th. Our timber consists of oak, two kinds, white and red; pine, very large, of the white kind; beech; maple, two kinds; sugar maple, and soft maple; ash, two kinds, the black or swamp ash, and white ash; basswood; hickory; elm; white and red; hemlock; ironwood; chestnut; some birch; quaking asp; some cedar; some butternut, and a little tamarack: the timber mostly large, and stands thick on the land.

11th. Respecting minerals, there is a considerable quantity of the mineral of iron, called bog ore; also a few salt springs of an inferior kind.

12th. Building stones, none, excepting a few, which may be found over the land of a very indifferent kind.

15th. Blacksmiths most generally work by the pound; that is, 7½ d. per lb. when the iron and steel are found, and is 1s. 3d. when the blacksmith finds the materials; to this there are some exceptions, but not many.

18th. The common custom of our township is to cut down no more at first than the timber which is a foot in diameter, measured about two feet and a half from the root of the tree, and all under that size; and the rest they girdle and kill with the axe. In this state it will produce nearly as good a crop as if all were cut down, and this only

costs 1 lb. 10 s. per acre; the rest of the timber is cut down by degrees, for fencing and for fire wood, &c.

21st. Beasts are turned out about the first of May, and taken in about the first of December.

22nd. Sleighing lasts about three months, that is, beginning about the first of January, and ends about the last of March. Ploughing begins about the 20th of April.

23rd. Season of sowing wheat is from the 25th of August till the 1st of October; the time of harvesting of said grain is from the twentieth of July till the end of August.

25th. Respecting pasture, as the wild woods constitute our principal pasture lands, we have not yet made sufficient experiments to enable us to answer your query; but our meadow lands will generally produce one ton per acre.

26th. The ordinary course of cropping in new land, is wheat the first year, harrowed in, and sometimes a crop of oats are harrowed in, in the spring, on the stubble; then it is sown down with Timothy or clover, or both together, and is used for meadow for three or four years, till the roots rot in the ground, and then ploughed up, after which peas or buckwheat are generally sown first, and then wheat, perhaps the same season; and then peas or buckwheat, or oats, and then wheat, and so on alternately; little or no manure is used, but corn land and orchards require it most.

27th. Land is frequently let on shares on the following terms: if new, the leaser finds the leasee in team, in boarding, in farming utensils, and in half the seed, and then receives half the produce. If old land, and the leasee finds every thing, the leasee has one third of the produce. Enough of land can be had on either of these ways.

28th. A farm of two hundred acres, with a log house, and a barn upon it, with 40 acres, cleared in the customary way, may be had for 375 l. If frame buildings are upon it, a greater price; but seldom in proportion to the buildings.

29th. The quantity of land for sale we cannot justly describe, but we suppose 3 or 4,000 acres; and there are but few farmers in our township, who would not even sell their improved farms, if they had the offer of a good price.

30th. The state of public roads at present is but indifferent; but they are capable of improvement at a very moderate expense. As the face of our country is generally level, great improvement might be made by means of canals and locks. Respecting our navigation, we are situated on the coast of lake Ontario, and thence we have benefit of all the adjoining waters. Besides we have two very fine streams, called the Twelve and Sixteen Mile Creeks; these can be made navigable for boats, some part of the year, four miles from the mouth, to communicate with our mills on Dundas Street.

The mouth of the Sixteen, where it empties into lake Ontario, is navigable for vessels of a considerable burden, and forms a safe and commodious harbour.

31st. The causes which retard the improvement of our township and the province are large and various. The first and principal cause you have already justly observed, that is, the want of capital; this may perhaps be best illustrated by facts: know then, that the greater number of our farmers, when they first settled in the wild woods, have little more property than a cow, a yoke of oxen, a log chain, and an axe; and some have little or no property at all but their axe alone. The family generally consist of a man and his wife, and a number of young children, unable to hire hands; the whole of the labour naturally devolves upon the man, and hence it is, that for six or seven years, till such time as the roots of the timber begin to rot in the ground, so that he can use the plough, and until the eldest of his children grows up to help him, his toil is incessant; four or five acres are all that he is able to clear and sow in a season, and that is generally put in so late, that it produces but little; so that the whole of his crop will scarcely support him through the year; but many times he has to work out for a part of his bread. Clothes he must have for himself and his family, and these must be got out of the store; and merchant's goods are very dear in this province; and as he hath nothing to pay with, he is obliged to go on credit. These in a few years soon run up high, so that by the time he gets his farm in such a state of improvement, as might enable him to live comfortable, he is frequently obliged to sell it, in order to pay off his debts. Such is the consequence of beginning poor. But this, you will observe, is only the gloomy side of things; for those who are so fortunate as to weather out the storm the first ten years, without sinking their plantations, are generally enabled to spend the remainder of their days in comfort. The scarcity of labourers, and the very high price of labour, so that the produce will scarcely pay pay the hands, forms another hindrance to the improvement of our township, and the province at large. Another hindrance is, that in many places of this province, large tracts of land been granted to certain individuals, and these being generally men of fortune, are under no necessity of selling their lands, but hold them to so high a price, that poor people are not able to buy them; again, there are many of these gentlemen gone out of the province, so that there is no opportunity to purchase from them; so it still remains a wilderness, and the poor people who are settled around such tracts, have roads to make, and every other public duty to perform, at their own expense, which greatly enhances to value of such land, to the great injury of the inhabitants.

Another hindrance respecting our township, is that a great number of lots are reserved for the crown and the clergy, and notwithstanding that these lots might be rented for 21 years, for a very small sum of money, yet the land, in this province, has hitherto been so plenty and cheap, that no one cares for renting the land, who can have it in fee simple: hence it is, that the greater number of them still remain unsettled; but when settlers become numerous, this evil will soon be done away.

“What, in our opinion, would contribute to the improvement of our township and the province at large, would be to encourage men of property into the country, to

purchase the waste lands of our province, which if sold even at a moderate price, would introduce such a flow of capital into our province, as would not only encourage a respectable race of settlers of every description, to come in and cultivate the face of the country, and turn the wilderness into fruitful fields, but it would also make trade and manufactures of all kinds flourish; then would our province no longer remain poor, neglected, and unknown to the world; but would become a respectable colony, not only able to support herself, but she would add a large revenue to the British Crown and her redundancies would contribute to feed the hungry, and clothe the poor of other nations.”

(Gourlay 1974: 179-182)

Further on in the same work, Gourlay provides a summary chart for the returns from the Gore District. His summary of Trafalgar Township notes that there are 97 inhabited houses, a population of 548 residents, no churches, 2 Methodist preachers, no medical practitioners, 3 schools, 0 stores, 4 taverns, 1 grist mill, and 4 saw mills. He also provides costs to hire various trades and prices paid for various agricultural products in the same chart (Gourlay 1974: 206).

5.2.3 LAND REGISTRY RECORDS

The Abstract Index of the Land Registry Office was examined at the provincial archives, to determine a sequence of ownership for each of the original Township Lots, which comprise the subject property. The information gathered at the archives is presented in the following tables associated with each Lot and Concession (Ontario Public Archives 2013).

Table 1 Land Registry Abstract Index for Lot 26, Concession 2

Instrument	Dated	Registered	From	To	Acres	Consideration
Patent	3 January 1828		Crown	Kings Collage	200	All
Bill of Sale	23 November 1852	1 April 1854	University of Toronto*	Charles Hilton	100	S1/2
Mortgage	9 November 1865	15 December 1865	Charles Hilton & Wife	Mary Wass	100	S1/2
Q. Claim	15 October 1869	5 February 1870	James W. Bowman	Samuel Albert Bowman		N 1/2
Dis of Mort	15 May 1872	17 May 1872	William Wass & Marry Wass his wife	Charles Hilton	100	S1/2
Bill of Sale	27 April 1872	26 August 1872	Jonas Bowman unmarried, on of the heirs at? Law of Samuel Bowman	Samuel Albert Bowman		all the undivided interest and share of the said party of the first part of into or out of N1/2 of lot 26.
Mortgage	10 January 1879	21 January 1873	Charles Hilton & Wife	Charles Elliot Hilton	100	The mortgage?

REVISED 2013 Stage 1 Archaeological Background Study of the Merton Tertiary Plan, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, R. M. of Halton (AMICK File #13181-P/MTCS File #P058-914-2013).

Will	16 January 1879	28 June 1880	Charles Hilton	*	100	S1/2*
Mortgage	29 November 1880	6 December 1880	Henry Hilton & Rebecca Hilton widow of Charles Hilton deceased	Mary Wass Wife of William Wass	100	S1/2*
Dis of Mort	18 December 1880	21 December 1880	Charles Elliott Hilton	Henry Hilton	100	S1/2*
Dis of Mort	*	*	Charles Elliott Hilton	Samuel Albert Bowman		
Dis of Mort	*	*	H*	*		
Dis of Mort	6 August 1885	11 September 1884	Joseph *	Samuel Albert Bowman		
Mortgage	29 May 1886	17 June 1886	Henry Hilton Unmarried	Mary Wass Wife of William Wass	100	S1/2
Dis of Mort	15 June? 1886	21 June 1886	Mary Wass wife of William Wass	Henry Hilton	100	S1/2
*	28 November 1887	10 February 1888	John Edward Barkeley Smith - Bursary of the University and College of Toronto	Samuel Albert Bowman	100	N1/2
Mortgage	29 May 1891	10 June 1891	Henry Hilton, Unmarried	Mary Wass Wife of William Wass	100	S1/2
Dis of Mort	8 June 1891	20 June 1891	Mary Wass wife of William Wass	Henry Hilton	100	S1/2
Mortgage	2 January 1893	11 January 1893	Albert R Lawrence, Unmarried	Samuel Albert Bowman	100	N1/2
Bill of Sale	*	*	Samuel Albert Bowman & Wife	Albert V.R. Lawrence		
Dis of Mort	5 June 1899	8 June 1899	Wary Wass	Henry Hilton		
Mortgage	29 May 1899	8 June 1899	Henry Hilton, Unmarried	Mary Wass Wife of William Wass	100	S1/2
Acquirement as to fruit trees?	1 September 1898	7 September 1899	Albert V. R. Lawrence	Ernest D. Smith	100	
Dis of Acquirement	13 May 1899	18 May 1899	Ernest D. Smith	Albert V. R. Lawrence		Acquirement N1/2

Table 2 Land Registry Abstract Index for Lot 27, Concession 2

Instrument	Dated	Registered	From	To	Acres	Consideration
Patent	8 February 1848		Crown	William Langtry	100	NE1/2

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Patent	19 April 1850		Crown	Robert Langtry	100	SW1/2
Patent	11 April 1851		Crown	Robert Langtry	100	SW1/2
Will	1 March 1862	17 March 1862	Robert Langtry	Sold on his wife's death	100	SW1/2
Bill of Sale	1 November 1870	2 November 1870	William Emerson & Mary Langtry Exec. To Will of Robert Langtry	John Harley	100	SW1/2 subject to occupation of log house & garden
Mortgage	1 November 1870	2 November 1870	John Harley	William Emerson, Mary Langtry Exec. Of the will of Robert Langtry	100	SW1/2
Mortgage	9 May 1871	10 May 1871	John Harley	Thomas Shaw	100	SW1/2
Mortgage	1 September 1871	12 September 1871	John Langtry, William Langtry & Mary Langtry widow of William Langtry deceased	William Lord Wilkinson	100	NE1/2
Mortgage	1 October 1872	3 October 1872	John Harley	John T. Shewell	100	SW1/2
Dis. of Mortgage	14 October 1872	26 October 1872	Thomas Shaw	John Harley	100	SW1/2
Dis. of Mortgage	2 October 1872	30 October 1872	William Emerson & Mary Langtry Exec. To Will of Robert Langtry	John Harley	100	SW1/2
Asst of Mortgage	17 April 1873	24 April 1873	John T. Shewell	William McCraney	100	SW1/2
Asst of Mortgage	24 April 1873	29 April 1873	William McCraney	Thomas Emerson	100	SW1/2
Asst of Mortgage	18 November 1873	25 November 1873	Thomas Emerson	Hilliace Thass	100	SW1/2
Asst of Mortgage	19 November 1873	25 November 1873	Hilliace Thass	Sarah Emerson wife of Thomas Emerson	100	SW1/2
Asst of Mortgage	5 January 1874	7 January 1874	Sarah Emerson wife of Thomas Emerson	Edward Canning Thompson	100	SW1/2
Asst of Mortgage	31 March 1874	6 May 1874	Edward Canning Thompson	John B. Keagey	100	SW1/2
Mortgage	17 October 1877	27 October 1874	John Harley	John & Joseph Featherstone	100	SW1/2

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Dis. of Mortgage	25 October 1877	27 October 1877	Jennie Glennice Keagey widow, with the will division and sale under the last will of John Binkley Keagey	John Harley	100	SW1/2
Exemplification of Pro of Will	12 December 1877	3 September 1878	William Langtry	*	100	S1/2?
Dis. of Mortgage	20 December 1878	24 January 1879	William Lord Wilkinson	John & William Langtry	100	NE1/2
Bill of Sale	28 May 1878	24 January 1879	John Langtry and James Langtry	David Kennedy	100	NE1/2
Mortgage	20 January 1879	24 January 1879	David Kennedy & wife	Esther Thomas widow	100	NE1/2
Asst of Mortgage	20 April 1881	6 May 1881	Esther Thomas	William Wass	100	NE1/2
Mortgage	1 October 1881	8 October 1881	John Harley	William Wass	100	NE1/2
Dis. of Mortgage	22 October 1881	25 October 1881	John & Joseph Featherstone	John Harley	100	SW1/2
Dis. of Mortgage	16 January 1884	22 January 1884	Hilliace Thass	David Kennedy	100	NE1/2
Dis. of Mortgage	20 October 1887	22 October 1887	Hilliace Thass	John Harley	100	SW1/2

Table 3 Land Registry Abstract Index for Lot 28, Concession 2

Instrument	Date	Grantor	Grantee	Consideration	Remarks
Patent	28 August 1810	Crown	David Utter	200	All
Bill of Sale	1 March 1814	David Utter	George Dorland	50	Part of Lot 28
Bill of Sale	5 July 1840	David Utter	David Utter	100	Part of Lot 28
Bill of Sale	4 March 1843	George Dorland Wife	John Dorland	50	Part of Lot 28
Bill of Sale	4 March 1828	Joseph Sears	James Abbot	50	
Bill of Sale	21 May 1846	P. Utter	William Utter	100	Part of Lot 28
Will	8 March 1850	James Abbot	Ms. (*) Abbot	-	
Bill of Sale	19 October 1853	David Utter	George Pettit	211	Lot 28 except 100 acres
Bill of Sale	3 November 1870	John Y. Dorland wife	Erastus Dorland	25	Southwesterly half of the northerly 50 acres of lot 28

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Bill of Sale	6 October 1880	William Utter and Jane Utter his wife	William Cyrus Inglehart, Cyrus William Utter, George Hobbblethwarte – Trustees of the M. E. Church	1	Part of West half
Probate of Will	21 March 184	John Dorland	Erastus Dorland & Mathilda Dorland	25	Easterly Half of North Quarters

Table 4 Land Registry Abstract Index for Lot 29, Concession 2

Instrument	Date	Grantor	Grantee	Consideration	Remarks
Patent	5 July 1853	Crown	George Langtry	100	North half
Patent	12 March 1854	Crown	William Peacock	50	Of West Quarter
Patent	18 April 1866	Crown	George Langtry	50	Of East Quarter
Probate of Will	29 November 1873	William Peacock	William George Peacock	50	West Half of Southerly Half
Will & Codicil	27 August 1881	George Langtry	His son Andrew Pettit Langtry	150	North Half and East Half Subject to payment of debts to legacies
Bill of Sale	8 August 1900	William George peacock & Wife	George William Peacock	-	Southwest Part

Table 5 Land Registry Abstract Index for Lot 30, Concession 2

Instrument	Date	Grantor	Grantee	Consideration	Remarks
Patent	3 January 1828	Crown	King's College	200	All
Deed Poll	14 January 1870	David Bucham as Burson of the University and Colleges at Toronto	James White	200	Lot 30
Certificate of Decree in Chancery	17 may 1876	James White a Lunatic by James Lyall White the Committee of his person and Estate and the aid James Lyall White, Plaintiffs	A John White (by Bill) and Mary Ellen Campbell, Paul Campbell, Celinda White and Laurisa White made by order bearing date the 12 day of October A.D. 1875, Defendants	-	Lot 30

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Deed of Confirmation	1 May 1877	William Laidlaw, Receivers & manager of the Estate of J & J white & James White (& Wife) declared a Lunatic, by James Lyall White, Committee of his person and Estate	The Public School Trustees of School Section No. 15 Township of Trafalgar	½	Part of South Half In Trust
Deed	31 May 1877	William Laidlaw, Receivers & manager of the Estate of J & J white & James White (& Wife) declared a Lunatic, by James Lyall White, Committee of his person and Estate	David Watson Campbell	200	Lot 30
Bill of Sale in Trust	3 Sept 1878	David Watson Campbell & Wife	The Public School Trustees of School Section No. 15 Township of Trafalgar	1	Part of South Half

Table 6 Land Registry Abstract Index for Lot 31, Concession 2

Instrument	Dated	Registered	From	To	Acres	Remarks
Patent	12 November 1825		Crown	William Balis	200	All
Bill of Sale	21 November 1825	16 February 1824	William Balis	David B. Balis	200	NW1/2
Bill of Sale	21 November 1825	24 March 1830	William Balis	Henry W. Balis	200	S1/2Part of lot 31
Bill of Sale	20 November 1839	1 January 1840	David B. Balis & Wife	Samuel B. Harrison	50	NW1/4
Bill of Sale	4 July 1844	4 November 1844	Samuel B. Harrison & Wife	John W. Harrison	50	NW1/4
Bill of Sale	3 July 1845	13 August 1845	John W. Harrison & Wife	William C Laidlaw	50	NW1/4
Bill of Sale	16 February 1844	24 July 1844	Henry Balis & Wife	John White	100	
Bill of Sale	16 February 1844	24 July 1844	David B. Balis & Wife	John White	50	

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Bill of Sale	15 February 1849	16 February 1849	John White	James White	150	
Mortgage	8 April 1850	16 April 1850	John White	James H.	150	
Dis. of Mortgage	26 September 1855	28 October 1855	James H	John White	150	
Mortgage	6 April 1858	6 April 1858	James White & Wife & Mother?	E* Life Association Co.	150	
Dis. of Mortgage	4 May 1861	13 July 1861	E.* Life Association Co.	James White	150	
Certificate of Decree in Chancery	17 May 1876	24 August 1876	James White a lunatic by James Lyall White the Exec. of his person and Estate. and the said James Lyall White	John White by Bill & Mary Ellice Campbell, Paul Campbell Celinda White & Louisa White * the order bearing date the 12 day of October A.D. 1875		part of lot 31
Deed	31 May 1877	1 June 1877	William Laidlaw, Receiver & Manger of the estate of J White & James White & Wife a lunatic, By James Lyall White. Committee of his person & estate	David Watson Campbell	150	S part
Mortgage	1 June 1877	1 June 1877	David Watson Campbell & Wife	William Laidlaw, receiver & manager of the estate of J & J White	150	S part and other land
Lease	1 June 1877	1 June 1877	David Watson Campbell	Eilinda White, wife of James White		The dwelling house & parcel of land in connection there with now in the pope peon of the said lessee and forming part of lot 31 for and dividing the natural life after said James White

* Information illegible due to the poor condition of the record

5.2.4 TAX ASSESSMENT ROLLS

Tax Assessment Rolls for the Township of Trafalgar South were examined at the provincial archives. Any available records for the 19th century were collected to compile a list of property occupants and details of their households and occupations, as available. Unlike Land Registry data, which documents ownership of land over time, Tax Assessment Rolls document residency at the time of the assessment. This data has been summarized as follows:

1825

Lot 28

George Darling – 20 Uncultivated/ 30 Cultivated Acres – Lot 28 Concession 2 – 3 persons over 16 years of age, 6 under – One frame dwelling under 2 story – 4 Milk Cows.

David Utter – 25 Uncultivated/ 25 Cultivated Acres – Lot 28 Concession 2 – 1 persons over 16 years of age – 2 Milk Cows.

Lot 29

John Armstrong – 95 Uncultivated/ 5 Cultivated Acres – Lot 29 Concession 2 – 1 persons over 16 years of age, 1 under – 2 Milk Cows.

1827

Lot 28

George Darling – 25 Uncultivated/ 25 Cultivated Acres – Lot 28 Concession 2 – 3 persons over 16 years of age, 7 under – One House.

David Utter – 80 Uncultivated/ 20 Cultivated Acres – Lot 28 Concession 2 – 5 persons over 16 years of age, 3 under – One House.

David P. Utter – 30 Uncultivated/ 20 Cultivated Acres – Lot 28 Concession 2 – 1 persons over 16 years of age, 1 under.

Lot 29

Joseph Adair – 88 Uncultivated/ 12 Cultivated Acres – Lot 28 Concession 2 – 2 persons over 16 years of age, 4 under – 1 Mill.

John S. Feetsel – 50 Uncultivated/ 50 Cultivated Acres – Lot 28 Concession 2 – 4 persons over 16 years of age, 3 under.

Archibald Armstrong – 88 Uncultivated/ 12 Cultivated Acres – Lot 28 Concession 2 – 4 persons over 16 years of age, 4 under.

Henry Kale – 75 Uncultivated/ 25 Cultivated Acres – Lot 28 Concession 2 – 3 persons over 16 years of age, 4 under.

Benjamin Kelley – 75 Uncultivated/ 25 Cultivated Acres – Lot 28 Concession 2 – 3 persons over 16 years of age, 2 under – 2 Houses.

1828

Lot 28

(?) Wilkins – 170 Uncultivated/ 30 Cultivated Acres – Lot 28 Concession 2 – 4 persons over 16 years of age, 4 under.

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Lot 29

George A. Cram – 80 Uncultivated/ 20 Cultivated Acres – Lot 28 Concession 2 – 4 persons over 16 years of age, 2 under.
William Cram – 80 Uncultivated/ 20 Cultivated Acres – Lot 28 Concession 2 – 7 persons over 16 years of age, 6 under.
John S. Feetsel – 50 Uncultivated/ 50 Cultivated Acres – Lot 28 Concession 2 – 5 persons over 16 years of age, 3 under.
Joseph Adair – 85 Uncultivated/ 15 Cultivated Acres – Lot 28 Concession 2 – 6 persons over 16 years of age, 3 under – 1 Framed Under 2 Story House.

1829

Lot 30

Joseph Hualland – 30 Uncultivated/ 20 Cultivated Acres – Lot 28 Concession 2 – 1 persons over 16 years of age, 3 under.

1831

Lot 28

George Darling – 20 Uncultivated/ 30 Cultivated Acres – Lot 28 Concession 2 – 6 persons over 16 years of age, 7 under – 1 Framed House.

1834

Lot 28

George Darling – 60 Uncultivated/ 40 Cultivated Acres – Lot 28 Concession 2 – 8 persons over 16 years of age, 4 under – 1 Framed House under 2 Story.

1847

Lot 28

Thomas Shields

Lot 29

Alexander Paterson – 50 Uncultivated/ 50 Cultivated Acres

Lot 30

George Harrison – 60 Uncultivated/ 40 Cultivated Acres

1848

Lot 28

John Allen Smith – 50 Uncultivated/ 50 Cultivated Acres

Edward Garthey – 60 Uncultivated/ 40 Cultivated Acres

Lot 29

Robert McGill – 40 Uncultivated/ 60 Cultivated Acres

Lot 30

George Harrison – 45 Uncultivated/ 55 Cultivated Acres – Squared or Hewed Log under 2 Stories

Table 7 Tax Assessment Rolls for Lots 26, 27 & 31 Concession 2 (SDS) for years 1851-1853

Date	Name	Con.	Lot	No. of Acres	Value of real property (£)	Amount of Taxable Personal Property or income (£)	Total Real and Personal Property or income (£)	Township & Village Rate (£)			Total Taxes - Amount		
								£	s	d	£	s	d
1851	Thomas C Inglehart	2	31		1050								
	Robert Langletry	2	27		512	48	560		2	7	2	3	6.5
	William Langtry	2	27		509	85	524.1		2	9 1/2	2	7	
	Charles Hilton	2	26		460	64.1			3		2	10	
	James H.	2	27		1050				2		1	13	7
	Samuel Bowman	2	26		460	520	1303		6	6	5	9	8
	William Ingleheart	2	31 & 32		439	54	493	1	16	0	1	16	0
1852	James & John White	2	30, 31, 32		1375	167.1	1542	5	12	6 1/2	5	12	6.5
	Charles Hilton	2	26		390	53	443	1	12	4	1	12	4
	William Langtry	2	27		400	61	461	1	13	8	1	13	8
	Samuel Bowman	2	26	100	420		420				1	10	8
1853	James & John White	2	30, 31, 32	397	1400	190	1590				5	16	0
	William Ingleheart	2	31 & 32	113	540	49	589				2	3	0
	William Langtry	2	27	100	460	53	513				1	17	5
	Robert Langletry	2	27	100	480	31	511				1	17	4
	Charles Hilton	2	26	100	450	45	495				1	16	2
	George Stevenson	2	26			3	3						3

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Table 8 Tax Assessment Rolls for Lots 26, 27 & 31 Concession 2 (SDS) for years 1890-1893

Date	Name	Con.	Lot	No. of Acres	Value of each parcel of real property (\$)	Total value of real property	Total value of real and personal property and taxable income	Township, Town or Village Rate (\$)	No. of Dogs	Total Taxes (\$)
1890	David W. Campbell	2	31	148	4400	14000	14000	47.6	1	108.1
	James White	2	31			800	800	2.72		6.12
	Samuel Bowman	2	26	100		2650	2650	9.01		19.89
	David Kennedy	2	27	100		3950	3950	13.43	1	31.22
	William Inglehart	2	31	50	2600	4900	4900	16.66	1	38.49
1891	David W. Campbell	2	31	148	4400	14000	14000	47.6	1	107.4
	James White	2	31	2		800	800	2.72		6.08
	John Kennedy	2	27	100		3800	3800	12.92		28.88
	David Kennedy	2	27	100		3950	3950	13.42	1	31.02
	James Lawrence	2	26	18		200	200	0.68		1.52
	Samuel Bowman	2	26	100		2600	2600	8.84		19.64
	Henry Hilton	2	26	99 1/8		4400	4400	14.96	1	34.44
	William Inglehart	2	31	50		2000	4200	16.66	1	38.22
1892	William Inglehart	2	31	50	2600	4900	4900	16.66		36.51
	David W. Campbell	2	31	148	4000	14000	14000	47.6	1	105.3
	James White	2	31	2		800	800	2.72		5.96
	Samuel Bowman	2	N 1/2 26	100		2600	2600	8.84		19.37
	Henry Hilton	2	26	99 1/8		4400	4400	14.96	1	33.78
	James Lawrence	2	26	1/8		200	200	0.68		1.49
	David Kennedy	2	27	100		3950	3950	13.43	1	30.43

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1893	David Kennedy	2	27	100		3300	3300	11.22	1	19.81
	John Kennedy	2	27	100		3000	3000	10.2		17.1
	William Inglehart	2	31	50	3100	5270	5270	17.92	1	31.03
	David W. Campbell	2	31	148	4400	14000	14000	47.6	1	80.8
	James White	2	31	2		800	800	2.72		4.56
	Henry Hilton	2	26	100		4400	4400	14.96	1	26.08

5.2.5 CENSUS RECORDS

The earliest Census Records we have for the Township of Trafalgar South dates to 1841. All of the entries available show settlement well to the east of the study area from the original settlement area of Oakville and eastward. The following data is the complete listing of settlers from the 1841 Census taken from the website of the Trafalgar Township Historical Society (TTHS 2012):

1841 Census S. of Dundas in Present Day Ward 5

Armstrong, Arch, farmer, proprietor of Lot 21 1st Conc S.D.S. 8 in family native of Canada, 1 native of USA who came to province in 1818; Biggar, Amos, farmer, proprietor of lot 20 1st Conc S.D.S. Self, wife & 8 children born in Canada; Biggar, James farmer proprietor Lot 18 1st Conc S.D.S.. Migrated 1800 from USA with wife & 6 children. 2 children b. in Canada; Bissett, David, farmer non proprietor Lot 18, 2nd conc S.D.S. 1 native Canada Cavanagh, Michael labourer, non -prop. lot 15 2nd conc S.D.S. migrated 18?? from Ireland, wife b. US 4 children b. Canada; Freeland, Henry W. farmer non-prop lot 16 1st conc S.D.S. Munn's Corners self, wife and 10 children b. in Canada; Freeland, Peter, carpenter non-prop lot 16 1st conc S.D.S. Munn's Corners self, wife and 6 children b. Canada; Hatton, John farmer proprietor lot 14, 2nd conc S.D.S. migrated with wife & 3 children from Ireland 1841; Hewitt, Carson, carpenter, non-prop, lot 16 1st conc S.D.S. Munn's Corners migrated w wife & 4 children from Ireland 1839; Hewitt, Robert, carpenter, non-prop, lot 16, 1st conc S.D.S. migrated with wife from Ireland 1839. 1 child b. Canada; Jeffery, George, shoemaker, proprietor lot 14, 1st conc S.D.S. migrated w wife from Ireland, 3 children b. Canada McGuffin, James, inn keeper, proprietor lot 16 1st conc S.D.S. Munn's Corners migrated 1835 w. wife & 3 children Ireland, 1 b. Canada, 2 USA; Mulholland, George, farmer proprietor lot 17 1st conc S.D.S. migrated from US with wife 1798, 9 children b. in Canada; Mulholland, Ira, non-prop lot 17 1st conc S.D.S. wife b. in Scotland 2 children b. in Canada; Munn, Ansel, labourer, non-prop lot 13 1st conc S.D.S. 1 b. in Ireland, 2 b. in Canada; Munn, Nathaniel, farmer, non-proprietor lot 15 1st conc S.D.S. migrated 1806 with wife from USA; Pettit, William Y. farmer proprietor lot 19 1st conc S.D.S. self, wife and 1 child b. in Canada, Thrashing Mill; Post, Hiram, inn-keeper, prop. lot 13 1st conc S.D.S. 7th Line, Post's Corners, migrated 1811 US, 2 England, 2 Ireland, 2 USA, 6 in Canada; Rumley,

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James, farmer, non-prop, lot 13, 2nd conc S.D.S. migrated 1825 w wife from England, 2 children b. Canada; Smith, Levi, farmer, proprietor lot 22, 1st conc S.D.S. 2 b. USA 5 b. Canada Smith, Thompson, farmer proprietor lot 18 2nd conc S.D.S. self, wife & 4 children b. Canada, Sawmill; Wells, Robert, farmer, non-prop, lot 17 2nd conc, S.D.S., migrated 18??, 1 Ireland, 1 England, 3 Canada.”

None of the properties included in the above compilation of early census data is included within the study area. The above data would seem to suggest that although one of the Lots that comprise the study area lands had passed into private ownership in 1810 and another in 1828, there is unlikely to have been any settlement until after 1841.

Census Records for the Township of Trafalgar South were examined at the Ontario Archives. Any available records for the 19th century were collected to compile a list of individuals associated with the Lots included within the study area and summarized within table 9 below.

Table 9 1861 Agricultural Census Records for Lots 26, 27 & 31 Concession 2 (SDS)

Name	Concession	Lot	Number of Acres of Land						Cash value of Farm (\$)	Cash value of Farming Implements or Machinery (\$)	Fall Wheat		Spring Wheat		Barley		Rye		Peas		Oats	
			Total No. of Acres	Under Cultivation	Under Crops	Under Pasture	Under Garden or Orchard	Under Wood or Wild			Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.
Charles Hinton	2	26	100	80	30	48	2	0	7000	442	8	200	12	160	7	120	4	52	7	150	6	120
Robert Langtry	2	27	150	120	41	76	3	30	7000	220	20	350	4	60	3	90		57	7	100	3	100
William Langtry	2	27	100	80	44	33	3	20	5000	300	8	240	4	60	8	110		57	8	240	6	115
M. James White	2	30, 31, 32	447	297	53	241	3	150	17880	300	10	150	4	60	15	150		57	10			115
William James Inglehart	2	31, 32	113	95	35	57	3	28	5500	150	8	70	11	120	3	65		57	7	200	5	226
Samuel Bowman	2	26	100	85	37	48		15	600	150	10	150	7	120		75	4	40	7	140	7	120

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TABLE 9 CONTINUED

Buck Wheat		Indian Corn		Potatoes		Turnips		Mangel Wurizel										
Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.	Acres	Produce in Bsh.									
6	200	2	75	2	150		40			350		14	1	186		100		6
2	44		50	1	100	1	30			160		10	2	65	120	30		6
	44	2	50	3.25	200	1	175			400	5	15		75	84		6	5
5	88		50	4	600	3	120	2	60	800		8		60			3	10
	88	1/2	15	1.5	300	1	500							50		18	2	8
			10	1.5	200						2					50		

TABLE 9 CONTINUED

Milch Cows	Horses over 3 years	Value of same, (\$)	Colts or Fillies under 3	Sheep	Pigs	Total value of all live stock (\$)	Butter-lbs	Cheese-lbs	Beef in brls of 200-lbs	Pork in brls of 200-lbs	Pleasure Carriages kept	Value of of ditto (\$)	Produce of Orchards and Gardens (\$)
5	4	240	1	32	2	332	400		3	9	2	149	25
5	4	400	1	25	5	795	240			5	3	112	125
6	3	240	1	21	6	602	400	160	3	6	3	180	50
13	8	1600	4	12	8	2680	500		1	6	3	350	150
4	2	200		14	9	554	400	40	17	5	2	150	60
				20		120							

Table 10 Census Records for Lots 26, 27 & 31 Concession 2 (SDS)

Date	Name	Occupation	Place of Birth	Religion	Age	House type	No. of Stories	No. of families occupying	Shops, Stores, Inns, Taverns, &c.	Information as to Mills, Factories, &c., &c., their cost, power, produce, &c.	No. of persons usually employed therein
1851	John Featherstone	Farmer	England	P. Methodist	62	Frame	1	1			
	Jane Featherstone		England	P. Methodist	54						
	John Featherstone	Labourer	England	P. Methodist	31						
	E. Featherstone	Labourer	Canada	P. Methodist	22						
	Margret Featherstone		England	P. Methodist	23						
	Jonathan Featherstone		Canada	P. Methodist	13						
	David Featherstone		Canada	P. Methodist	9						
	Joseph Featherstone	Farmer	England	P. Methodist	30						
	Margaret Featherstone		Canada	P. Methodist	4						
	Mary Featherstone		Canada	P. Methodist	17						
	Samuel Bowman	Tanner & *	N. Hates	No religion	47	Frame	1.5	1	Leather House	Tannery Produce 1200 sides wrought by * £1000.00	4
	Ann Bowman		N. Hates	F. Presbyterian	39						
	Joseph Bowman		Canada	F. Presbyterian	11						
	Samuel Bowman		Canada	F. Presbyterian	8						

REVISED 2013 Stage 1 Archaeological Background Study of the Merton Tertiary Plan, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, R. M. of Halton (AMICK File #13181-P/MTCS File #P058-914-2013).

	James W Bowman		Canada	F. Presbyterian	6						
	James Bowman		Canada	F. Presbyterian	4						
	H. Bowman		Canada	F. Presbyterian	1						
	John W. Harrison	Farmer	England	Episcopalian	46	Frame	1	1			
	I. Harrison		England	Episcopalian	42						
	John Harrison	Labourer	England	Episcopalian	22						
	Henry Harrison	Labourer	England	Episcopalian	20						
	Frederick Harrison	Labourer	England	Episcopalian	18						
	Samuel Harrison		Canada	Episcopalian	12						
	Thomas Harrison		Canada	Episcopalian	9						
	Ellen M. Harrison		Canada	Episcopalian	7						
	William B. Harrison		Canada	Episcopalian	3						
	Mary A. Harrison		Canada	Episcopalian	2						
	Catherine Harrison		England	Episcopalian	27						
1871	Charles Hilton	Farmer	England	Wesleyan Methodist	75						
	Thomas Shaw	Station Master	Ireland	Canada Presbyterian	45						
	Peter Campbell	Farmer	Ontario	Reformed Presbyterian	46						
	Esther Thomas		Ontario	Church of England	64						
	James White	Farmer	Ireland	Reformed Presbyterian	61						
1881	William Wass	Money Broker	England	Canada Methodist	64						
	Mary Wass		England	Canada Methodist	66						
	Henry Hilton	Farmer	Ontario	Canada Methodist	34						
	Thomas Shaw	Farmer	Ireland	Canada Presbyterian	55						
	J. Featherstone	Farmer	England	Meth Prince	57						
	Esther Thomas		Ontario	Church of England	74						

	Peter Campbell	Farmer	Ontario	Canada Presbyterian	56						
	James White	Farmer	Ireland	Canada Presbyterian	70						
1891	William Wass		England	Canada Methodist	74						
	Mary Wass		England	Canada Methodist	75						
	Thomas Shaw		Ireland	Canada Presbyterian	61						
	Esther Thomas		Ontario	Church of England	86						
	Peter Campbell		Ontario	Canada Presbyterian	66						
	James White	Farmer	Ireland	Canada Presbyterian	82						

5.2.6 HISTORIC MAPS

The great advantage historic maps have over other documentary sources is that they can often depict where people once lived or conducted activities that ought to have left archaeological evidence behind. The fact that documents may indicate that a property is owned does not mean that it was occupied and documents that indicate a property was occupied still leave the problem of finding the site of occupation, which may not be included in the portion of the original lot under consideration. Historic maps that depict the locations of houses or other structures provide a reasonable indication of where such evidence might be expected to be found.

5.2.6.1 SAMUEL WILMOT'S SURVEY (1806)

Wilmot's plan of the survey of Trafalgar Township was originally drawn in 1806. However, these plans were then updated as patents were issued to owners. While this map is an important record of initial owners of each lot, it does not necessarily indicate who resided on the lot or when the property in question was originally settled.

Lot 31 is annotated with "William Balis 18 Mar 1812" and "158". It is interesting to note that the Land registry Abstract Index records that the Crown Patent was issued to William Balis in 1825. However, it is not unusual for people to have occupied properties for many years and to then apply for the Crown Patent.

Lot 30 is marked with an indeterminate notation that may be "CR" which might possibly stand for Crown Reserve or Clergy Reserve.

Lot 29 has three seemingly separate notes: "Joseph Smith", "X", and "Lease". The Crown Patent for this property was issued to George Langtry in 1853. This would suggest that the word "Lease" added to the map applies to Smith who was leasing this land from the Crown

from an unspecified date prior to the Langtry family's arrival. It should also be considered that other parties might have leased the land between the occupations of the Smiths and the Langtrys.

Lot 28 has the name "David Utter" and an additional "D" applied. David Utter received the Crown Patent for this property in 1810.

Lot 27 is marked "Clergy" and "X". The Crown Patent for this lot was granted to William Langtry in 1848. The "X" may mean that this property was leased and therefore, probably settled before the patent issue date.

Lot 26 is marked "Crown". Kings College received the Crown Patent for this lot in 1828.

5.2.6.2 GEORGE TREMAINE'S MAP (1858)

Figure 2 illustrates the location of the study area and environs as of 1858 according to Tremaine's Map of Halton County (Tremaine 1858).

The portion of **Lot 31** within the study area is shown to belong to James White and is adjacent to Twelve Mile Creek. No structures are depicted anywhere within this lot.

Lot 30 is also shown to belong to James White. No structures are depicted anywhere within this lot.

The southwest quarter of **Lot 29** is shown to be in the ownership of William Peacock. His neighbour to the east was George Langtry who owned the remaining three quarters of Lot 29. No structures are depicted anywhere within this lot.

Lot 28 is divided into three parcels at the time the atlas was compiled. The northern quarter belongs to John Dorland and the south eastern quarter belongs to Widow Abbott the remaining two quarters belong to William Utter. No structures are depicted anywhere within this lot.

Lot 27 is divided into two parcels at the time the atlas was compiled. The northeastern portion is shown to belong to William Langtry and the southwestern portion is shown to belong to Robert Langtry. No structures are depicted anywhere within this lot.

The portion of **Lot 26** within the study area is shown to belong to Chas. Hilton. No structures are depicted anywhere within this lot.

An unnamed creek is also illustrated within the study area running along the northern edge of the study area and branching out in the western portion of the study area.

No early homesteads are depicted within the study area; this is not to say that there were no homesteads within the study area at the time that this map was compiled. Listings of names

and depictions of structures were sold by subscription. Therefore, while the presence of structures on the map indicates structures on the ground at that time, the absence of structures on the map does not indicate that there were none. Likewise, while a name on a map identifies an owner, the name does not necessarily correlate to the occupant and the lack of a name on the map does not mean that the property was not in private ownership or that it was unoccupied.

5.2.6.3 HISTORIC ATLAS MAP (1877)

Figure 3 illustrates the location of the study area and environs as of 1877 according to the Township Map included in the Illustrated Historical Atlas of the County of Halton (1877). Most of the landowners remained the same as those shown on George Tremaine's Map from 1858.

The portion of **Lot 31** within the study area is shown to still belong to James White. Two houses and an orchard are illustrated well to the southeast of the portion of this lot included in the study area. This suggests that there is a low potential for archaeological sites associated with the White occupation to be found within the portion of this lot contained within the study area. This does not mean that significant Euro-Canadian sites dating to other periods would not be found within the area of this lot also contained within the study area.

Lot 30 is still shown to belong to James White. Two orchards, a house and a school are depicted within this lot. The house and school are located to the southeast of the portion of this lot contained within the study area. This suggests that there is a low potential for archaeological sites associated with the White occupation to be found within the portion of this lot contained within the study area. This does not mean that significant Euro-Canadian sites dating to other periods would not be found within the area of this lot also contained within the study area.

The southwest quarter of **Lot 29** is still shown to be in the ownership of William Peacock. His house is depicted within the southwestern corner of Lot 29 along with an orchard. His neighbour to the east, George Langtry still owned the remaining three quarters of Lot 29, in which he placed a house and orchard on the south eastern edge of his property and an orchard to the northwest of the house along the southern edge of the creek, which runs through his property. Both of these houses are situated within the study area indicating a high potential for archaeological deposits to be found relating to these early settlers. The "George Langtree House" at 2363 North Service Road West is included in the Heritage Register for the Town of Oakville (see Plate 11). The potential heritage house situated at 2411 North Service Road West is likely a Peacock house or may include the original house within the present structure which clearly has a number of building periods contained within it (see Plate 12). In any event, the current house is situated in the same location as the William Peacock House (Ca. 1854). The Peacocks retained possession of the property well into the 20th century probably built and occupied the house standing at this location today. Archaeological assessments should be completed on the property prior to any demolition permit being issued for either

structure if it is determined that either one should be removed at any time in the future. Demolition activities cause considerable damage to shallow archaeological deposits and to any archaeological deposits situated in proximity to foundations or other features that may be excavated as part of the demolition process.

Lot 28 is divided into three parcels at the time the atlas was compiled. The northern quarter still belonging to John Dorland. His house is depicted fronting onto Upper Middle Road and well outside the study area to the north. The southeastern quarter now belongs to Thomas Giles and a house and orchard are depicted fronting the historic road along the southeastern edge of the property. This house might now be underneath the North Service Road West bypass built to carry this road to the north of Merton Cemetery, or it may be underneath the current commercial sports complex at 2251 North Service Road West (see Plate 8). The remaining two quarters of Lot 28 still belonged to William Utter. Within William Utter's portion of the lot were two houses and three orchards located centrally within Lot 28, of which the most northern house and orchard are outside the study area on the north side of a tributary stream to Fourteen Mile Creek and very near the eastern edge of the lot. There is also a house and an orchard to the north of Fourteen Mile Creek and to the south of the tributary stream across from the other house. The location of this former early settlement house is situated within the study area in an area within a wooded area of the Fourteen Mile Creek Trail Park. This area has not been subject to archaeological assessment in the past. No cemetery or church is indicated at the southwest corner of the property where the Mount Pleasant Church and cemetery were established in 1880.

Lot 27 is divided into two parcels by a roadway at the time the atlas was compiled. The eastern portion is shown to still belong to William Langtry whose house and orchard area depicted centrally within the lot but just outside of the study area to the east of the historic road. The western portion is shown to belong to Jno. [Jonathan] Hurley and includes two houses and an orchard. One house is depicted fronting the historic road in the extreme southeastern corner of the lot. The location of this former house should be near the entrance to the Region of Halton facility at 2195 North Service Road West. The second house and orchard are located centrally within the lot and just to the south of the northern limit of the study area in this lot. This house appears to be in the same location as the Shoemaker site (AiGw-193), a registered Euro-Canadian archaeological site believed to be a pioneer homestead site.

A historic roadway is illustrated running through the center of Lot 27 between the lands owned by William Langtry and J. Hurley. This roadway no longer exists.

The portion of **Lot 26** within the study area is still shown to belong to C. Hilton. A house is depicted just south east of the centre of the lot, set back from Third Line on the east side of the lot and on the south side of a branch of a tributary stream flowing west and south into Fourteen Mile Creek. Just over a third of the property owned by C. Hilton is under orchard. Much of this old orchard remains on the property today. The house depicted on the map is the Hilton House standing today at 2031 North Service Road West and designated under the Ontario Heritage Act (see Section 5.2.7.1 and Plate 1). Timmins Martelle Heritage

Consultants have previously completed a Stage 1-2 Archaeological assessment for this property and a Stage 3 Site-Specific Assessment for the Hilton Site (AiGw-544) (TMHC 2012).

5.2.6.4 NATIONAL TOPOGRAPHIC SURVEY (1935)

The earliest NTS map we could find that includes the entire study area dates from 1935. This map is important because it is the earliest accurate map to show details of the landscape such as roads, buildings, contours and vegetation. Apart from the valley lands associated with Fourteen Mile Creek, there is very little ground relief within the study area indicated in this topographic map. The ground falls away very gradually to the southeast and Lake Ontario with the most dramatic changes in elevation associated with valleys cut by the waterways, especially Bronte Creek situated to the west of the study area. The community of Merton is named on this map at the corner of Lower Middle Road (now roughly North Service Road West) and Bronte Road.

There are a number of structures now built within the small portion of **Lot 31** contained within the study area. There appear to be three houses situated along the west side of Bronte Road, each of these with a substantial outbuilding immediately to the rear of the house. These houses appear to correspond to 1354 & 1350 Bronte Road (see Plates 23 & 24), which appear to have replaced the original structures on the map; 1342 Bronte Road (see Plate 25); and 1326 Bronte Road (see Plate 26). The last of these is also on the Heritage Register for the Town of Oakville (see Section 5.2.7.3). None of these structures are old enough at this time to indicate possible associated archaeological deposits of significance based purely on consideration of age as they all date to within the 20th century.

There are two structures shown adjacent to the east side of Bronte Road in **Lot 30** and within the limits of the study area. Both of these locations are within the existing Region of Halton Facility at 1179 Bronte Road. This property was subject to a recent archaeological assessment prior to development (see ASI 2007).

Lot 29 shows two clusters of structures on the 1935 topographic map. The locations of these clusters correspond to the existing and also to the houses depicted on the Historic Atlas map of 1877. They appear to be shown together with outbuildings of a rural farm complex. Both of these houses are situated within the study area indicating a high potential for archaeological deposits to be found relating to these early settlers. The “George Langtree House” at 2363 North Service Road West is included in the Heritage Register for the Town of Oakville (see Plate 11). The potential heritage house situated at 2411 North Service Road West is likely a later Peacock house or may include the original house within the present structure which clearly has a number of building periods contained within it (see Plate 12). In any event, the current house is situated in the same location as the William Peacock House (Ca. 1854). The Peacocks retained possession of the property well into the 20th century probably built and occupied the house standing at this location today. One of the structures shown near this house likely corresponds to the equipment shed depicted in Plate 14.

The Merton Cemetery is shown in the southwest corner of **Lot 28** and a cluster of buildings to the east of the cemetery fronting onto the road. This may be the Thomas Giles house depicted on the Historic Atlas map of 1877 and associated outbuildings. This house might now be underneath the North Service Road West bypass built to carry this road to the north of Merton Cemetery, or it may be underneath the current commercial sports complex at 2251 North Service Road West (see Plate 8).

Lot 27 was divided into two parcels by a roadway at the time of the Historic Atlas. A remnant of the original roadway survives to the north of Fourteen Mile Creek in 1935. The road shifts to the east and follows the top of the bank overlooking the west side of Fourteen Mile Creek and enters onto what is now North Service Road West. A cluster of buildings is depicted centrally within the lot but just outside of the study area to the east of the historic road. There are no structures depicted within this lot inside the study area.

A house is depicted just south east of the centre of **Lot 26** and is set back from Third Line on the east side of the lot and on the south side of a branch of a tributary stream flowing west and south into Fourteen Mile Creek. The house depicted on the map is the Hilton House standing today at 2031 North Service Road West and designated under the Ontario Heritage Act (see Section 5.2.7.1 and Plate 1). An archaeological assessment should be completed on the property around the house prior to any demolition permit being issued for either structure if it is determined that either one should be removed at any time in the future. Demolition activities cause considerable damage to shallow archaeological deposits and to any archaeological deposits situated in proximity to foundations or other features that may be excavated as part of the demolition process.

5.2.6.5 NATIONAL TOPOGRAPHIC SURVEY (1988)

Within the **Lot 31** portion of the study area there are what appears to be a line of five houses fronting onto the west side of Bronte Road. These correspond to 1354 (Plate 23), 1350 (Plate 24), 1342 (Plate 25), 1326 (Plate 26) and 1316 (Plate 27) Bronte Road. In addition, there is a structure along the south edge of this portion of the study area within the property at 1300 Bronte Road (Plate 28). No outbuildings are depicted for any of these structures. None of these structures are old enough at this time to indicate possible associated archaeological deposits of significance based purely on consideration of age as they all date to within the 20th century.

Within **Lot 30** there is a structure illustrated in the location of the current Saw Whet Golf Course clubhouse. Another structure is situated near the southwest corner of the Saw Whet property. This structure is a house that has been converted into a maintenance yard office. One of the two houses depicted on the 1935 map within Region of Halton Facility at 1179 Bronte Road is still there by this date. This property was subject to a recent archaeological assessment prior to development (see ASI 2007).

A structure is situated at the southwest corner of **Lot 29** within the study area. This appears to correspond to the previously noted possible Peacock homestead location. Inexplicably, the still standing Langtree House (Ca. 1850) to the east does not appear on this map.

The Merton Cemetery is shown on the southwest corner of **Lot 28**. There are no other cultural features illustrated within this lot.

There are no structures or cultural features shown within **Lot 27** inside the study area. The old roadway bisecting this lot is now completely removed.

A house is depicted just south east of the centre of **Lot 26** and is set back from Third Line on the east side of the lot and on the south side of a branch of a tributary stream flowing west and south into Fourteen Mile Creek. The house depicted on the map is the Hilton House standing today at 2031 North Service Road West and designated under the Ontario Heritage Act (see Section 5.2.7.1 and Plate 1). North of the creek, and also fronting onto Third Line is a second structure. A third is situated within the southwest corner immediately opposite Fourteen Mile Creek. This is likely the existing house at 2089 North Service Road West (see Plate 5). This house is too recent to suggest associated archaeological resources of potential significance based on date alone.

5.2.7 HERITAGE REGISTER

The Town of Oakville maintains a heritage register for all heritage properties found within the community. The Oakville Heritage register includes the following types of heritage properties:

- individually designated properties which fall under Part IV of the OHA
- properties designated within Heritage Conservation Districts which fall under Part V of the OHA
- properties which are not designated but believed to be of cultural heritage value or interest (also known as 'listed' properties)

Although there are three Heritage Districts within the Town of Oakville, no part of the study area is included within any of these areas or is within close proximity to any of them.

An examination of the Town of Oakville Heritage Registry shows that there are three properties in the study area that are included within the registry.

5.2.7.1 2031 NORTH SERVICE RD W

This property is designated under Part IV of the Ontario Heritage Act and is situated within Lot 26, Concession 2 SDS (South of Dundas Street). Section A (Page 20) of the Heritage Register for the Town of Oakville provides a brief history of the property and a description.

“Built around 1858 by the Hilton family who were farmers on the southern half of the property since 1831. Between 1861 and 1871 an apple orchard was planted on the property and would come to characterize the farm. The Hilton family resided on this property from 1831 for over 68 years.

“Vernacular design incorporating Neoclassical and Gothic Revival elements. 1 1/2 storey rectangular structure with a 3 bay façade, central gable and projecting front porch. Notable features include a bracketed cornice, rubble stonework, stone voussoirs and rusticated stone quoins.”

(Town of Oakville 2013c)

5.2.7.2 2363 NORTH SERVICE RD W

This property is listed in the Heritage Register but is not designated under the Ontario Heritage Act. Section F (Page 76) of the Heritage Register for the Town of Oakville provides a brief history of the property and a description.

“George Langtree House - this property has potential cultural heritage value for its c.1850 house, now part of a golf course complex.”

(Town of Oakville 2013c)

5.2.7.3 1326 BRONTE RD

This property is listed in the Heritage Register but is not designated under the Ontario Heritage Act. Section F (Page 70) of the Heritage Register for the Town of Oakville provides a brief history of the property and a description.

“This property has potential cultural heritage value for its historic farmstead, including the c.1911 Edwardian and Queen Anne style brick house and the barn.”

(Town of Oakville 2013c)

5.2.7.4 MERTON CEMETERY

The Merton Cemetery is situated at the southwest corner of 2363 North Service Road West (noted above), although this cemetery is not listed in its own right or within the description of the potential heritage value of the above noted heritage property at 2363 North Service Road West. The Town of Oakville Website includes the following description of the cemetery:

“Located in a clearing ringed by mature trees between the QEW and the North Service Road east of Bronte Road, Merton/Mount Pleasant Cemetery was established in 1880 on the grounds of Mount Pleasant Church. The church and cemetery were built to serve the Methodist-Episcopal community of Merton, a hamlet that settled in 1812 and became the centre for harvesting the abundant supply of pine trees in the surrounding area.

“Names that appear in the Merton/Mount Pleasant Cemetery include Luscombe, Joyce, Douglas, Speers, MacDonald, Patterson, Oakley and Carpenter. The earliest headstone is for Milo Secord who passed away in 1888 at only eight days old.

“In 1927, Mount Pleasant Church was deconsecrated and offered for auction. Out of respect for the people interred, it was decided that the cemetery would not be sold and would remain undisturbed. The church was eventually demolished and its materials were carried away for use in other buildings. The only remaining trace of the church today is its date stone at the present day cemetery.”

(Town of Oakville 2013b)

5.2.8 Summary of Historical Context

The brief overview of documentary evidence readily available indicates that the study area is situated within an area that was close to historic transportation routes and in an area initially settled in the first quarter of the 19th century. As such, the area generally has potential for sites relating to early Euro-Canadian settlement in the region. Lot 31 appears to have been occupied in 1812 even though the Crown Patent was not issued until 1825. The Crown Patent for Lot 28 was issued in 1810. The Patent for Lot 29 was issued in 1854 but we have reason to believe it was leased for some time prior. Although undocumented, this may also be true of Lots 30, 27 and 26.

Early settlement sites dating from the first half of the 19th century should be situated within Lots 28, 29 and 31 on the basis of evidence compiled for this study. There is also a reasonable expectation that early sites might be encountered on the remainder of the lots that comprise this study area. However, it must be borne in mind that in no case is the entire original rural lot of any of these properties contained within the study area and therefore, even in cases where we can be reasonably sure that such resources exist, we cannot be sure they are contained within those portions of the original lots under consideration.

Only one historic map of the 19th century included within this report depicts the locations of structures within the study area (Figure 4). This is the 1878 Historic Atlas Map of the Township of Trafalgar South. This map illustrates the most likely locations to find the early homestead sites as the same site may have been occupied throughout much of the 19th century and in cases where a series of dwellings were occupied as a home over time, they are typically quite close to one another. The original log cabin often becomes a shed or chicken coop when the new frame house is erected beside it, for example. The 1877 site locations are locations that should be checked for evidence of earlier occupation.

Within Lot 30 of the Saw Whet Golf Course there is a provincial historic plaque situated beside the existing office at the location of a former farm complex, which does indicate that there was a farm established on the study area by 1855. The Plaque is shown in Plate 14. The plaque is entitled Winner of the First Queen's Plate and reads as follows:

“Bred at this farm, the horse ‘Don Juan’ was foaled out of ‘Yellow Rose’ by ‘Sir Tatton Sykes’ in 1855. The Queen’s Plate was run for the first time on June 27, 1860 at the village of Carlton, now part of Toronto. Queen Victoria had given Royal Assent to the race in 1859 and a traditional winner’s purse of 50 guineas. The race then consisted of three heats, each run over a one-mile course. It was restricted to those horses bred in Canada West that had not yet won a race. ‘Don Juan’ owned by James White of Bronte and ridden by Nelson Littlefield won the last two heats of the race in a total time of four minutes, three seconds.”

It is notable that the Historic Atlas shows that James White owned Lot 30 by 1878, but his homestead was not situated within the part of the lot included within the current limits of the Saw Whet Golf Course property. The earlier Tremaine’s Map dated 1858 and after Don Juan was bred, indicates that James White owned this same property. However, the Land registry Abstract Index shows that the Patent for this property was granted to King’s College in 1828 and the University of Toronto did not sell the land to the Whites until 1870. It seems likely that the Whites were tenants here before they eventually purchased the property. The property could have been leased by Kings College since 1828, and the Crown could have leased it since the end of the War of 1812.

Background research indicates the study area has potential for archaeological resources of Native origins as the study area is situated on tablelands between Fourteen Mile Creek and Bronte Creek. Background also indicates that the study area has potential for archaeological resources of Euro-Canadian origins based on proximity to early historic transportation routes and early Euro-Canadian settlements within the study area.

5.3 ARCHAEOLOGICAL CONTEXT

The Archaeological Sites Database administered by the Ministry of Tourism, Culture and Sport (MTCS) indicates that there are forty-eight (52) previously registered sites within the study area or within 1 kilometres of the study area. However, it must be noted that this is based on the assumption of the accuracy of information compiled from numerous researchers using different methodologies over many years. AMICK Consultants Limited assumes no responsibility for the accuracy of site descriptions, interpretations such as cultural affiliation, or location information derived from the Archaeological Sites Database administered by MTCS. In addition, it must also be noted that a lack of formerly documented sites does not indicate that there are no sites present as the documentation of any archaeological site is contingent upon prior research having been conducted within the study area.

Background research shows that according to MTCS records four (4) previous archaeological assessments have taken place within 50m of the study area. All of these reports appear to address research within the limits of the study area. AMICK Consultants Limited has requested copies of all of these reports but none were received as of the date that this report was compiled. The reports detailing this previous work include:

AMICK Consultants Limited.

REVISED 2013 Stage 1 Archaeological Background Study of the Merton Tertiary Plan, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, R. M. of Halton (AMICK File #13181-P/MTCS File #P058-914-2013).

- 2012 *Stage 1 Archaeological Background Study of Proposed Bronte Green Subdivision, 1401 Bronte Road, Part of Lots 28, 29 & 30, Concession 2 (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, Regional Municipality of Oakville (MCL File #P058-889-2012).* Port McNicoll: Entered into the Registry of Archaeological License Reports at the Ministry of Tourism, Culture and Sport

Archaeological Services Inc. (ASI)

- 1988 *Field Notes - An ARA of Proposed Multi-Purpose Development 24T-86042, Regional Municipality of Halton.* (1988-17). Toronto.

- 2007 *Stage 1-2 Archaeological Assessment of the Proposed Expansion of the Halton Regional Centre Campus, Part of Lots 29 & 30, Concession 2 SDS, formerly in the Township of Nelson, 1151 Bronte Road, Town of Oakville, Regional Municipality of Halton.* Toronto: Entered into the Registry of Archaeological License Reports at the Ministry of Tourism, Culture and Sport.

REVISED: Stage 1 Archaeological Assessment Mid Halton WWTP Phase 4 & 5 Expansion Class Environmental Assessment, Town of Oakville, Regional Municipality of Halton. Toronto: Entered into the Registry of Archaeological License Reports at the Ministry of Tourism, Culture and Sport.

Timmins Martelle Heritage Consultants (TMHC)

- 2012 REVISED: Stage 1 & 2 Archaeological Assessment, Ontario Realty Corporation, Part of Lot 26, Concession 2 S.D.S., Geog. Twp. of Trafalgar, third Line and QEW (D65551), Now Town of Oakville, R.M. of Halton. Toronto: Entered into the Registry of Archaeological License Reports at the Ministry of Tourism, Culture and Sport.

Stage 3 Archaeological Assessment, The Hilton Site (AiGw-544), Infrastructure Ontario, Part of Lot 26, Concession 2 S.D.S., Geographic Township of Trafalgar, Third Line and QEW (D65551), Now Town of Oakville, R.M. of Halton. Toronto: Entered into the Registry of Archaeological License Reports at the Ministry of Tourism, Culture and Sport.

Data contained in previous archaeological reports in close proximity to the study area that is relevant to Stage 1 Background Study is defined within the Standards and Guidelines for Consultant Archaeologists in Section 7.5.8 Standard 4 as follows:

“Provide descriptions of previous archaeological fieldwork carried out within the limits of, or immediately adjacent to the project area, as documented by all available reports that include archaeological fieldwork carried out on the lands to be impacted by this project, or where reports document archaeological sites immediately adjacent (i.e., within 50 m) to those lands.”

(MTCS 2011: 126 Emphasis Added)

In accordance with data supplied by MTCS for the purposes of completing this study, there are previous reports detailing, “archaeological fieldwork carried out on the lands to be impacted by this project”, the previous reports document known archaeological sites within 50 metres of the study area.

The Standards and Guidelines for Consultant Archaeologists stipulates that the necessity to summarize the results of previous archaeological assessment reports, or to cite MTCS File Numbers in references to other archaeological reports, is reserved for reports that are directly relevant to the fieldwork and recommendations for the study area (S & Gs 7.5.7, Standard 2, MTC 2011: 125). This is further refined and elaborated upon in Section 7.5.8, Standards 4 & 5, MTC 2011:

“4. Provide descriptions of previous archaeological fieldwork carried out within the limits of, or immediately adjacent to the project area, as documented by all available reports that include archaeological fieldwork carried out on the lands to be impacted by this project, or where reports document archaeological sites immediately adjacent (i.e., within 50m) to those lands.”

“5. If previous findings and recommendations are relevant to the current stage of work, provide the following:

- a. a brief summary of previous findings and recommendations*
- b. documentation of any differences in the current work from the previously recommended work*
- c. rationale for the differences from the previously recommended work”*
(Emphasis Added)

The above-noted reports are relevant to the lands potentially impacted by the proposed undertaking, include fieldwork or recommendations relevant to the study area, and document sites within 50 metres of the study area. Therefore, there is a requirement to include relevant summary data from the previous reports.

5.3.1 FIRST NATIONS REGISTERED SITES

A summary of registered and/or known archaeological sites within a 1-kilometre radius of the study area was gathered from the Archaeological Sites Database, administered by MTCS. As a result it was determined that fifty (50) archaeological sites relating directly to First Nations habitation/activity had been registered within the immediate vicinity of the study area. Twenty (20) of these sites are possibly situated within the study area. This is based on the information provided within the MTCS database. AMICK Consultants Limited cannot provide any evaluation of the accuracy of this data. We have also reviewed the original Site Record Forms submitted to MTCS for the sites allegedly situated within the study area in order to confirm the reported locations and obtain further detail concerning the description of these sites. The research projects conducted to find these sites were part of archaeological assessments conducted in support of proposed land use changes as part of the planning process and can be used to address any archaeological concerns with respect to proposed

undertakings respecting individual properties within the study area if copies of the original research reports can be obtained and these same reports show that the archaeological fieldwork undertaken was equal to, or better than, the fieldwork standards described within the Standards and Guidelines for Consultant Archaeologists (MTC 2011). The sites in close proximity to the study area are briefly described below (Those possibly situated within the property are in bold green type face):

Table 11 Registered First Nations Sites within 1km

Site Name	Borden #	Site Type	Cultural Affiliation
Tyrell	AiGw-4	Campsite	Indeterminate
Sneddon	AiGw-10	Findspot	Indeterminate
Sneddon House	AiGw-13	Campsite	Archaic
Stuart	AiGw-14	Campsite	Indeterminate
	AiGw-15	Indeterminate	Indeterminate
Asparagus Patch	AiGw-19	Indeterminate	Indeterminate
Burloak Drive 2	AiGw-21	Indeterminate	Archaic
North Service	AiGw-23	Indeterminate	Indeterminate
Ontario Sports	AiGw-26	Campsite	Woodland
Bronte Road North	AiGw-28	Indeterminate	Indeterminate
Riverside	AiGw-33	Campsite	Archaic
Field 3	AiGw-34	Findspot	Early Woodland
	AiGw-36	Indeterminate	Indeterminate
Stream Bed	AiGw-37	Campsite	Early Archaic
Harmer	AiGw-38	Campsite	Archaic
Core Development	AiGw-43	Findspot	Archaic
The Playing Field	AiGw-45	Findspot	Indeterminate
Office	AiGw-47	Village	Woodland
Flake Tool	AiGw-48	Findspot	Indeterminate
East of 25	AiGw-50	Indeterminate	Laurentian Archaic
Perry	AiGw-54	Indeterminate	Archaic
Broughton	AiGw-55	Indeterminate	Indeterminate
Three Clusters	AiGw-56	3 Campsites	Archaic
Fence Line	AiGw-57	Indeterminate	Indeterminate
Centre of Field 1	AiGw-58	Findspot	Indeterminate
Centre of Field 2	AiGw-59	Findspot	Indeterminate
West of Fence	AiGw-62	Indeterminate	Indeterminate
Demonstration Farm	AiGw-63	Findspot	Indeterminate
Cherry Orchard	AiGw-64	Indeterminate	Indeterminate
Farm Lane	AiGw-73	Indeterminate	Late Archaic
North End of Field	AiGw-74	Findspot	Indeterminate
Atkins	AiGw-112	Unknown	Unknown
George Atkins	AiGw-113	Indeterminate	Archaic
Old Atkins Farm	AiGw-114	Indeterminate	Indeterminate

REVISED 2013 Stage 1 Archaeological Background Study of the Merton Tertiary Plan, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, R. M. of Halton (AMICK File #13181-P/MTCS File #P058-914-2013).

Lynn Timbers	AiGw-117	Findspot	Indeterminate
Skeet Field	AiGw-118	Indeterminate	Indeterminate
Donaldson	AiGw-194	Findspot	Indeterminate
Ludy	AiGw-346	Campsite	Early Archaic
Casey	AiGw-347	Lithic Workshop	Indeterminate
Bear	AiGw-349	Lithic Workshop	Indeterminate
	AiGw-350	Findspot	Middle Archaic
	AiGw-351	Findspot	Middle Archaic
	AiGw-352	Indeterminate	Indeterminate
	AiGw-353	Findspot	Pre-Contact
	AiGw-354	Findspot	Indeterminate
	AiGw-355	Findspot	Indeterminate
	AiGw-356	Findspot	Indeterminate
	AiGw-357	Findspot	Indeterminate
	AiGw-358	Findspot	Indeterminate
Hilton	AiGw-544	Indeterminate	Indeterminate

The twenty (20) sites shown in Table 4 in bolded green text are sites that are reported to be within the study area. Some of these sites will have to be revisited and assessed for their potential significance as part of a Stage 3 Site-specific Assessment should any of the properties in which they are situated be proposed for changes in land use or development. Each of these sites is discussed below in Section 5.3.3 Previous Archaeological Investigations.

The distance to water criteria used to establish potential for archaeological sites suggests potential for First Nations occupation and land use in the area in the past. This consideration establishes archaeological potential within the study area.

Table 12 illustrates the chronological development of cultures within southern Ontario prior to the arrival of European cultures to the area at the beginning of the 17th century. This general cultural outline is based on archaeological data and represents a synthesis and summary of research over a long period of time. It is necessarily generalizing and is not necessarily representative of the point of view of all researchers or stakeholders. It is offered here as a rough guideline and outline to illustrate the relationships of broad cultural groups and time periods.

TABLE 12 CULTURAL CHRONOLOGY FOR SOUTHERN ONTARIO

Years ago	Period	Southern Ontario
250	Terminal Woodland	Ontario and St. Lawrence Iroquois Cultures
1000 2000	Initial Woodland	Princess Point, Saugeen, Point Peninsula, and Meadowood Cultures
3000 4000 5000 6000	Archaic	Laurentian Culture

7000 8000 9000 10000 11000	Palaeo-Indian	Plano and Clovis Cultures
		(Wright 1972)

5.3.2 EURO-CANADIAN REGISTERED SITES

A summary of registered and/or known archaeological sites within a 1-kilometre radius of the study area was gathered from the Archaeological Sites Database, administered by MTCS. As a result it was determined that three (3) archaeological sites relating directly to Euro-Canadian habitation/activity had been formally registered within the immediate vicinity of the study area. All previously registered Euro-Canadian sites are briefly described below in Table 13:

TABLE 13 EURO-CANADIAN SITES WITHIN 1KM

Site Name	Borden #	Site Type	Cultural Affiliation
Dorland	AiGw-192	Homestead	Euro-Canadian
Shoemaker	AiGw-193	Homestead	Euro-Canadian
	AiGw-348	Homestead	Euro-Canadian

The site shown in Table 5 in bolded green text is reported to be within the study area. This site will have to be revisited and assessed for its potential significance as part of a Stage 3 Site-specific Assessment should the property in which it is situated be proposed for a change in land use or development. This site is discussed below in Section 5.3.3 Previous Archaeological Investigations.

5.3.3 PREVIOUS ARCHAEOLOGICAL INVESTIGATIONS

As part of the present study a summary of archaeological site records within the Archaeological Sites Database administered by MTCS was requested. As noted above, this summary data indicates that there is a total of twenty-one (21) previously registered archaeological sites within the limits of the study area. AMICK Consultants Limited requested and received copies of the original Site Record Forms from MTCS in order to gain further details on these sites. In addition, AMICK Consultants Limited requested copies of the archaeological reports documenting the research that led to the discovery of these sites as noted within the Site Record Forms. Unfortunately, we were only able to obtain two of the reports relevant to archaeological assessments conducted within the limits of the study area.

1975 Field Research

The first of the two reports is:

Thomas, Stephen & Larry Pavlish

1975 *Ontario Sports Training Centre Archaeological Resource Inventory – Section I Recommendations & Section II Planning Directions*. Report Prepared for the Ontario Ministry of Government Services and the Ontario Ministry of Culture and Recreation. License Report on File with the Ontario Ministry of Tourism, Culture and Sport, Toronto.

This was a project undertaken for a proposed government facility and was contracted out by the Ontario Ministry of Government Services on behalf of the Ontario Ministry of Culture and Recreation (Thomas and Pavlish 1975: 3). The most useful portion of this report is the second volume, termed Phase III and includes detailed site descriptions of all sites encountered during these investigations. One of the original researchers, Stephen Thomas, was contacted in order to make inquiries after the other volume of the report and to ask for some further information on the work conducted as part of the Ontario Sports Training Centre and Bronte Park research. The other author, Larry Pavlish has since passed away.

The first report provides a number of useful facts of direct relevance in planning for future investigations within the study area.

“The O.S.T.C. archaeological resource survey was run in conjunction with the Bronte Creek Provincial Park (B.C.P.P.) archaeological project. This was done to effect economies of operation, as well as to benefit from the B.C.P.P. crew’s experience and knowledge of local archaeology.

The main objective of this project was to conduct an archaeological resource inventory for O.S.T.C. planners.”

(Thomas and Pavlish 1975: 1)

As described, the project undertaken was one of the earliest development projects subject to archaeological assessment as a component of the planning process. Therefore, this property should have been cleared of archaeological concerns at some point during the planning process.

By the time that the O.S.T.C. survey began in June of 1975, the B.C.P.P. crew had been surveying local fields for the previous two seasons. The O.S.T.C. survey was completed by a team of experienced crew and field supervisors who had accumulated several seasons of experience working together in the same geographic area and working on very similar sites to those encountered during the course of the O.S.T.C. survey. The benefits derived from this accumulated experience and local knowledge is evident in the following passage:

“Research methods involved a modified surface survey technique, developed at B.C.P.P., which combines the economy inherent in a surface survey with the precision of a quality test pit survey. Since the core development area wasn’t under land use permit cultivation, it was ploughed especially for survey. Even with

ploughing costs included, the modified surface survey technique is still roughly 100 times more cost effective than a test pit survey of comparable thoroughness. Consequently the results of this resource inventory work are excellent in terms of extent and comprehensiveness of coverage, as well as insight gained into prehistoric land use.

“During the field season, the combined O.S.T.C. – B.C.P.P. crews developed an advanced artifact analysis procedure. The results of a site-wide artifact analysis can be plotted using the SYMAP computer mapping programme, adapted for our use by the Engineering & Management Systems Branch, Ministry of Transportation & Communications. A pilot test of this analysis-mapping system shows that under good conditions, we can get distribution information from a ploughed site approximating that which previously could only be obtained from an undisturbed site.”

(Thomas and Pavlish 1975: 2-3)

This description indicates that the research conducted on the study area was well ahead of wide spread computer applications in map generation and spatial analysis in archaeology. In addition, the suggestion that the data collected was as accurate as can be obtained from undisturbed contexts would suggest that the mapping of archaeological artifacts in this project was done to a standard achieving accuracies to one centimetre or less.

1976 Field Research

The second of the two reports is:

Thomas, Stephen.

1977 1976 Archaeological Research in the Bronte Creek Area: Four Habitation Sites of the Archaic Stage. License Report on File with the Ontario Ministry of Tourism, Culture and Sport, Toronto.

Following completion of the O.S.T.C. and B.C.P.P. site inventories, Stephen Thomas returned to conduct further research on select sites in 1976. Thomas describes the project as follows:

“At the beginning of the 1976 field season, four prehistoric sites were selected for intensive controlled provenience surface collection. These sites were chosen for their estimated usefulness for researching the Archaic stage occupation of the Bronte Creek area, as well as their accessibility, productivity, and relevance for testing new field techniques.”

(Thomas 1977: 1-3)

Apparently multiple surface collections were made of each of the sites during that field season. An aggregate total of more than 2,000 artifacts were collected.

The methodology of the work is described in some detail within Appendix A of the report as follows:

“All field work covered in this report was accomplished using the controlled provenience surface collection technique developed by the author in 1973 and improved during the 1974, 1975 and 1976 field seasons. Briefly, this method involves recording the provenience of each find in terms of distances from two fixed datum points. Datum locations are carefully recorded, in relation to permanent features, so that if a datum marker is disturbed it may be replaced precisely at its original position. Therefore, since it is safe to assume that datum locations are permanent, multiple collections may be made and the distributions of each collection superimposed on a master distribution map.

“For a collection of a known site, primary coverage is carried out with workers sweeping the area at 10 to 15 foot intervals. As each artifact is found it is placed in an envelope which is fixed in position with a marker. Following the primary coverage, an extensive secondary search is made around each find locus.

“Artifacts are gathered up after secondary coverage. The location of each artifact bearing envelope is recorded in terms of distances from two specified datums. Measurements are made to the nearest foot with chaining ropes or tapes. Then as each envelope is removed from its provenience, it is given a field number corresponding with its triangulated provenience measurements. Field numbers run from 1 to infinity for each day or for each site per day.”

(Thomas 1977: 46-47)

In many respects, surface collections are largely conducted in a similar manner today, although locations are now plotted with GPS or Total Station or Theodolite and Tape. Despite the advances of technology that permit the plotting of locational data using GPS or Total Stations to fractions of millimetres of the true position of a point on the earth's surface, this data is rarely employed in graphic representations that allow for accuracies below ten centimetres. The method employed by Thomas and his crew could well achieve accuracies of within one or two centimetres. The geometric principles are precisely the same and one method could be theoretically as accurate as any other; however, we must allow that tape measures are inherently somewhat less precise due to wind, gravity, stretching, and human error. The discipline of Thomas' work does argue for higher accuracies as his map of AiGw-56 (reproduced here as Figure 12) illustrates that he took care to locate his datum points in order to ensure that his measurements based on triangulation did not employ any obtuse angles.

2012 Archaeological Background Study

AMICK Consultants Limited.

2016 REVISED: 2012 Stage 1 Archaeological Background Study of Proposed Bronte Green Subdivision, 1401 Bronte Road, Part of Lots 28, 29 & 30, Concession 2

(Geographic Township of Trafalgar South, County of Halton), Town of Oakville, Regional Municipality of Oakville (MCL File #P058-889-2012). Port McNicoll: Entered into the Registry of Archaeological License Reports at the Ministry of Tourism, Culture and Sport

A brief description of the 2012 Stage 1 Archaeological Background Study and the recommendations are described below. For further information see report (AMICK 2016).

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Background Study of lands potentially affected by the proposed undertaking and was granted permission to carry out archaeological work on 19 July 2012. A detailed photoreconnaissance of the study area was conducted on 15 August 2012. All records, documentation, field notes, photographs and artifacts (as applicable) related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited.

As a result of the Stage 1 Background Research, the project area potentially impacted by the proposed undertaking has been identified as an area of archaeological potential.

Background research also indicates that a large portion of the property has been subject to archaeological assessment by pedestrian survey. These areas do not require reassessment.

Earlier survey work did document a number of archaeological sites within the subject property. It is further recommended that select sites previously documented be further investigated through Stage 3 Site-specific Assessment.

As a result of the property inspection completed as a component of this study, the areas of building footprints, paved parking lot, paved or gravel trails, low lying and wet areas, steep slope and artificial mounds were found to be areas of no or low archaeological potential; consequently no further archaeological assessment of these areas is required.

The study area is to be maintained as a golf course with landscape features including terraced lawn areas associated with the golf course (i.e. tee-offs and greens) which are to be maintained; therefore ploughing, would damage or destroy these features. In addition, within the study area is below ground watering system, which supports the existing use of the study area. Ploughing of the affected portions of the study area would therefore damage or destroy this service.

All areas out of play on the existing golf course consisting of apparent areas of disturbance proximate to previously documented archaeological sites or in areas

not previously assessed by pedestrian survey were subject to examination by test pit methodology at an interval of 10 metres across the entire surface of such areas in order to confirm deep prior disturbance and to delineate the extent of the area of disturbance.

Areas not previously assessed and of little or no apparent disturbance will require assessment by test pit survey at a high intensity interval of five metres between individual test pits as part of the Stage 2 Property Assessment. The areas recommended for Stage 2 Property Assessment are illustrated in Figure 13 of this report.

It is suggested that if development is phased, only phase 1 need be assessed by test pit survey and the balance can be ploughed and disked in preparation for pedestrian assessment. It is recommended that MTCS permit either strategy at the discretion of the proponent.

(AMICK 2016: 2-3)

Earlier survey work did document a number of archaeological sites within the subject property. It is further recommended that select sites previously documented be further investigated through Stage 3 Site-specific Assessment.

The Stuart Site (AiGw-14) was originally documented prior to the O.S.T.C. study and was likely not identified or recognized as such and was incorporated into one of the clusters or find locations of the Three Cluster Site (AiGw-56). No further work is recommended for this site.

The Riverside Site (AiGw-33) is a large multi-component site dating from the Archaic through to the Late Woodland Periods. It is reported to cover an area of 7 acres. Although Thomas and Pavlish assert that the site has an undisturbed component, this is unlikely to be the case. This statement likely reflects a less disturbed component situated within a woodlot area at the time of the 1975 assessment. It is highly unlikely that this area was never ploughed. Unfortunately, this site is situated under areas of landscape modifications as part of the development of the extant golf course. While the known significance and recommendations made for this site in 1975 suggest that it should have been addressed prior to the development of the golf course, AMICK Consultants Limited has not yet found any information to show that this site was subject to Stage 3 Site-specific Assessment or Stage 4 Mitigation of Development Impacts. Given current conditions in the reported area of this site location, relocation of this site and definition of site limits may be difficult. Stage 1 testing for disturbance in this area has confirmed that the entire area has been subject to extensive landscape modifications. No evidence of any archaeological deposits were found in this location within fill deposits and no evidence of natural soils or archaeological features was encountered. Stage 2 Property Assessment is recommended for adjacent relatively undisturbed woodlot areas. Should the

Stage 2 Property Assessment fail to produce any evidence of this site, limited test excavations will be required within the area of the site location to determine if there are possible deposits below the fill soil.

The AiGw-36 Site is a small scatter of 11 artifacts of indeterminate origins. In accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011) this site will require Stage 3 Site-specific Assessment.

The Stream Bed Site (AiGw-37) is described as a small habitation site. The culture and period of the site are not known and it was not considered significant when documented as part of the O.S.T.C. survey. However, there is not enough information currently available for this site to make a determination of its potential significance based on current requirements. However, the area of this site has been ploughed in the autumn of 2012 and the field will be subject to pedestrian survey in 2013. This site will have to be relocated and subject to Stage 3 Site-specific assessment.

The Harmer Site (AiGw-38) is described as a small habitation site. There is not enough information currently available for this site to make a determination of its potential significance based on current requirements. This site will have to be relocated and subject to Stage 3 Site-specific assessment.

The Playing Field Site (AiGw-45) is shown to be on the boundary of the subject property according to the ASD but well to the east of the property according to the original report map. This site is an isolated find and does not merit further research. No further work is recommended.

The Flake Tool Site (AiGw-48) is an isolated find and does not merit further research. No further work is recommended.

The Three Clusters Site (AiGw-56) probably should have been registered as two to three distinct sites. These sites are very productive Archaic campsites and will have to be relocated and subject to Stage 3 Site-specific Assessment.

The Old Atkins Farm Site (AiGw-114) is a problematic site. It appears to have been a part of the Three Clusters Site (AiGw-56) which was not recognized as such and registered as a distinct site. The location data from the original Site Registration Form places the site within this other site. ASD mapping places the site in an area not even surveyed as part of the O.S.T.C. although it was documented as part of that research program. No further research is recommended for this site.

In summary, sites AiGw-33, 36, 37, 38 and 56 will have to be relocated and subject to Stage 3 Site-specific assessment.

The subject property is currently an active golf course and is to remain in use until such time as redevelopment is undertaken. Accordingly, the entire property can be assessed by test pit survey at a 5-metre interval between individual test pits. However, this would be a costly and long-term project. It is suggested that if development is phased, only phase 1 need be assessed by test pit survey and the balance can be ploughed and disked in preparation for pedestrian assessment. It is recommended that MTCS permit either strategy at the discretion of the proponent.

(AMICK 2016: 57-58)

5.3.4 DETAILED SITE DESCRIPTIONS

The information these reports have added to the information already contained within the archaeological sites database is minor in most cases. However, the Riverside site (AiGw-33) and the Three Clusters site (AiGw-56) have proven to be completely different than as characterized within the ASD.

Stuart (AiGw-14)

The Site Record Form for this site indicates that Bruce Emerson and Ken Swayze discovered this site in July of 1972. The site assemblage from their fieldwork that season included 29 chert artifacts. The site is described as a prehistoric campsite measuring 200 feet by 100 feet situated 1,360 feet (414.53 metres) south of Middle Road, 360 feet (109.73 metres) east of Highway 25 in a ploughed field to the south of a ravine. The current ASD mapped location of this site fits more closely with the described location of the Flake Tool site (AiGw-48) described below while the described location of this site from the Site Record form suggests that this site may actually conform to the location of cluster “b” of the Three Clusters site (AiGw-56) discussed below. A subsequent field survey conducted by Stephen Thomas and Larry Pavlish during the summer and fall of 1975 failed to revisit the site (Thomas and Pavlish 1975). Thomas also resurveyed the Stuart site (AiGw-14) as part of his research into the Three Cluster site (AiGw-56) in 1976 hoping to finally determine its relationship to the sites documented as part of the O.S.T.C. survey (Thomas 1977: 26). The site was not revisited at that time either. It appears that this site was considered by Thomas to be part of the Three Cluster site (AiGw-56). The Stuart Site (AiGw-14) was likely incorporated into one of the clusters or find locations of the Three Cluster Site (AiGw-56). No further work is recommended for this site.

North Service (AiGw-23)

The Site Record Form for the North Service Site (AiGw-23) indicates that Janet Chisholm discovered this site in 1975. The site assemblage is not included on the Site Record Form. The site type and the culture are both undetermined. The location of the North Service Site (AiGw-23) according to the Site Record Form is located in Lot 29 Concession 2 SDS in a field 1600 feet east of Highway 25 and 500 feet north of the North Service Road (parallel to lot lines). This site is situated between the “Langtree House” and the possible Peacock

house just north of North Service Road West within the Deerfield Golf Course property. This site area will have to be revisited and subject to Stage 3 Site-specific Assessment.

Ontario Sports Site (AiGw-26)

The Ontario Sports Site (AiGw-26) is located on the property of the Ontario Sports Training Centre within Lot 29 Concession 2 SDS, 1420 feet northeast of Bronte Road North and 1690 feet northwest of the North Service Road. Stephen Thomas found a total of two archaeological resources in 1975. The Site Record Form notes the Ontario Sports Site (AiGw-26) as a Woodland campsite. All Woodland Period sites require Stage 4 Mitigation of Development Impacts regardless of their apparent significance. This site area will have to be revisited and subject to Stage 3 Site-specific Assessment.

Riverside (AiGw-33)

The Riverside site (AiGw-33) is a multicomponent site that has produced artifacts dating to the Early Archaic and Early Woodland and Late Woodland periods. Over 80 artifacts were collected from the surface of the site in 1975. The location of the site is described as situated in the southeast corner of the North Half of Lot 29, Concession II, South of Dundas Street. Terry Hutchinson originally discovered the site in 1975. Current ASD mapping places this site against the break-in-slope on the boundary of the study area overlooking Fourteen Mile Creek in the northeastern corner of the existing golf course. The original mapping included in the report (Thomas and Pavlish 1975: 24/Figure 11) places this site in the centre of the same former agricultural field roughly 100 metres to the south of the ASD map location. Given the reported area of the site, both plotted locations may fall within the site limits.

Since the date of reporting of this site in 1975, the Saw Whet Golf Course was developed on the property and substantial landscape modifications were carried out over top of this site. After the initial development of the golf course, a sanitary sewer trunk line was established which ran through the periphery of the site area. As part of this installation a large quantity of soil, aggregate and other material and equipment were stockpiled on top of the site area. Following completion of this service installation, the area of the site was again subject to heavy landscape alterations in order to restore this part of the golf course. None of this work was preceded by archaeological investigations. It is clear from this outline of events that the area of this site has suffered heavy through a series of landscape modifications conducted in recent history through the use of earthmoving machinery. It may be that little or none of this site has survived but investigations should be conducted in this area to determine if there are any remaining archaeological deposits and to determine if any of these may be significant.

AiGw-36

According to the data within the ASD this site is situated 450 feet to the east of Highway 25 and 400 feet South of Highway 5, following lines parallel to the lot lines. This description is clearly incorrect as Highway 5 is Dundas Street. This description probably should have said Upper Middle Road instead of Highway 5. The site is situated on the south edge of a valley.

The site is located in the Northwest ¼ of Lot 30, Concession II South of Dundas Street. It is described as a site of indeterminate culture or time period. A total of 11 artifacts were collected from this site in 1974, when the area was an agricultural field. This site was originally registered in 1974 by Arthur Roberts who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park. The original mapping included in the report (Thomas and Pavlish 1975: 24/Figure 11) places this site in roughly the same location as current ASD mapping. This site area will have to be revisited and subject to Stage 3 Site-specific Assessment.

Stream Bed (AiGw-37)

According to the data within the ASD this site is situated 900 feet to the east of Highway 25 following a line parallel to the lot lines. The site is situated on the northern edge of a streambed. The site is located in the Northeast ¼ of Lot 30, Concession II South of Dundas Street. It is described as a small habitation site in an agricultural field. This site was originally registered in 1974 by Arthur Roberts who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park. The location of this site is within a portion of the property which is currently vacant and has been ploughed in the late autumn of 2012 for the purpose of completing a pedestrian survey as part of the Stage 2 Property Assessment. Both the ASD and the original report map (Thomas and Pavlish 1975: 24/Figure 11) show this site in the same location.

The *Ontario Sports Training Centre Archaeological Resource Inventory – Section I Recommendations & Section II Planning Directions* Report Prepared for the Ontario Ministry of Government Services and the Ontario Ministry of Culture and Recreation includes recommends that no further work be conducted with respect to this site and that the site has been sufficiently researched (Thomas and Pavlish 1975: 10).

Harmer (AiGw-38)

According to the data within the ASD this site is situated 200 feet to the east of Highway 25 following a line parallel to the lot lines. The site is situated between Highway 25 and a stream channel. The site is located in the Northwest ¼ of Lot 30, Concession II South of Dundas Street. It is described as a small habitation site in an agricultural field. This site was originally registered in 1974 by Arthur Roberts who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park. Current ASD mapping places this site in the road allowance of Bronte Road/Regional Road 25. Based on the above description, this is evidently erroneous. The original report map (Thomas and Pavlish 1975: 24/Figure 11) shows this site just to the east of Bronte Road on the north side of the stream bank just where it enters to study area. There is not enough information currently available for this site to make a determination of its potential significance based on current requirements. This site should be revisited and subject to Stage 3 Site-specific assessment. However, this site is currently buried beneath a substantial amount of soil as part of the landscape modifications undertaken to construct the

existing golf course. The site is not accessible to conventional survey methodology and may have been destroyed during construction of the golf course. Further work is recommended for this site to determine if it has been destroyed during the construction of the golf course or still remains below the landscaped feature.

Core Development (AiGw-43)

A single projectile point situated within Lot 29, Concession 2 SDS, now within an artificial pond area of the Deerfield Golf Course, represents this site. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery.

Playing Field (AiGw-45)

According to the data within the ASD this site is situated 2450 feet to the northwest of North Service Road and 2290 feet to the northeast of Bronte Road/Regional Road 25. The site is located in Lot 29, Concession II South of Dundas Street. Current ASD mapping places this site on the eastern boundary of the study area. It is described as an isolated find of a single undiagnostic artifact. This site was originally registered in 1975 by Stephen Thomas who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park and the Ontario Sports Training Centre. The original mapping included in the report (Thomas and Pavlish 1975: 24/Figure 11) places this site in the centre of the former agricultural field and well to the east of the study area. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery.

Flake Tool (AiGw-48)

According to the data within the ASD this site is situated on the north bank of the southern fork of 14 Mile Creek. The site is located in Lot 30, Concession II South of Dundas Street. Current ASD mapping places this site in the centre of the former northwest field of the study area well removed from any stream channel. It is described as an isolated find of a single undiagnostic artifact. This site was originally registered in 1975 by Stephen Thomas who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park and the Ontario Sports Training Centre. The original mapping included in the report (Thomas and Pavlish 1975: 24/Figure 11) places this site on the high ground to the north of the tributary stream of 14 Mile Creek which cuts across the northern portion of the golf course from west to east. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery.

East of 25 (AiGw-50)

This site consists of a small lithic scatter of a very few artifacts. A projectile point dating to the Laurentian Archaic is included amongst the finds. This site is situated on Lot 29,

Concession 2 SDS immediately south of the Deerfield Golf Course clubhouse, also known as “Langtree House.” An effort should be made to revisit this site, as there is very little data available at the present time.

Three Clusters (AiGw-56)

According to the data within the ASD this site is situated 5000 feet to the north of North Service Road and 200 feet to the east of Bronte Road/Regional Road 25. The site is located in Lot 30, Concession II South of Dundas Street. Current ASD mapping places this site within the road allowance of Bronte Road/Regional Road 25. It is described as a series of clusters to the south of the tributary stream of 14 Mile Creek, which cuts across the northern portion of the golf course from west to east. A total of 262 artifacts were collected during the original survey. This site was originally registered in 1975 by Terry Hutchinson who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park and the Ontario Sports Training Centre. The original mapping included in the report (Thomas and Pavlish 1975: 24/Figure 11) illustrates the locations of three distinct clusters of material, labeled “a,” “b,” and “c,” overlooking the above-noted stream channel along the south bank.

The site documenting the multiple surface collections made by Thomas in 1976 shows the locations of Clusters “a” and “b” only (see Figure 12 which is a reproduction of the AiGw-56 map included in Thomas 1977: 27). In addition, Thomas specifically notes that one of the objects of revisiting and surveying this field was to determine exactly where the previously documented AiGw-14 was (Thomas 1977: 26). This is further evidence that AiGw-14 was actually one of the isolated finds or cluster that formed a part of the Three Clusters site (AiGw-56). The Stuart site (AiGw-14) was apparently not revisited as it is not mentioned any further and does not appear on the map of the area.

Four surface collections were made of the Three Clusters site (AiGw-56) in 1976.

Cluster A

The artifacts collected from the two main concentrations within Cluster “A” produced 1071 chert items, 2 ground stone objects and 36 fire-cracked rock fragments. Only one projectile point fragment was recovered in two pieces, which appears to date to the Middle Archaic but it is not a good representation of a defined type. Thomas provides a detailed summary listing of all artifacts found within this cluster in his description. No other possible diagnostic materials were collected (Thomas 1977: 28).

Cluster B

The artifacts collected from Cluster “B” produced 236 chert items, 4 ground stone objects and 31 fire-cracked rock fragments. The assemblage includes eight projectile points and point fragments discussed below. Thomas provides a detailed summary listing of all artifacts found within this cluster in his description. No other possible diagnostic materials were

collected (Thomas 1977: 28). Although Cluster “B” was much smaller than Cluster “A”, this second area of the site yielded far more information.

Fence Line (AiGw-57)

This site consists of a small lithic scatter consisting of four (4) pieces of chipping detritus and no diagnostic artifacts, which would allow for the identification of the culture or time period. The site is located within Lot 27, Concession 2 SDS beneath the current Region of Halton Water Treatment Plant. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found. The site likely no longer exists post development.

Centre of Field 1 (AiGw-58)

This site consists of a single piece of chipping detritus located within Lot 27, Concession 2 SDS. This site was originally found within the area that has now become part of the Region of Halton Water Treatment Facility at 2195 North Service Road West. It is not possible to identify the culture or time period of this site. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found. The site likely no longer exists post development.

Centre of Field 2 (AiGw-59)

This site consists of a single piece of chipping detritus located within Lot 28, Concession 2 SDS. This site was originally found within the area that has now become part of the Region of Halton Water Treatment Facility at 2195 North Service Road West. It is not possible to identify the culture or time period of this site. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found.

Farm Lane (AiGw-73)

This site consists of a small lithic scatter consisting of three (3) artifacts, including two pieces of chipping detritus and one Late Archaic project point. The site is located within Lot 29, Concession 2 SDS within the Deerfield Golf Course. This site is not significant, is unlikely to produce any further information, and additional study is unwarranted.

North End of Field (AiGw-74)

This site consists of a small lithic scatter consisting of two (2) pieces of chipping detritus and no diagnostic artifacts, which would enable the determination of a cultural or temporal

affiliation. The site is located within Lot 29, Concession 2 SDS within the Deerfield Golf Course. This site is not significant, is unlikely to produce any further information, and additional study is unwarranted.

Atkins (AiGw-112)

This site was situated underneath the Region of Halton Facility at 1179 Bronte Road. The property on which this facility was built was subsequently assessed as part of the planning approvals process. No evidence of this site was found at that time. This site consisted of a small lithic scatter with no diagnostic artifacts that would allow for the identification of the culture or time period. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found. The site likely no longer exists post development.

Old Atkins Farm (AiGw-114)

According to the data within the ASD this site is situated to the northwest of a horse barn on the old Atkins property. The Lot and Concession are not provided for this site. It is described as of indeterminate period or culture and the collection made at this location was lost or discarded. This site was originally registered in 1975 by Arthur Roberts who had been hired by the Province of Ontario to complete an archaeological inventory within lands for the proposed Bronte Creek Provincial Park and the Ontario Sports Training Centre. Current ASD mapping places this site adjacent to Bronte Road/Regional Road 25 to the northwest of the existing maintenance complex; it is also depicted as outside of the area surveyed in 1974 or 1975 during research for the proposed Bronte Creek Provincial Park and the Ontario Sports Training Centre, although this site was documented as part of that research. It's current location in the ASD is likely based on the assumption that the house that has been converted into a maintenance office in the south corner of the golf course is the old Atkins house, whereas other sources speak of a former farm complex near the existing club house. If the latter interpretation is correct, the site would correspond to cluster "c" of the Three Cluster Site (AiGw-56). In fact, the original Site Record Form completed by Arthur Roberts actually states that the site is in the "vicinity of a first order stream draining into Lake Ontario via Oakville Ck," this description is more compatible with the latter interpretation of the original site location. The original mapping included in the report (Thomas and Pavlish 1975: 24/Figure 11) does not include this site at all, which suggests that the material found here was discarded and it is not actually a site, or that when the report was compiled, it was recognized that some site records were duplicate accounts of sites already documented. In either case, the intentional exclusion of this site from the archaeological reports and associated mapping suggests that the site was never considered worthy of further investigation.

Shoemaker (AiGw-193)

Consent to release the report detailing the archaeological work conducted on the Shoemaker (AiGw-193) has not been given, therefore, information gathered on this site is based on the

information within the Archaeological Site Database (ASD). Based on information gathered from the ASD the Shoemaker (AiGw-193) site was previously assessed in 1988 by Archaeological Services Inc. and is located within a clearing in a hardwood forest, adjacent to a creel with dark organic loam soils. This site consisted of early to mid 19th century artifacts dominated by refined English ceramics. The site measures approximately 20 by 30 metres. The Shoemaker (AiGw-193) site was subject to test pit survey at an interval of 5 metres between test pits and then was subject to topsoil stripping by gradall. The topsoil stripping did not reveal and subsurface cultural features and no further recommendations were made. No subsurface features were found suggesting that this may have been an original settlement shanty that should perhaps have been excavated by hand. As the site has been mitigated through excavation, there are no further archaeological concerns associated with the location of this site. (MTCS 2017).

Hilton (AiGw-544)

This site is situated within Lot 26, Concession 2 SDS situated on the east bank of an unnamed tributary stream course of Fourteen Mile Creek. No further information is currently available.

5.3.5 LOCATION AND CURRENT CONDITIONS

This report describes the results of the 2013 Stage 1 Archaeological Background Study of Merton Tertiary Plan, 1401 Bronte Road, Part of Lots 26, 27, 28, 29, 30 & 31, Concession 2 South of Dundas Street, (Geographic Township of Trafalgar South, County of Halton), Town of Oakville, Regional Municipality of Halton, conducted by AMICK Consultants Limited. This study was conducted under Archaeological Consulting License #P058 issued to Michael Henry by the Minister of Tourism and Culture for the Province of Ontario. This assessment was undertaken as a requirement under the Planning Act (RSO 1990b) in order to support proposed Official Plan Amendments for the Town of Oakville and potential development of the lands. All work was conducted in conformity with Ontario Ministry of Tourism and Culture (MTC) Standards and Guidelines for Consultant Archaeologists (MTC 2011), the Ontario Heritage Act (RSO 1990a), and the Ontario Heritage Amendment Act (SO 2005).

The Town of Oakville describes the Merton Tertiary Plan area as follows:

“The Town of Oakville has initiated a study of the Merton lands, the undeveloped lands generally located on the north side of the QEW and south of Upper Middle Road between Bronte Road and Third Line. The Liveable Oakville Plan identifies these lands as a Special Policy Area for potential future development and directs that the area be studied comprehensively to determine future land uses and policies.

The Merton lands were settled in 1812 as an ideal location halfway between Dundas Street and Lakeshore Road. The name ‘Merton’ came from a local settler, Ed Wrench, who originated from Merton, England. The community grew to include a blacksmith service, two schools, a Methodist church, post office, orchards and mixed

farming. Merton began to decline in the early 1900s with the loss of the post office, low church attendance and the development of the Queen Elizabeth Way. Merton is now a part of Oakville with several properties of heritage significance to be considered through the study.

There are two major landowners within the Study Area, Bronte Green Corporation and the Province of Ontario, both have expressed interest in developing their lands and have initiated technical studies in support of future development applications. Approvals for individual site development applications on these lands shall be considered premature until the necessary comprehensive studies are completed.”

(Town of Oakville 2012)

The study area is bounded on the north by Upper Middle Road West (Regional Road 38) and existing residential, and on the east by Third Line and existing residential, and on the south by North service Road and the Queen Elizabeth Way (QEW/Highway 403) and on the west by Bronte Road (Regional Road 25), woodlot and an existing watercourse. The eastern corner of the study area is located at the intersection of Third Line and Queen Elizabeth Way (QEW/Highway 403). The location of the study area is illustrated in Figure 1. A plan of the study area is included within this report as Figure 10.

5.3.6 PHYSIOGRAPHIC REGION

The study area is situated within two physiographic regions, the South Slope and the Iroquois Plain.

5.3.6.1 South Slope

The study area is situated within the South Slope physiographic region, which extends from the Niagara Escarpment to the Trent River. Conditions in the region vary greatly. The area in which the study area lies is described as a ground moraine with irregular knolls and hollows. The South Slope lies across the limestones of the Verulam and Lindsay Formations, the grey shales of the Georgian Bay Formation and the reddish shales of the Queenston Formation. A till consisting nearly of red and grey shale is reached west of the Credit River. The soil is only slightly acidic, ranging from sandy in the east to clayey in the west (Chapman and Putnam 1984: 172-174).

5.3.6.2 Iroquois Plain

The study area is located in the Iroquois Plain, which is located on the lowland bordering Lake Ontario. This area used to be under Lake Iroquois and the old shorelines can easily be identified based on unique features such as cliffs, beaches, bars and boulder pavements. Due to the fact that this physiographic region was under a lake, the conditions of the soil and landscape vary greatly from land smoothed by wave action to cliffs. Soil types range from a sandy base to a clay base, with poor drainage in some areas. The Iroquois Plains

consists of the area from the Niagara River to the Trent River and around the western end of Lake Ontario. (Chapman and Putnam 1984: 190-196)

5.3.7 SURFACE WATER

Sources of potable water, access to waterborne transportation routes, and resources associated with watersheds are each considered, both individually and collectively to be the highest criteria for determination of the potential of any location to support extended human activity, land use, or occupation. Accordingly, proximity to water is regarded as the primary indicator of archaeological site potential. The Standards and Guidelines for Consultant Archaeologists stipulates that undisturbed lands within 300 metres of a water source are considered to have archaeological potential (MTC 2011: 21).

Fourteen Mile Creek is situated within the Fourteen Mile Creek Trail Park, which defines the northeast edge of the study area. Two unnamed tributary streams of Fourteen Mile Creek converge in the northern quarter of the study area. Numerous seasonal drain cuts are found along the break-in-slope leading down to Fourteen Mile Creek. Bronte Creek comes just within 300 metres of the southwest corner of the study area.

5.3.8 CURRENT PROPERTY CONDITIONS CONTEXT

Current characteristics encountered within an archaeological research study area determine if property Assessment of specific portions of the study area will be necessary and in what manner a Stage 2 Property Assessment should be conducted, if necessary. Conventional assessment methodologies include pedestrian survey on ploughable lands and test pit methodology within areas that cannot be ploughed. For the purpose of determining where property Assessment is necessary and feasible, general categories of current landscape conditions have been established as archaeological conventions. These include:

5.3.8.1 BUILDINGS AND STRUCTURAL FOOTPRINTS

A building, in archaeological terms, is a structure that exists currently or has existed in the past in a given location. The footprint of a building is the area of the building formed by the perimeter of the foundation. Although the interior area of building foundations would often be subject to physical assessment when the foundation may represent a potentially significant historic archaeological site, the footprints of existing structures are not typically assessed. Existing structures commonly encountered during archaeological assessments are often residential-associated buildings (houses, garages, sheds), and/or component buildings of farm complexes (barns, silos, greenhouses). In many cases, even though the disturbance to the land may be relatively shallow and archaeological resources may be situated below the disturbed layer (e.g. a concrete garage pad), there is no practical means of assessing the area beneath the disturbed layer. However, if there were evidence to suggest that there are likely archaeological resources situated beneath the disturbance, alternative methodologies may be recommended to study such areas.

The study area contains numerous buildings. As far as they are known, they will be addressed by municipal address as follows:

1094 Third Line. The Fourteen Mile Creek Trail Park includes one park facility building which is situated fronting onto Third Line immediately to the north of the intersection with North Service Road West. This structure appears to have been originally built as a house.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1), a detached garage to the south of the house, and four sheds southwest of the house.

2069 North Service Road West. This property is owned by the Region of Halton and includes a water pump house.

2089 North Service Road West. This property includes one house structure.

2115 North Service Road West. This property does not appear to include any structures and is part of the Region of Halton Waste Water Treatment Facility.

2195 North Service Road West. This property includes 11 above ground structures and is part of the Region of Halton Waste Water Treatment Facility.

2251 North Service Road West. This commercial recreational facility includes one structure.

2363 North Service Road West. The main facility building at the Deerfield Golf Course includes the “Langtree House,” a listed structure in the Heritage Register maintained by the Town of Oakville (see Section 5.2.7.2). Northwest of this building and across the parking lot is a shed. A second smaller shed is situated northeast of the main building just beyond the parking lot.

2411 North Service Road West. This address is a part of the Deerfield Golf Course and at this location is a house likely built by the Peacock family, and a large equipment shed to the west of the house which was likely a former agricultural outbuilding used when the house was part of a farm complex in the early 20th century.

1179 Bronte Road. This address is a Region of Halton administrative facility that includes a large office building and two smaller structures.

1265 Bronte Road. This address is within the Saw Whet Golf Course. A house is situated at this address, which has been converted into an office. Northeast of the former house is a substantial equipment and maintenance shed. A small storage shed is situated to the northeast of this shed. North of the large shed and on the outer edge of the golf course field of play is a small shed, which affords shelter for two pop machines.

1281 Bronte Road. This address is within the Saw Whet Golf Course and includes one structure.

1300 Bronte Road. This is the largest property within the study area on the west side of Bronte Road. The property includes a large house, a detached multi-vehicle garage and a large workshop.

1316 Bronte Road. This property has one existing house.

1326 Bronte Road. This property has one existing house and a large workshop building.

1342 Bronte Road. This property has one existing house and a large workshop building.

1350 Bronte Road. This property has one existing house, a large workshop building, a large shed and two small sheds.

1354 Bronte Road. This property has one existing house and a large workshop building.

1372 Bronte Road. This property has one very large existing house with an attached multi-vehicle garage.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. Immediately to the east of the entrance off Bronte Road is a small pump house structure. The driveway off Bronte Road leads to the main building complex which includes a former house now used as an office, a purpose built clubhouse building north of the office, and a large golf cart storage and maintenance shed to the north of the clubhouse. A paved golf cart trail leads east from this complex to a concession stand building immediately east of the hydro corridor, which bisects this property.

5.3.8.2 DISTURBANCE

Areas that have been subjected to extensive and deep land alteration that would have severely damaged the integrity of archaeological resources if present, are known as land disturbances. Examples of land disturbances are areas of “past quarrying, major landscaping, recent built and industrial uses, sewage and infrastructure development, etc.” (MCL 2005: 15), as well as driveways made of either gravel or concrete, in-ground pools, and wells or cisterns. Utility lines are conduits that provide services such as water, natural gas, hydro, communications, sewage, and others. Areas containing below ground utilities are considered areas of disturbance, and are excluded from Stage 2 Physical Assessment. Disturbed areas are excluded from Stage 2 Physical Assessment due to no or low archaeological potential or because they are not assessable using conventional methodology.

1094 Third Line. The Fourteen Mile Creek Trail Park includes one park facility building which is situated fronting onto Third Line immediately to the north of the intersection with North Service Road West. An asphalt driveway leads from Third Line to the attached garage

at the north end of the house. There is a small parking area on the north side of the driveway. A concrete walkway crosses the front of the house on the east side from the driveway. This part of the Fourteen Mile Creek Trail Park has been subject to Stage 2 Archaeological Property Assessment.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1). A gravel driveway leads from North Service Road West to a parking area in front of the detached garage southwest of the house and to a parking area on the west side of the house. There is a paved walkway along the south side of the house leading to the parking area. There is a large patio area at the northwest corner of the house.

2069 North Service Road West. This property is owned by the Region of Halton and includes an asphalt-paved driveway entering the property from North Service Road West to a parking area at the front of the building on the south side. A gravel parking area is situated on the east side.

2089 North Service Road West. This property has a gravel laneway entering the property from North Service Road West.

2115 North Service Road West. This property does not appear to include any structures and is part of the Region of Halton Waste Water Treatment Facility. This property appears to be an outdoor storage or transfer station and appears to be extensively disturbed over more than 50% of the surface area.

2195 North Service Road West. This property is part of the Region of Halton Waste Water Treatment Facility. This property includes a number of disturbances in addition to the aforementioned numerous buildings. These disturbances include a road network with associated parking lots, concrete walkways, storage tanks, open treatment tanks, and enclosed treatment tanks. Although extensively disturbed, old field boundaries are still visible in the undeveloped portions of the property, indicating archaeological potential has been preserved in much of the property area.

2251 North Service Road West. This commercial recreational facility includes a miniature golf course, a gravel entrance with an associated gravel parking area with light standards, a paved and net enclosed batting cage, and a patio area on the east side of the building. The property also appears to be currently used for a casual storage area. Much of the property appears to be disturbed based on a purely visual inspection. A Stage 2 Archaeological Property Assessment would be required to properly evaluate the extent of disturbance.

2363 North Service Road West. The main facility building at the Deerfield Golf Course is situated here together with the main public access to the property. Apart from the areas discussed with particular reference to existing structures at 2411 North Service Road West, the Deerfield Golf Course includes two paved driveway accesses to the property from North Service Road West. The West entrance leads to a very large parking lot behind the main

building. The east entrance leads to a long narrow much smaller parking lot east of the main building. There are seven artificial ponds within this property in addition to numerous cart trails and sand bunkers. As well, although added features to the landscape and not technically disturbances, the numerous artificial mounds and slopes throughout the property make assessment of the natural and cultural layers beneath these artificial landscape features impossible using conventional methodology and it is unlikely that archaeological resources have survived development of the golf course. The artificial components of the landscape within this property are far more numerous and account for a much higher proportions of the surface area than in the adjacent Saw Whet property. A Stage 2 Property Assessment will have to confirm whether any known archaeological resources remain.

2411 North Service Road West. This address is a part of the Deerfield Golf Course and at this location is a house likely built by the Peacock family, and a large equipment shed to the west of the house which was likely a former agricultural outbuilding used when the house was part of a farm complex in the early 20th century. A gravel driveway leads from North Service Road West past the east side of the house around the south side of the house and continues westward to the equipment shed. A large parking lot and outdoor storage area is located on the west side of the shed and extends northward through the hydro corridor. A lane connects this area to a remnant of the old North Service Road West.

1179 Bronte Road. This address is a Region of Halton administrative facility that includes a large office building. Most of the remainder of this property is under asphalt parking lot or driveway. The northwest portion of the property is an equipment marshaling yard and adjacent outdoor storage area for property maintenance supplies, including aggregate and soil. In the northeast corner of the property is an area that appears to have been stripped of topsoil at some point in the past for which the current use is unknown. A small tree and grass-covered area at the extreme northwest corner of the property might not be disturbed to the extent that archaeological potential has been removed. Similarly, there is a grass and tree covered strip running along the east edge of the property. It is suspected that all of this property has been graded.

1265 Bronte Road. This address is within the Saw Whet Golf Course. This address is used as a maintenance facility for the property. There is a long two-lane asphalt paved driveway leading from Bronte Road to a large parking area surrounding three sides of the former house used as an office. A gravel lane leads northeast from the paved driveway just before entering the paved parking lot and leads to a gravel storage yard and parking lot to the east of the large shed. The gravel driveway also extends south of the paved driveway. This location actually has a separate municipal address (1281 Bronte Road) and is probably the old lane to access the former Atkins farm that was here during the archaeological surveys of the early 1970s. There is a large gravel parking area adjacent to the bend in the driveway as one enters the property from Bronte Road. A large area extending from the paved parking lot northward along Bronte Road past the driveway entrance is used for casual storage, including aggregate and soil. This area appears to have had only shallow impacts from casual use and should pose no impediment to systematic survey coverage of this area. A detailed Stage 1 Archaeological

Background Study of this property has been prepared under separate cover which addresses this property in greater detail.

1300 Bronte Road. This is the largest property within the study area on the west side of Bronte Road. A long gravel driveway meanders through the property toward the large house situated near the west edge. A large parking area is situated adjacent to the south side of the driveway immediately before reaching the house. The driveway terminates at a large parking area in front of the garage on the north side of the house. A walkway leads from the front of the house to the driveway to the east. A large patio area with associated walkways is located between the house and the garage. A driveway leads from the main driveway to the large workshop located east of the house and immediately west of the orchard fronting onto Bronte Road. There are two artificial ponds located to either side of the driveway between the house and the workshop. The northern pond is considerably larger and has an artificial beach located at the northeast corner.

1316 Bronte Road. A wide asphalt paved driveway leads into the property from Bronte Road. A portion of the driveway terminates in front of an attached garage. A y-shaped concrete walkway leads from the front of the house to the driveway. A patio area is situated to the rear of the house.

1326 Bronte Road. A driveway enters the property off of Bronte Road to the south of the existing house and proceeds in a straight line to the large workshop building. There are parking areas on the east and south sides of this building. There are two sidewalks leading south from the existing house to the driveway. There are parking spaces to either side of the west walkway. There appears to be a deck to the west side of the house. The northern portion of this property appears to have been a separate parcel in the recent past. There is a driveway entering this part of the property off of Bronte Road. In addition, there is no ground vegetation growing in the area north of the existing house yard. This area appears to have been subject to grading following demolition of a structure. Disturbance of this area will have to be confirmed through test pits placed at a wider interval to confirm disturbance a Stage 2 Property Assessment should this property be proposed for any land use change or development.

1342 Bronte Road. A paved driveway enters off of Bronte Road and leads directly to a parking area in front of the house. The driveway continues past the south side of the house to a parking area in front of the large workshop building. The driveway then proceeds past the south side of this structure to the rear of the workshop. A large patio or deck is situated directly to the rear of the house.

1350 Bronte Road. A paved driveway enters the property off of Bronte Road and expands into a parking area covering nearly the entire width of the property between the house and the large garage/workshop building. Sidewalks are situated adjacent to and connect the various sheds.

1354 Bronte Road. A driveway enters this property adjacent to the north edge and curves around the house in front of the workshop and exits again onto Bronte Road. The south half is asphalt paved while the north half is gravel. There is a gravel parking lot at the northwest turn of this driveway and a paved parking lot between the existing house and the workshop that extends along the south edge of the workshop. A fence within the property encloses the west end of the yard around the shop building.

1372 Bronte Road. This property has one very wide paved driveway leading from Bronte Road to the attached multi-vehicle driveway.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. The property contains previous disturbances including two asphalt-paved parking lots, an asphalt paved driveway, a gravel driveway, and gravel cart trails. In addition, an excavated artificial pond is situated near the west side of the property to the north of the paved entrance driveway and the west of the clubhouse parking lot. Extensive grading and grade changes and the numerous artificial mounds and slopes throughout the property make assessment of the natural and cultural layers beneath these artificial landscape features impossible using conventional methodology and it is unlikely that archaeological resources have survived development of the golf course. A Stage 2 Property Assessment will have to confirm whether any known archaeological resources remain.

5.3.8.3 LOW-LYING AND WET AREAS

Landscape features that are covered by permanently wet areas, such as marshes, swamps, or bodies of water like streams or lakes, are known as low-lying and wet areas. Low-lying and wet areas are excluded from Stage 2 Physical Assessment due to inaccessibility. However, natural sources of water indicate potential for archaeological resources, as they are attractive to people as source of drinking water and as areas to find plants and animals that are valued as resources.

The study area contains few low-lying and wet areas relative to the size of the area. They will be addressed according to the municipal address of the property in which they are located.

1094 Third Line. The Fourteen Mile Creek Trail Park includes most of the channel of Fourteen Mile Creek within its lands, as well as numerous seasonal drains and unnamed tributary streams flowing down the banks of the valley lands to Fourteen Mile Creek.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1). An unnamed tributary stream of Fourteen Mile Creek defines the northern and northwestern boundaries of this property while a portion of Fourteen Mile Creek is situated at the southwestern edge of the property.

2069 North Service Road West. This property is owned by the Region of Halton and includes the last open channel segment of Fourteen Mile Creek before it is culverted and passes under North Service Road West and the QEW to the south of the study area.

2363 North Service Road West. This address is a part of the Deerfield Golf Course. There are seven artificial ponds within this property however, these are technically disturbances and do not indicate potential based on proximity to water.

1300 Bronte Road. There are two artificial ponds located to either side of the driveway between the house and the workshop. The northern pond is considerably larger and has an artificial beach located at the northeast corner. As artificial water features, they are disturbances and do not enhance archaeological potential.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. An excavated artificial pond is situated near the west side of the property to the north of the paved entrance driveway and the west of the clubhouse parking lot. As an artificial water feature, this pond is a disturbance and does not enhance archaeological potential. In addition, two unnamed tributaries of Fourteen Mile Creek, which flow from west to east across the northern portion of the property, are also permanently low-lying and wet areas. These stream courses have associated expansive low-lying and wet area surrounding the stream channel near their entry to the property on the west edge.

5.3.8.4 STEEP SLOPE

Landscape which slopes at a greater than (>) 20 degree change in elevation, is known as steep slope. Areas of steep slope are considered uninhabitable, and are excluded from Stage 2 Physical Assessment.

The study area does contain areas of steep slope although the study area can generally be classified as fairly flat with little natural ground relief.

1094 Third Line. The Fourteen Mile Creek Trail Park contains most of the slope area found within the study area. Steep slopes are found along the ravine edge of Fourteen Mile Creek, which are mostly contained within the Fourteen Mile Creek Trail Park, the northeast property of the study area.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1). An unnamed tributary stream of Fourteen Mile Creek defines the northern and northwestern boundaries of this property while a portion of Fourteen Mile Creek is situated at the southwestern edge of the property. Steep slopes line the banks of these waterways.

2069 North Service Road West. This property is owned by the Region of Halton and includes the last open channel segment of Fourteen Mile Creek before it is culverted and

passes under North Service Road West and the QEW to the south of the study area. Steep slopes line the banks of this waterway.

2363 North Service Road West. This address is a part of the Deerfield Golf Course. There are seven artificial ponds within this property however, these are technically disturbances and do not indicate potential based on proximity to water.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. Relatively moderate, yet steep, slopes are found bordering two unnamed tributary streams that converge in the northern quarter of the property. With the exception of minor drainage cuts found along the break in slope leading down to Fourteen Mile Creek, the balance of steep slope found throughout the property is artificial and was placed on the course in the form of additional soil to create contours and ground relief. These areas have previously been classed as “disturbances and excluded from Stage 2 survey. However, they also qualify for exemption from survey as they consist almost entirely of steep slope.

5.3.8.5 WOODED AREAS

Areas of the property that cannot be ploughed, such as natural forest or woodlot, are known as wooded areas. These wooded areas qualify for Stage 2 Physical Assessment, and are required to be assessed using test pit survey methodology.

1094 Third Line. The Fourteen Mile Creek Trail Park is almost entirely wooded. Notable exceptions to this generalization include the yard area surrounding the former house structure located at this address, the former field areas associated with this address that were recently subject to Stage 2 Archaeological Property Assessment that are now in a process of re-naturalization, and the baseball diamond established southeast of Langtry Park adjacent to the south side of Brays Lane.

2031 North Service Road West. Much of the yard area of this property to the west of the house is wooded.

2089 North Service Road West. The east, west and north margins of this residential property are wooded.

2251 North Service Road West. A small area of this property situated on the south side of North Service Road West and adjacent to the Merton Cemetery is wooded.

2363 North Service Road West. This is the Deerfield Golf Course property. A small area of this property situated on the south side of North Service Road West and adjacent to the Merton Cemetery is wooded. A small woodlot is also situated in the southeast corner of the property directly across North Service Road West from the Merton Cemetery. The length of the west margin of this property is also wooded, as is most of the hydro corridor passing through the study area.

1300 Bronte Road. The margins of this property area wooded except the north edge of the orchard.

1342 Bronte Road. The south half of the backyard at this address is wooded.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. The property contains three woodlot areas and sporadic clusters of trees and shrubs throughout the property. In addition, there are small wooded sections along the edge of the property overlooking the Fourteen Mile Creek Valley Lands.

5.3.8.6 PLOUGHABLE AGRICULTURAL LANDS

Areas of current or former agricultural lands that have been ploughed in the past are considered ploughable agricultural lands. Ploughing these lands regularly moves the soil around, which brings covered artifacts to the surface, easily identifiable during visual inspection. Furthermore, by allowing the ploughed area to weather sufficiently through rainfall washing soil off any artifacts, the visibility of artifacts at the surface of recently worked field areas increases greatly. Pedestrian survey of ploughed agricultural lands is the preferred method of physical assessment because of the greater potential for finding evidence of archaeological resources if present.

Almost all of the study area consists of former agricultural fields. Much of the fields, when active, were assessed during 1975 and 1976. This was an early contract archaeology project completed for the Ontario Government as part of the planning approvals process for the then proposed Ontario Sports Training Centre and Bronte Creek Provincial Park. Figures 9 & 10 of this report illustrates the field areas subject to pedestrian survey during that assessment project.

2195 North Service Road West. This property is part of the Region of Halton Waste Water Treatment Facility. Although extensively disturbed, old field boundaries are still visible in the undeveloped portions of the property, indicating archaeological potential has been preserved in much of the property area. However, most of these areas have already been assessed by pedestrian survey in the past when the golf course property was agricultural land.

2363 North Service Road West. This is the Deerfield Golf Course property. The numerous artificial mounds and slopes throughout the property make assessment of the natural and cultural layers beneath these artificial landscape features impossible using conventional methodology. The artificial components of the landscape within this property are far more numerous and account for a much higher proportions of the surface area than in the adjacent Saw Whet property. However, most of these areas have already been assessed by pedestrian survey in the past when the golf course property was agricultural land. The small remaining areas of the golf course requiring assessment can be addressed with test pit methodology, which would allow the course to remain open until redevelopment begins.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. The property contains one ploughable field outside of the area of play. This portion of the property is situated on the opposite side of Fourteen Mile Creek from the golf course. Most of the golf course area consists of unmodified former farm field that has been seeded in grass. If the golf course were not in operation, these areas could be ploughed and surveyed by pedestrian survey. However, most of these areas have already been assessed by pedestrian survey in the past. The small remaining areas of the golf course requiring assessment can be addressed with test pit methodology, which would allow the course to remain open until redevelopment begins.

5.3.8.7 LAWN, PASTURE, MEADOW

Landscape features consisting of former agricultural land covered in low growth, such as lawns, pastures, meadows, shrubbery, and immature trees. These are areas that may be considered too small to warrant ploughing, (i.e. less than one hectare in area), such as yard areas surrounding existing structures, and land-locked open areas that are technically workable by a plough but inaccessible to agricultural machinery. These areas may also include open area within urban contexts that do not allow agricultural tillage within municipal or city limits or the use of urban roadways by agricultural machinery. These areas are required to be assessed using test pit survey methodology. In addition, although ploughing of former agricultural lands is the preferred method of assessment, areas maintained as lawn intended to remain as such up to the time of physical property development, do not have to be ploughed up.

Unless otherwise noted in the other sections detailing individual property conditions, the entire study area is maintained as grass covered lawn. Within most properties this also includes scattered trees, shrubs and small decorative garden features.

5.3.8.8 ORCHARDS & VINEYARDS

Areas of orchards or vineyards in which the rows of plants are 5 metres apart or more must be strip ploughed. This is the only circumstance under which strip ploughing is permissible. In cases where the rows are more confined, they must be assessed by test pit survey. There are only two areas of orchard within the study area.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1). The orchard occupies most of the property south of the house. The remnant of the orchard surviving on this property has been here at least since the Historic Atlas Map was compiled in 1877. In areas without trees there are scattered stumps.

1300 Bronte Road. The east half of this property adjacent to Bronte Road is planted with an orchard, except where the driveway passes along the southern property boundary to Bronte Road.

5.3.9 SUMMARY

Background research indicates the vicinity of the study area has potential for archaeological resources of Native origins based on proximity to a source of potable water in the past. Background research also suggests potential for archaeological resources of Euro-Canadian origins based on proximity to a historic roadway and early settlements within the study area. The current conditions on the property indicate that archaeological potential remains over most of the surface area. Areas where archaeological potential has been removed or where archaeological assessment cannot be conducted account for a small portion of the total surface area of the study area. Much of the study area with archaeological potential has been previously assessed.

Archaeological potential does not indicate that there are necessarily sites present, but that environmental and historical factors suggest that there may be as yet undocumented archaeological sites within lands that have not been subject to systematic archaeological research in the past. Areas of archaeological potential are illustrated in Figure 7 & 8.

Background research has also revealed that a large portion of the study area has been subject to a Stage 2 Archaeological Assessment in the past. Based on the recommendations flowing from that research, additional site-specific investigations should have been completed leading to the ultimate removal of archaeological concerns for the study area of the O.S.T.C. or subsequent land uses proposed following the original Stage 2 fieldwork. The areas assessed in 1975, together with the locations of sites as documented within the study area at that time are illustrated in Figure 11 of this report. The locations of many of these sites is not as represented in the ASD. The ASD locations of previously registered sites are illustrated in Figure 13.

The quality of the 1975 and 1976 research is consistent with expectations articulated in the Standards and Guidelines for Consultant Archaeologists (MTC 2011). Accordingly, it is recommended that areas subject to pedestrian survey as part of this earlier research do not require additional Stage 2 Assessment. However, recommendations with respect to Stage 3 Site-specific Assessment on the basis of potential for each of these sites to represent archaeological resources of significance or interest must be considered according to each site. These recommendations would benefit from the detailed Site-specific mapping of artifact locations that was done in 1975 and 1976; to date AMICK Consultants Limited has not been able to locate any surviving copies (MTCS, Bronte Park and Stephen Thomas have each been contacted). Detailed site descriptions, artifact catalogues and mapping for these sites, which were produced, would have potentially removed some of the smaller sites from any requirement for further work and would help re-establish the locations of these sites efficiently and effectively, and therefore would afford appreciable cost savings.

The sites discussed below are only those where further work is recommended.

The North Service Site (AiGw-23) is located in Lot 29 Concession 2 SDS situated between the “Langtree House” and the possible Peacock house just north of North Service Road West

within the Deerfield Golf Course property. There is no data for this site currently available. This site area will have to be revisited and subject to Stage 3 Site-specific Assessment.

The Ontario Sports Site (AiGw-26) is located within Lot 29 Concession 2 SDS. Stephen Thomas found a total of two archaeological resources in 1975 and he identified the location as a Woodland campsite. All Woodland Period sites require Stage 4 Mitigation of Development Impacts regardless of their apparent significance. This site area will have to be revisited and subject to Stage 3 Site-specific Assessment.

The Riverside Site (AiGw-33) is a large multi-component site dating from the Archaic through to the Late Woodland Periods. Although Thomas and Pavlish assert that the site has an undisturbed component, this is unlikely to be the case. This statement likely reflects a less disturbed component situated within a woodlot area at the time of the 1975 assessment. It is highly unlikely that this area was never ploughed. Unfortunately, this site is situated under areas of landscape modifications as part of the development of the extant golf course. While the recommendations made for this site in 1975 suggest that it should have been addressed prior to the development of the golf course, AMICK Consultants Limited has not yet found any information to show that this site was subject to Stage 3 Site-specific Assessment or Stage 4 Mitigation of Development Impacts.

Since the date of reporting of this site in 1975, the Saw Whet Golf Course was developed on the property and substantial landscape modifications were carried out over top of this site. After the initial development of the golf course, a sanitary sewer trunk line was established which ran through the periphery of the site area. As part of this installation a large quantity soil, aggregate and other material and equipment were stockpiled on top of the site area. Following completion of this service installation, the area of the site was again subject to heavy landscape alterations in order to restore this part of the golf course. None of this work was preceded by archaeological investigations. It is clear from this outline of events that the area of this site has suffered extensive impacts through a series of landscape modifications conducted in recent history through the use of earthmoving machinery. It may be that little or none of this site has survived but investigations should be conducted in this area to determine if there are any remaining archaeological deposits and to determine if any of these may be significant. Given current conditions in the reported area of this site location, relocation of this site and definition of site limits may be difficult. However, this site should be revisited if possible, and appropriate recommendations made based on the site's current condition.

The AiGw-36 Site is a small scatter of 11 artifacts of indeterminate origins. In accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011) this site will require Stage 3 Site-specific Assessment.

The Stream Bed Site (AiGw-37) is described as a small habitation site. The culture and period of the site are not known and it was not considered significant when documented as part of the O.S.T.C. survey. However, the area of this site was ploughed in the autumn of 2012 and the field was subject to pedestrian survey in the spring of 2013. Appropriate

recommendations for this site will be included in the Stage 2 report for the Saw Whet Golf Course property.

The East of 25 Site (AiGw-50) consists of a small lithic scatter of a very few artifacts. A projectile point dating to the Laurentian (Middle) Archaic is included amongst the finds. This site is situated on Lot 29, Concession 2 SDS immediately south of the Deerfield Golf Course clubhouse, also known as “Langtree House.” An effort should be made to revisit this site, as there is very little data available at the present time.

The Three Clusters Site (AiGw-56) probably should have been registered as two to three distinct sites. These sites are very productive Archaic campsites and should be revisited and subject to Stage 3 Site-specific Assessment. However, Cluster A is currently buried beneath a substantial amount of soil as part of the landscape modifications undertaken to construct the existing golf course. The site is not accessible to conventional survey methodology and may have been destroyed during construction of the golf course. Further work is recommended for this portion of this site to determine if the site has been destroyed during the construction of the golf course or still remains below the landscaped feature. In addition, Cluster C, while illustrated on the 1975 map, is not mentioned in any report or other data and appears to be an isolated find. Cluster A includes two of the 3 clusters for which the site is named and Cluster B contains the third. No further work is recommended for Cluster C. The only part of this site, which appears to be relatively intact and worthy of further investigation, is Cluster B. An effort should be made to revisit Cluster B and complete a Stage 3 Site-specific Assessment of this area.

In summary, sites AiGw-23, 26, 33, 36, 37, 38, 50 and Cluster B of AiGw-56 should be revisited and tested as part of Stage 3 Site-specific assessments.

6.0 FIELD WORK METHODS AND WEATHER CONDITIONS

This report confirms that the study area was subject to Stage 1 Property Inspection was conducted according to the archaeological fieldwork standards and guidelines, including weather and lighting conditions. Weather conditions were appropriate for the necessary fieldwork required to complete the Stage 1 Property Inspection and to create the documentation appropriate to this study. The locations from which photographs were taken and the directions toward which the camera was aimed for each photograph are illustrated in Figure 10 of this report. Upon completion of the property inspection of the study area, it was determined that select areas would require Stage 2 archaeological assessment consisting of test pit survey methodology.

6.1 PROPERTY INSPECTION

A property inspection or field reconnaissance is not required as part of a Stage 1 Archaeological Background Study. The property inspection is used to gain first-hand knowledge of the geography, topography, current condition, and archaeological potential of a study area.

As this report has been largely done in support of a wide area planning study, and not a specific property assessment, AMICK Consultants Limited did not have permission to enter all of the properties contained within the Merton Tertiary Plan area, with more detailed work only being carried out within the Saw Whet Golf Course to date. However, a reconnaissance of the study area was made using areas of public access. Information obtained from the windshield reconnaissance of the study area together with satellite images and maps of the study area were used to interpret conditions within specific subject properties.

This report confirms that all properties within the study area were subject to visual inspection as much as is reasonably possible from public vantage points. The fieldwork was conducted according to the archaeological fieldwork standards and guidelines, including weather and lighting conditions. The property reconnaissance was completed in ideal conditions under sunny skies on 01 April 2013 following the return of snow free conditions. The temperature at the time of the reconnaissance was 4°C with no wind. The locations from which photographs were taken and the directions toward which the camera was aimed for each photograph are illustrated in Figure 10 of this report. Upon completion of the field reconnaissance of the study area, it was determined that some parts of the study area would not require further assessment but, most areas potentially impacted by the proposed undertaking would require Stage 2 Property Assessment, unless previously assessed.

6.1 Photo Reconnaissance

A detailed examination and photo documentation was carried out on the study area in order to document the existing conditions of the study area to facilitate Stage 2 assessment. All properties of the study area were visually inspected and photographed. The locations from which select photographs were taken and the directions toward which the camera was aimed for each selected photograph are illustrated in Figure 10 of this report.

6.3 Archaeological Fieldwork Documentation

The documentation produced during the field investigation conducted in support of this report includes: one sketch map, two pages of photo log, one page of field notes, and 64 digital photographs. The plan employed to record field data consisted of a satellite image with contours printed over the photograph. This document is vastly superior to conventional property plans for the purpose of carrying out a field reconnaissance. The lack of a detailed study area plan at the time that the reconnaissance was conducted did not impair our ability to complete the reconnaissance.

7.0 ANALYSIS AND CONCLUSIONS

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Background Study of lands contained within the planning boundary of the Merton Tertiary Plan on 07 March 2013. A detailed photoreconnaissance of the study area

was conducted on 01 April 2013. All records, documentation, field notes, photographs and artifacts (as applicable) related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited until such time that they can be transferred to an agency or institution approved by the Ontario Ministry of Tourism, Culture and Sport (MTCS) on behalf of the government and citizens of Ontario.

Section 7.7.3 of the Standards and Guidelines for Consultant Archaeologists (MTC 2011: 132) outlines the requirements of the Analysis and Conclusions component of a Stage 1 Background Study.

- 1) *“Identify and describe areas of archaeological potential within the project area.*
- 2) *Identify and describe areas that have been subject to extensive and deep land alterations. Describe the nature of alterations (e.g., development or other activity) that have severely damaged the integrity of archaeological resources and have removed archaeological potential.”*

7.1 CHARACTERISTICS INDICATING ARCHAEOLOGICAL POTENTIAL

Section 1.3.1 of the Standards and Guidelines for Consultant Archaeologists specifies the property characteristics that indicate archaeological potential (MTC 2011: 17-18). Factors that indicate archaeological potential are features of the local landscape and environment that may have attracted people to either occupy the land or to conduct activities within the study area. One or more of these characteristics found to apply to a study area would necessitate a Stage 2 Property Assessment to determine if archaeological resources are present. These characteristics are listed below together with considerations derived from the conduct of this study. Figure 7 of this report illustrates archaeological potential modeling based on environmental characteristics.

1) Previously Identified Archaeological Sites

Previously documented archaeological sites related to First Nations activity and occupations have been documented within 300 metres of every property comprising the lands contained within the study area.

2) Water Sources

Primary water sources are described as including lakes, rivers, streams and creeks. Close proximity to primary water sources (300 metres) indicates that people had access to readily available sources of potable water and routes of waterborne trade and communication should the study area have been used or occupied in the past.

Fourteen Mile Creek is a primary water source within 300 metres of all properties on the east side of Bronte Road with the exception of 1179 Bronte Road. Bronte Creek is a primary source of water within 300 metres of all properties within the study area on the west side of Bronte Road and 1179 Bronte Road.

Secondary water sources are described as including intermittent streams and creeks, springs, marshes, and swamps. Close proximity (300 metres) to secondary water sources indicates that people had access to readily available sources of potable water, at least on a seasonal basis, and in some cases seasonal access to routes of waterborne trade and communication should the study area have been used or occupied in the past.

Numerous unnamed tributaries of Fourteen Mile Creek flow into Fourteen Mile Creek from both sides of the valley lands that form Fourteen Mile Creek Trail Park. The seasonal drain cuts along the break-in-slope overlooking the valley lands of Fourteen Mile Creek are also considered secondary water sources. Secondary water sources are found within 300 metres of all properties on the east side of Bronte Road with the exception of 1179 Bronte Road. The numerous ponds within the study area are artificial bodies of water and are therefore neither primary nor secondary sources.

3) *Features Indicating Past Water Sources*

Features indicating past water resources are described as including glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, and cobble beaches. Close proximity (300 metres) to features indicating past water sources indicates that people had access to readily available sources of potable water, at least on a seasonal basis, and in some cases seasonal access to routes of waterborne trade and communication should the study area have been used or occupied in the past.

There are no identified features indicating past water sources within 300 metres of the study area.

4) *Accessible or Inaccessible Shoreline*

This form of landscape feature would include high bluffs, swamp or marsh fields by the edge of a lake, sandbars stretching into marsh, etc.

There are no shorelines within 300 metres of the study area.

5) *Elevated Topography*

Features of elevated topography that indicate archaeological potential include eskers, drumlins, large knolls, and plateaux.

There are no identified natural features of elevated topography within the study area.

6) *Pockets of Well-drained Sandy Soil*

Pockets of sandy soil are considered to be especially important near areas of heavy soil or rocky ground.

The soil throughout the study area is clay.

7) *Distinctive Land Formations*

These are landscape features that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use, such as burials, structures, offerings, rock paintings or carvings.

There are no identified distinctive natural land formations within the study area.

8) *Resource Areas*

Resource areas that indicate archaeological potential include food or medicinal plants (e.g., migratory routes, spawning areas, and prairie), scarce raw materials (e.g., quartz, copper, ochre or outcrops of chert) and resources of importance to early Euro-Canadian industry (e.g., logging, prospecting, and mining).

There are no identified resource areas within the study area.

9) *Areas of Early Euro-Canadian Settlement*

These include places of early military or pioneer settlement (e.g., pioneer homesteads, isolated cabins, and farmstead complexes), early wharf or dock complexes, pioneer churches and early cemeteries. There may be commemorative markers of their history, such as local, provincial, or federal monuments or heritage parks.

The study area is situated within an area opened to settlement in 1806.

10) *Early Historical Transportation Routes*

This includes evidence of trails, passes, roads, railways, and portage routes.

The study area is situated adjacent to Bronte Road and Upper Middle Road, Lower Middle Road (now largely under the QEW), Bronte Road, Third Line and an unnamed historic roadway that ran north-to-south through Lot 27 and appears on the Historic Atlas Map of 1877. A remnant segment of this road also appears on the 1935 topographic map.

11) *Heritage Property*

Property listed on a municipal register or designated under the *Ontario Heritage Act* or is a federal, provincial or municipal historic landmark or site.

Three properties included within the study area are listed in the Heritage Register for the Town of Oakville:

2031 North Service Road West is designated under Part IV of the Ontario Heritage Act and is situated within Lot 26, Concession 2 SDS (South of Dundas Street). Section A (Page 20) of the Heritage Register for the Town of Oakville provides a brief history of the property and a description. The house at this location was built

around 1858 by a family who had occupied the property since 1831. In addition, the remaining orchard on the property first appears on the 1877 Historic Atlas Map.

2363 North Service Road West is listed in the Heritage Register but is not designated under the Ontario Heritage Act. Section F (Page 76) of the Heritage Register for the Town of Oakville provides a brief history of the property and a description. This house, known as the “George Langtree House,” was built around 1850.

1326 Bronte Road is listed in the Heritage Register but is not designated under the Ontario Heritage Act. Section F (Page 70) of the Heritage Register for the Town of Oakville provides a brief history of the property and a description. The house and barn were built around 1911. Given the date of these built features of the landscape, no potential for archaeological resources is indicated by these structures.

12) *Documented Historical or Archaeological Sites*

This includes property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations. These are properties which have not necessarily been formally recognized or for which there is additional evidence identifying possible archaeological resources associated with historic properties in addition to the rationale for formal recognition.

Two properties within the study property have been identified as having possible heritage value and also archaeological potential based on the interpreted heritage value of these properties.

The Merton Cemetery is situated at the southwest corner of 2363 North Service Road West (noted above), although this cemetery is not listed in its own right or within the description of the potential heritage value of the above noted heritage property at 2363 North Service Road West. The Merton/Mount Pleasant Cemetery was established in 1880 on the grounds of Mount Pleasant Church. In 1927, Mount Pleasant Church was deconsecrated and offered for auction. Out of respect for the people interred, it was decided that the cemetery would not be sold and would remain undisturbed. The church was eventually demolished and its materials were carried away for use in other buildings. The only remaining trace of the church today is its date stone at the present day cemetery.

2411 North Service Road West is a part of the Deerfield Golf Course and at this location is a house likely built by the Peacock family and may include the original house within the present structure which clearly has a number of building periods contained within it (see Plate 12). In any event, the current house is situated in the same location as the William Peacock House (Ca. 1854). The Peacocks retained possession of the property well into the 20th century. They probably built and occupied the house standing at this

7.2 CHARACTERISTICS INDICATING REMOVAL OF ARCHAEOLOGICAL POTENTIAL

Section 1.3.2 of the Standards and Guidelines for Consultant Archaeologists specifies the property characteristics which indicate no archaeological potential or for which archaeological potential has been removed (MTC 2011: 18-19). These characteristics are listed below together with considerations derived from the conduct of this study.

The introduction of Section 1.3.2 (MTC 2011: 18) notes that *“Archaeological potential can be determined not to be present for either the entire property or a part(s) of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as ‘disturbed’ or ‘disturbance’, and may include:”*

1) Quarrying

There is no evidence to suggest that quarrying operations were ever carried out within any part of the study area.

2) Major Landscaping Involving Grading Below Topsoil

Unless there is evidence to suggest the presence of buried archaeological deposits, such deeply disturbed areas are considered to have lost their archaeological potential. Properties that do not have a long history of Euro-Canadian occupation can have archaeological potential removed through extensive landscape alterations that penetrate below the topsoil layer. This is because most archaeological sites originate at grade with relatively shallow associated excavations into the soil. First Nations sites and early historic sites are vulnerable to extensive damage and complete removal due to landscape modification activities. In urban contexts where a lengthy history of occupation has occurred, properties may have deeply buried archaeological deposits covered over and sealed through redevelopment activities that do not include the deep excavation of the entire property for subsequent uses. Buildings are often erected directly over older foundations preserving archaeological deposits associated with the earlier occupation.

No property within the study area has proven to be disturbed to such an extent as to remove all archaeological potential. The disturbances listed below impact only portions of each of the listed properties and often represent landscape modifications which are unlikely to have removed all archaeological potential but which cannot be subject to archaeological assessment employing conventional methodologies (e.g. gravel, concrete or asphalt covered surfaces)

1094 Third Line. The Fourteen Mile Creek Trail Park includes one park facility building which is situated fronting onto Third Line immediately to the north of the intersection with North Service Road West. An asphalt driveway leads from Third Line to the attached garage at the north end of the house. There is a small parking area on the north side of the driveway. A concrete walkway crosses the front of the

house on the east side from the driveway. This part of the Fourteen Mile Creek Trail Park has been subject to Stage 2 Archaeological Property Assessment.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1). A gravel driveway leads from North Service Road West to a parking area in front of the detached garage southwest of the house and to a parking area on the west side of the house. There is a paved walkway along the south side of the house leading to the parking area. There is a large patio area at the northwest corner of the house.

2069 North Service Road West. This property is owned by the Region of Halton and includes an asphalt-paved driveway entering the property from North Service Road West to a parking area at the front of the building on the south side. A gravel parking area is situated on the east side.

2089 North Service Road West. This property has a gravel laneway entering the property from North Service Road West.

2115 North Service Road West. This property does not appear to include any structures and is part of the Region of Halton Waste Water Treatment Facility. This property appears to be an outdoor storage or transfer station and appears to be extensively disturbed over more than 50% of the surface area.

2195 North Service Road West. This property is part of the Region of Halton Waste Water Treatment Facility. This property includes a number of disturbances in addition to the aforementioned numerous buildings. These disturbances include a road network with associated parking lots, concrete walkways, storage tanks, open treatment tanks, and enclosed treatment tanks. Although extensively disturbed, old field boundaries are still visible in the undeveloped portions of the property, indicating archaeological potential has been preserved in much of the property area.

2251 North Service Road West. This commercial recreational facility includes a miniature golf course, a gravel entrance with an associated gravel parking area with light standards, a paved and net enclosed batting cage, and a patio area on the east side of the building. The property also appears to be currently used for a casual storage area. Much of the property appears to be disturbed based on a purely visual inspection. A Stage 2 Archaeological Property Assessment would be required to properly evaluate the extent of disturbance.

2363 North Service Road West. The main facility building at the Deerfield Golf Course is situated here together with the main public access to the property. Apart from the areas discussed with particular reference to existing structures at 2411 North Service Road West, the Deerfield Golf Course includes two paved driveway accesses to the property from North Service Road West. The West entrance leads to a very large parking lot behind the main building. The east entrance leads to a long narrow

much smaller parking lot east of the main building. There are seven artificial ponds within this property in addition to numerous cart trails and sand bunkers. As well, although added features to the landscape and not technically disturbances, the numerous artificial mounds and slopes throughout the property make assessment of the natural and cultural layers beneath these artificial landscape features impossible using conventional methodology. The artificial components of the landscape within this property are far more numerous and account for a much higher proportions of the surface area than in the adjacent Saw Whet property. A detailed Stage 1 Archaeological Background Study of this entire property is needed in order to adequately address the complexities of this property in advance of a Stage 2 Property Assessment or Stage 3 Site-specific Assessments of known archaeological resources of potential heritage value or significance.

2411 North Service Road West. This address is a part of the Deerfield Golf Course and at this location is a house likely built by the Peacock family, and a large equipment shed to the west of the house which was likely a former agricultural outbuilding used when the house was part of a farm complex in the early 20th century. A gravel driveway leads from North Service Road West past the east side of the house around the south side of the house and continues westward to the equipment shed. A large parking lot and outdoor storage area is located on the west side of the shed and extends northward through the hydro corridor. A lane connects this area to a remnant of the old North Service Road West.

1179 Bronte Road. This address is a Region of Halton administrative facility that includes a large office building. Most of the remainder of this property is under asphalt parking lot or driveway. The northwest portion of the property is an equipment marshaling yard and adjacent outdoor storage area for property maintenance supplies, including aggregate and soil. In the northeast corner of the property is an area that appears to have been stripped of topsoil at some point in the past for which the current use is unknown. A small tree and grass-covered area at the extreme northwest corner of the property might not be disturbed to the extent that archaeological potential has been removed. Similarly, there is a grass and tree covered strip running along the east edge of the property. It is suspected that all of this property has been graded.

1265 Bronte Road. This address is within the Saw Whet Golf Course. This address is used as a maintenance facility for the property. There is a long two-lane asphalt paved driveway leading from Bronte Road to a large parking area surrounding three sides of the former house used as an office. A gravel lane leads northeast from the paved driveway just before entering the paved parking lot and leads to a gravel storage yard and parking lot to the east of the large shed. The gravel driveway also extends south of the paved driveway. This location actually has a separate municipal address (1281 Bronte Road) and is probably the old lane to access the former Atkins farm that was here during the archaeological surveys of the early 1970s. There is a large gravel parking area adjacent to the bend in the driveway as one enters the

property from Bronte Road. A large area extending from the paved parking lot northward along Bronte Road past the driveway entrance is used for casual storage, including aggregate and soil. This area appears to have had only shallow impacts from causal use and should pose no impediment to systematic survey coverage of this area.

1300 Bronte Road. This is the largest property within the study area on the west side of Bronte Road. A long gravel driveway meanders through the property toward the large house situated near the west edge. A large parking area is situated adjacent to the south side of the driveway immediately before reaching the house. The driveway terminates at a large parking area in front of the garage on the north side of the house. A walkway leads from the front of the house to the driveway to the east. A large patio area with associated walkways is located between the house and the garage. A driveway leads from the main driveway to the large workshop located east of the house and immediately west of the orchard fronting onto Bronte Road. There are two artificial ponds located to either side of the driveway between the house and the workshop. The northern pond is considerably larger and has an artificial beach located at the northeast corner.

1316 Bronte Road. A wide asphalt paved driveway leads into the property from Bronte Road. A portion of the driveway terminates in front of an attached garage. A y-shaped concrete walkway leads from the front of the house to the driveway. A patio area is situated to the rear of the house.

1326 Bronte Road. A driveway enters the property off of Bronte Road to the south of the existing house and proceeds in a straight line to the large workshop building. There are parking areas on the east and south sides of this building. There are two sidewalks leading south from the existing house to the driveway. There are parking spaces to either side of the west walkway. There appears to be a deck to the west side of the house. The northern portion of this property appears to have been a separate parcel in the recent past. There is a driveway entering this part of the property off of Bronte Road. In addition, there is no ground vegetation growing in the area north of the existing house yard. This area appears to have been subject to grading following demolition of a structure. Disturbance of this area will have to be confirmed through test pits placed at a wider interval to confirm disturbance a Stage 2 Property Assessment should this property be proposed for any land use change or development.

1342 Bronte Road. A paved driveway enters off of Bronte Road and leads directly to a parking area in front of the house. The driveway continues past the south side of the house to a parking area in front of the large workshop building. The driveway then proceeds past the south side of this structure to the rear of the workshop. A large patio or deck is situated directly to the rear of the house.

1350 Bronte Road. A paved driveway enters the property off of Bronte Road and expands into a parking area covering nearly the entire width of the property between the house and the large garage/workshop building. Sidewalks are situated adjacent to and connect the various sheds.

1354 Bronte Road. A gravel driveway enters this property adjacent to the north edge and curves around the house in front of the workshop and exits again onto Bronte Road. The south half is asphalt paved while the north half is gravel. There is a gravel parking lot at the northwest turn of this driveway and a paved parking lot between the existing house and the workshop, which extends along the south edge of the workshop. A fence within the property encloses the west end of the yard around the shop building.

1372 Bronte Road. This property has one very wide paved driveway leading from Bronte Road to the attached multi-vehicle driveway.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. The property contains previous disturbances including two asphalt-paved parking lots, an asphalt paved driveway, a gravel driveway, and gravel cart trails. In addition, an excavated artificial pond is situated near the west side of the property to the north of the paved entrance driveway and the west of the clubhouse parking lot. As well, although added features to the landscape and not technically disturbances, the numerous artificial mounds and slopes throughout the property make assessment of the natural and cultural layers beneath these artificial landscape features impossible using conventional methodology.

3) *Building Footprints*

Typically, the construction of buildings involves the deep excavation of foundations, footings and cellars that often obliterate archaeological deposits situated close to the surface.

1094 Third Line. The Fourteen Mile Creek Trail Park includes one park facility building which is situated fronting onto Third Line immediately to the north of the intersection with North Service Road West. This structure appears to have been originally built as a house.

2031 North Service Road West. This property includes a house designated under Part IV of the Ontario Heritage Act (see Section 5.2.7.1), a detached garage to the south of the house, and four sheds southwest of the house.

2069 North Service Road West. This property is owned by the Region of Halton and includes a water pump house.

2089 North Service Road West. This property includes one house structure.

2115 North Service Road West. This property does not appear to include any structures and is part of the Region of Halton Waste Water Treatment Facility.

2195 North Service Road West. This property includes 11 above ground structures and is part of the Region of Halton Waste Water Treatment Facility.

2251 North Service Road West. This commercial recreational facility includes one structure.

2363 North Service Road West. The main facility building at the Deerfield Golf Course includes the “Langtree House,” a listed structure in the Heritage Register maintained by the Town of Oakville (see Section 5.2.7.2). Northwest of this building and across the parking lot is a shed. A second smaller shed is situated northeast of the main building just beyond the parking lot.

2411 North Service Road West. This address is a part of the Deerfield Golf Course and at this location is a house likely built by the Peacock family, and a large equipment shed to the west of the house which was likely a former agricultural outbuilding used when the house was part of a farm complex in the early 20th century.

1179 Bronte Road. This address is a Region of Halton administrative facility that includes a large office building.

1265 Bronte Road. This address is within the Saw Whet Golf Course. A house is situated at this address, which has been converted into an office. Northeast of the former house is a substantial equipment and maintenance shed. A small storage shed is situated to the northeast of this shed. North of the large shed and on the outer edge of the golf course field of play is a small shed, which affords shelter for two pop machines.

1300 Bronte Road. This is the largest property within the study area on the west side of Bronte Road. The property includes a large house, a detached multi-vehicle garage and a large workshop.

1316 Bronte Road. This property has one existing house.

1326 Bronte Road. This property has one existing house and a large workshop building.

1342 Bronte Road. This property has one existing house and a large workshop building.

1350 Bronte Road. This property has one existing house, a large workshop building, a large shed and two small sheds.

1354 Bronte Road. This property has one existing house and a large workshop building.

1372 Bronte Road. This property has one very large existing house with an attached multi-vehicle garage.

1401 Bronte Road. This is the municipal address at the main entrance to the Saw Whet Golf Course. Immediately to the east of the entrance off Bronte Road is a small pump house structure. The driveway off Bronte Road leads to the main building complex which includes a former house now used as an office, a purpose built clubhouse building north of the office, and a large golf cart storage and maintenance shed to the north of the clubhouse. A paved golf cart trail leads east from this complex to a concession stand building immediately east of the hydro corridor, which bisects this property.

4) *Sewage and Infrastructure Development*

Installation of sewer lines and other below ground services associated with infrastructure development often involves deep excavation that can remove archaeological potential.

Partial information has been found to indicate that a major sewer trunk line has been installed across the study area from the east side of Bronte road to the north of the main entrance to the Saw Whet Golf Course immediately south of the break-in-slope overlooking the tributary stream to Fourteen Mile Creek. This sewer installation was quite deep, apparently necessitating a stepped trench excavation to prevent wall collapse on the sides of the trench. Allegedly, easement is situated close to the south edge of the ravine slope. This installation may have severely damaged or obliterated a number of potentially significant sites. If engineering plans can be located documenting the whole route through the study area. Some sections of the study area may be eliminated from any requirement for further study.

“Activities such as agricultural cultivation, gardening, minor grading and landscaping do not necessarily affect archaeological potential.”

(MTC 2011: 18)

“Archaeological potential is not removed where there is documented potential for deeply buried intact archaeological resources beneath land alterations, or where it cannot be clearly demonstrated through background research and property inspection that there has been complete and intensive disturbance of an area. Where complete disturbance cannot be demonstrated in Stage 1, it will be necessary to undertake Stage 2 assessment.”

(MTC 2011: 18)

Table 14 below summarizes the evaluation criteria of the Ministry of Tourism and Culture together with the results of the Stage 1 Background Study for the proposed undertaking. Based on the criteria, the property is deemed to have archaeological potential on the basis of

proximity to water, nearby previously documented archaeological sites, documentary evidence of possible settlement within portions of the property prior to 1850, and the location of early historic settlement roads adjacent to the study area.

Figure 7 illustrates the study area as well as areas of archaeological potential based on distance to water, proximity of registered archaeological sites, and proximity of historic transportation routes.

TABLE 14 EVALUATION OF ARCHAEOLOGICAL POTENTIAL

FEATURE OF ARCHAEOLOGICAL POTENTIAL		YES	NO	N/A	COMMENT
1	Known archaeological sites within 300m	Y			If Yes, potential determined
PHYSICAL FEATURES					
2	Is there water on or near the property?	Y			If Yes, what kind of water?
2a	Primary water source within 300 m. (lakeshore, river, large creek, etc.)	Y			If Yes, potential determined
2b	Secondary water source within 300 m. (stream, spring, marsh, swamp, etc.)	Y			If Yes, potential determined
2c	Past water source within 300 m. (beach ridge, river bed, relic creek, etc.)		N		If Yes, potential determined
2d	Accessible or Inaccessible shoreline within 300 m. (high bluffs, marsh, swamp, sand bar, etc.)		N		If Yes, potential determined
3	Elevated topography (knolls, drumlins, eskers, plateaus, etc.)		N		If Yes, and Yes for any of 4-9, potential determined
4	Pockets of sandy soil in a clay or rocky area		N		If Yes and Yes for any of 3, 5-9, potential determined
5	Distinctive land formations (mounds, caverns, waterfalls, peninsulas, etc.)		N		If Yes and Yes for any of 3-4, 6-9, potential determined
HISTORIC/PREHISTORIC USE FEATURES					
6	Associated with food or scarce resource harvest areas (traditional fishing locations, agricultural/berry extraction areas, etc.)		N		If Yes, and Yes for any of 3-5, 7-9, potential determined.
7	Early Euro-Canadian settlement area within 300 m.		N		If Yes, and Yes for any of 3-6, 8-9, potential determined
8	Historic Transportation route within 100 m. (historic road, trail, portage, rail corridors, etc.)	Y			If Yes, and Yes for any 3-7 or 9, potential determined
9	Contains property designated and/or listed under the Ontario Heritage Act (municipal heritage committee, municipal register, etc.)	Y			If Yes and, Yes to any of 3-8, potential determined
APPLICATION-SPECIFIC INFORMATION					
10	Local knowledge (local heritage organizations, First Nations, etc.)	Y			If Yes, potential determined

11	Recent disturbance not including agricultural cultivation (post-1960-confirmed extensive and intensive including industrial sites, aggregate areas, etc.)	Y			If Yes, no potential or low potential in affected part (s) of the study area.
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If **YES** to any of 1, 2a-c, or 10 Archaeological Potential is **confirmed**.

If **YES** to 2 or more of 3-9, Archaeological Potential is **confirmed**.

If **YES** to 11 or No to 1-10 Low Archaeological Potential is **confirmed** for at least a portion of the study area.

7.3 STAGE 1 ANALYSIS AND CONCLUSIONS

As a result of the Stage 1 Background Study properties within the study area are deemed to have archaeological potential on the basis of proximity to registered archaeological sites, proximity to water, designated and listed properties within the study area, other possible early settlement sites within portions of the study area, and proximity to early roads.

8.0 RECOMMENDATIONS

9.1 STAGE 1 RECOMMENDATIONS

Under Section 7.7.4 of the Standards and Guidelines for Consultant Archaeologists (MTC 2011: 133) the recommendations to be made as a result of a Stage 1 Background Study are described.

- 1) *Make recommendations regarding the potential for the property, as follows:*
 - a. *if some or all of the property has archaeological potential, identify areas recommended for further assessment (Stage 2) and areas not recommended for further assessment. Any exemptions from further assessment must be consistent with the archaeological fieldwork standards and guidelines.*
 - b. *if no part of the property has archaeological potential, recommend that the property does not require further archaeological assessment.*
- 2) *Recommend appropriate Stage 2 assessment strategies.*

Background research indicates that the entirety of the study area has potential for archaeological resources of Native origins based on proximity to a source of potable water in the past. Background research also suggests potential for archaeological resources of Euro-Canadian origins based on documentation of early settlement within the study area and surrounding vicinity, the mapped locations of early settlement sites on historic maps, and proximity to historic roadways. The current conditions within the study area indicate that archaeological potential remains over most of the surface area. No property within the study area has been so extensively disturbed as to indicate a complete lack of all archaeological potential. Accordingly, the following recommendations are made:

1) Prior to any development disturbance, Stage 2 assessment by means of either pedestrian or test pit survey, as appropriate to the location and conditions, should be undertaken for all lands with archaeological potential that have not previously been subjected to Stage 2 assessment.

2) Prior to any development disturbance, all outstanding archaeological concerns for any previously registered archaeological sites within the subject lands should be addressed by means of Stage 3 assessment. This includes Sites AiGw-23, 26, 33, 36, 37, 38, 50 and Cluster B of AiGw-56. Such assessment may lead to recommendations for Stage 4 mitigation, either by means of avoidance and protection or by means of comprehensive salvage excavation.

The Stuart Site (AiGw-14) was originally documented prior to the O.S.T.C. study and was likely not identified or recognized as such and was incorporated into one of the clusters or find locations of the Three Cluster Site (AiGw-56). No further work is recommended for this site.

The North Service Site (AiGw-23) Site Record Form for the North Service Site (AiGw-23) indicates that Janet Chisholm discovered this site in 1975. The site assemblage is not included on the Site Record Form. The site type and the culture are both undetermined. The location of the North Service Site (AiGw-23) according to the Site Record Form is located in Lot 29 Concession 2 SDS in a field 1600 feet east of Highway 25 and 500 feet north of the North Service Road (parallel to lot lines). This site is situated between the “Langtree House” and the possible Peacock house just north of North Service Road West within the Deerfield Golf Course property. This site will have to be relocated through Stage 2 Property Assessment according to the Stage 2 standards (MTCS 2011: 27-41) and subject to Stage 3 Site-specific Assessment according to the Stage 3 standards (MTCS 2011: 45-63).

The Ontario Sports Site (AiGw-26) is located within Lot 29 Concession 2 SDS. Stephen Thomas found a total of two archaeological resources in 1975 and he identified the location as a Woodland campsite. All Woodland Period sites require Stage 4 Mitigation of Development Impacts regardless of their apparent significance. This site will have to be relocated through Stage 2 Property Assessment according to the Stage 2 standards (MTCS 2011: 27-41) and subject to Stage 3 Site-specific Assessment according to the Stage 3 standards (MTCS 2011: 45-63).

The Riverside Site (AiGw-33) is a large multi-component site dating from the Archaic through to the Late Woodland Periods. It is reported to cover an area of 7 acres. Although Thomas and Pavlish assert that the site has an undisturbed component, this is unlikely to be the case. This statement likely reflects a less disturbed component situated within a woodlot area at the time of the 1975 assessment. It is highly unlikely that this area was never ploughed. Unfortunately, this site is situated under areas of landscape modifications as part

of the development of the extant golf course. While the known significance and recommendations made for this site in 1975 suggest that it should have been addressed prior to the development of the gold course, AMICK Consultants Limited has not yet found any information to show that this site was subject to Stage 3 Site-specific Assessment or Stage 4 Mitigation of Development Impacts. Given current conditions in the reported area of this site location, relocation of this site and definition of site limits may be difficult. Stage 1 testing for disturbance in this area has confirmed that the entire area has been subject to extensive landscape modifications. No evidence of any archaeological deposits were found in this location within fill deposits and no evidence of natural soils or archaeological features was encountered. Stage 2 Property Assessment is recommended for adjacent relatively undisturbed woodlot areas. Should the Stage 2 Property Assessment fail to produce any evidence of this site, limited test excavations will be required within the area of the site location to determine if there are possible deposits below the fill soil in accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011).

The AiGw-36 Site is a small scatter of 11 artifacts of indeterminate origins. In accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011) this site will have to be relocated through Stage 2 Property Assessment and subject to Stage 3 Site-specific assessment.

The Stream Bed Site (AiGw-37) is described as a small habitation site. The culture and period of the site are not known and it was not considered significant when documented as part of the O.S.T.C. survey. However, there is not enough information currently available for this site to make a determination of its potential significance based on current requirements. However, the area of this site has been ploughed in the autumn of 2012 and the field will be subject to pedestrian survey in 2013. In accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011) this site will have to be relocated through Stage 2 Property Assessment and subject to Stage 3 Site-specific assessment.

The Harmer Site (AiGw-38) is described as a small habitation site. There is not enough information currently available for this site to make a determination of its potential significance based on current requirements. In accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011) this site will have to be relocated through Stage 2 Property Assessment and subject to Stage 3 Site-specific assessment.

The Core Development Site (AiGw-43) is a single projectile point situated within Lot 29, Concession 2 SDS, now within an artificial pond area of the Deerfield Golf Course, represents this site. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery.

The Playing Field Site (AiGw-45) is shown to be on the boundary of the subject property according to the ASD but well to the east of the property according to the original report map. This site is an isolated find and does not merit further research. No further work is recommended.

The Flake Tool Site (AiGw-48) is an isolated find and does not merit further research. No further work is recommended.

The East of 25 Site (AiGw-50) consists of a small lithic scatter of a very few artifacts. A projectile point dating to the Laurentian (Middle) Archaic is included amongst the finds. This site is situated on Lot 29, Concession 2 SDS immediately south of the Deerfield Golf Course clubhouse, also known as “Langtree House.” An effort should be made to revisit this site, as there is very little data available at the present time in accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011).

The Three Clusters Site (AiGw-56) probably should have been registered as two to three distinct sites. These sites are very productive Archaic campsites and will have to be relocated and subject to Stage 3 Site-specific Assessment according to the Stage 3 standards (MTCS 2011: 45-63). Cluster A (AiGw-56) is located under a landscaped area and will require modified survey procedures for relocation. The relocation is recommended to follow the Standards for deeply buried conditions as part of the Stage 2 and/or Stage 3 assessment (MTCS 2017: 55-56).

Fence Line (AiGw-57) site consists of a small lithic scatter consisting of four (4) pieces of chipping detritus and no diagnostic artifacts, which would allow for the identification of the culture or time period. The site is located within Lot 27, Concession 2 SDS beneath the current Region of Halton Water Treatment Plant. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found. The site likely no longer exists post development.

Centre of Field 1 (AiGw-58) site consists of a single piece of chipping detritus located within Lot 27, Concession 2 SDS. This site was originally found within the area that has now become part of the Region of Halton Water Treatment Facility at 2195 North Service Road West. It is not possible to identify the culture or time period of this site. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found. The site likely no longer exists post development.

Centre of Field 2 (AiGw-59) site consists of a single piece of chipping detritus located within Lot 28, Concession 2 SDS. This site was originally found within the area that has now become part of the Region of Halton Water Treatment Facility at 2195 North Service Road West. It is not possible to identify the culture or time period of this site. In any case, according to current policy, this isolated find does not merit registration within the ASD and does not warrant additional investigations subsequent to the original discovery. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found.

Farm Lane (AiGw-73) site consists of a small lithic scatter consisting of three (3) artifacts, including two pieces of chipping detritus and one Late Archaic project point. The site is located within Lot 29, Concession 2 SDS within the Deerfield Golf Course. This site is not significant, is unlikely to produce any further information, and additional study is unwarranted.

North End of Field (AiGw-74) site consists of a small lithic scatter consisting of two (2) pieces of chipping detritus and no diagnostic artifacts, which would enable the determination of a cultural or temporal affiliation. The site is located within Lot 29, Concession 2 SDS within the Deerfield Golf Course. This site is not significant, is unlikely to produce any further information, and additional study is unwarranted.

Atkins (AiGw-112) site was situated underneath the Region of Halton Facility at 1179 Bronte Road. The property on which this facility was built was subsequently assessed as part of the planning approvals process. No evidence of this site was found at that time. This site consisted of a small lithic scatter with no diagnostic artifacts that would allow for the identification of the culture or time period. This facility was subject to an archaeological assessment prior to construction and no further evidence of this site was found. The site likely no longer exists post development.

The Old Atkins Farm Site (AiGw-114) is a problematic site. It appears to have been a part of the Three Clusters Site (AiGw-56) which was not recognized as such and registered as a distinct site. The location data from the original Site Registration Form places the site within this other site. ASD mapping places the site in an area not even surveyed as part of the O.S.T.C. although it was documented as part of that research program. No further research is recommended for this site.

Shoemaker (AiGw-193) site, based on information gathered from the ASD (Archaeological Site Database) was previously assessed in 1988 by Archaeological Services Inc. Consent to release the report detailing the archaeological work conducted on the Shoemaker (AiGw-193) has not been given, therefore, information gathered on this site is based on the information

within the Archaeological Site Database (ASD). The Shoemaker (AiGw-193) site is noted as located within a clearing in a hardwood forest, adjacent to a creel with dark organic loam soils. This site consisted of early to mid 19th century artifacts dominated by refined English ceramics. The site measures approximately 20 by 30 metres. The Shoemaker (AiGw-193) site was subject to test pit survey at an interval of 5 metres between test pits and then was subject to topsoil stripping by gradall. The topsoil stripping did not reveal and subsurface cultural features and no further recommendations were made. No subsurface features were found suggesting that this may have been an original settlement shanty that should perhaps have been excavated by hand. As the site has been mitigated through excavation, there are no further archaeological concerns associated with the location of this site. (MTCS 2017).

Hilton (AiGw-544) site is situated within Lot 26, Concession 2 SDS situated on the east bank of an unnamed tributary stream course of Fourteen Mile Creek. No further information is currently available.

In summary, sites AiGw-23, 26, 33, 36, 37, 38, 50 and 56 will have to be relocated and subject to Stage 3 Site-specific assessment in accordance with the Standards and Guidelines for Consultant Archaeologists (MTC 2011).

The subject property is currently an active golf course and is to remain in use until such time as redevelopment is undertaken. Accordingly, it is recommended that the entire property, excluding that areas not viable to assess (presence of structures, asphalt etc.) be subject to Stage 2 by test pit survey methodology at a 5-metre interval between individual test pits in accordance of the Standards governing the use. However, this would be a costly and long-term project. It is suggested that if development is phased, only phase 1 need be assessed by test pit survey and the balance can be ploughed and disked in preparation for pedestrian assessment in accordance of the Standards governing the use. It is recommended that MTCS permit either strategy at the discretion of the proponent. The objectives of the Stage 2 Property Assessment is to relocate the sites requiring further investigations and determine if any additional site(s) are present within the study area. If the site(s) can not be relocated during the Stage 2 Property Assessment, Stage 3 Site-specific test units are recommended for relocating in addition to gathering further information about each site. Cluster A (AiGw-56) is located under a landscaped area and will require modified survey procedures for relocation. The relocation is recommended to follow the Standards for deeply buried conditions as part of the Stage 2 and/or Stage 3 assessment. The Standards for which are outlined below.

2.1.7 Survey in deeply buried conditions

In urban and brownfield properties, on floodplains, or where soil or sediments have been deposited in the past, original ground surfaces may be deeply buried and the sequence of deposition is often complex. These conditions require modified survey procedures to reduce the potential of damage to intact

archaeological resources.

Where archaeological sites are identified in these conditions, it will often be most practical to proceed immediately to Stage 3. In some cases, however, the methods used in Stage 2 will be sufficient to accomplish the objectives of Stage 3, in which case the Stage 2 work may be deemed to have accomplished Stage 3 assessment.

Standards

- 1. Survey strategies must be designed to be most effective in identifying potential archaeological resources (e.g., ensure that excavation covers all areas identified in Stage 1 as possessing historic structures, or ensure that buried natural soil horizons are fully investigated).*
- 2. For properties where there is the potential for both deeply buried archaeological resources and for archaeological resources to be present near the surface, and where it is viable to carry out surface survey methods (i.e., pedestrian survey or test pitting), survey of the upper layers to identify any archaeological sites and to determine the extent and degree of disturbance must be carried out prior to using more invasive methods such as backhoe trenching.*
- 3. Use backhoes or equivalent heavy excavating machinery instead of shovels when deep subsurface excavation is necessary to verify the presence of and to assess deeply buried archaeological resources. Excavate trenches within the core of the planned development area and over any areas of archaeological potential:*
 - a. at maximum intervals of 10 m within those areas*
 - b. to obtain sections and clear profiles of those areas*
- 4. If other techniques have not made a conclusive determination regarding the presence of deeply buried archaeological resources expected as a result of Stage 1 evaluation, the consultant archaeologist must monitor excavation and the removal of fill as follows:*
 - a. Conduct on-site monitoring where and when work is proceeding in areas where archaeological sites are predicted to exist, or where construction excavation is extending to a depth that warrants concern. (On-site monitoring may not be required across the entire development site or at all times during construction.)*
 - b. Prepare, in consultation with the proponent and contractors, a contingency plan outlining procedures, documentation, and time*

requirements in the event that archaeological resources are exposed.

c. Recover all diagnostic artifacts related to the archaeological site of cultural heritage value or interest that are exposed during monitoring. Do not recover diagnostic artifacts related to 'fill'.

- 5. If an archaeological site (i.e., artifacts or features possessing sufficient cultural heritage value or interest to support a recommendation to proceed to Stage 3) is uncovered or affected, construction and monitoring activities must cease in that location.*

(MTCS 2011: 36-38)

One of the objectives of the Stage 3 Site-specific assessment at each of these locations will be to determine if these site are still present or have been altered or destroyed as a result of landscape modifications.

10.0 ADVICE ON COMPLIANCE WITH LEGISLATION

While not part of the archaeological record, this report must include the following standard advisory statements for the benefit of the proponent and the approval authority in the land use planning and development process:

- a. This report is submitted to the Minister of Tourism and Culture as a condition of licensing in accordance with Part VI of the Ontario Heritage Act, R.S.O. 1990, c. 0.18. The report is reviewed to ensure that it complies with the standards and guidelines issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Tourism and Culture, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.*
- b. It is an offence under Sections 48 and 69 of the Ontario Heritage Act for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the Ontario Heritage Act.*
- c. Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the Ontario Heritage Act. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed archaeologist to carry out archaeological fieldwork, in compliance with sec. 48 (1) of the Ontario Heritage Act.*
- d. The Cemeteries Act, R.S.O. 1990, c. C.4 and the Funeral, Burial and Cremation Services Act, 2002, S.O. 2002, c.33 (when proclaimed in force) require that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.*
- e. Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48 (1) of the Ontario Heritage Act and may not be altered, or have artifacts removed from them, except by a person holding an archaeological licence.*

11.0 BIBLIOGRAPHY AND SOURCES

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11.0 Maps



FIGURE 1 LOCATION OF THE STUDY AREA (GOOGLE MAPS 2012)

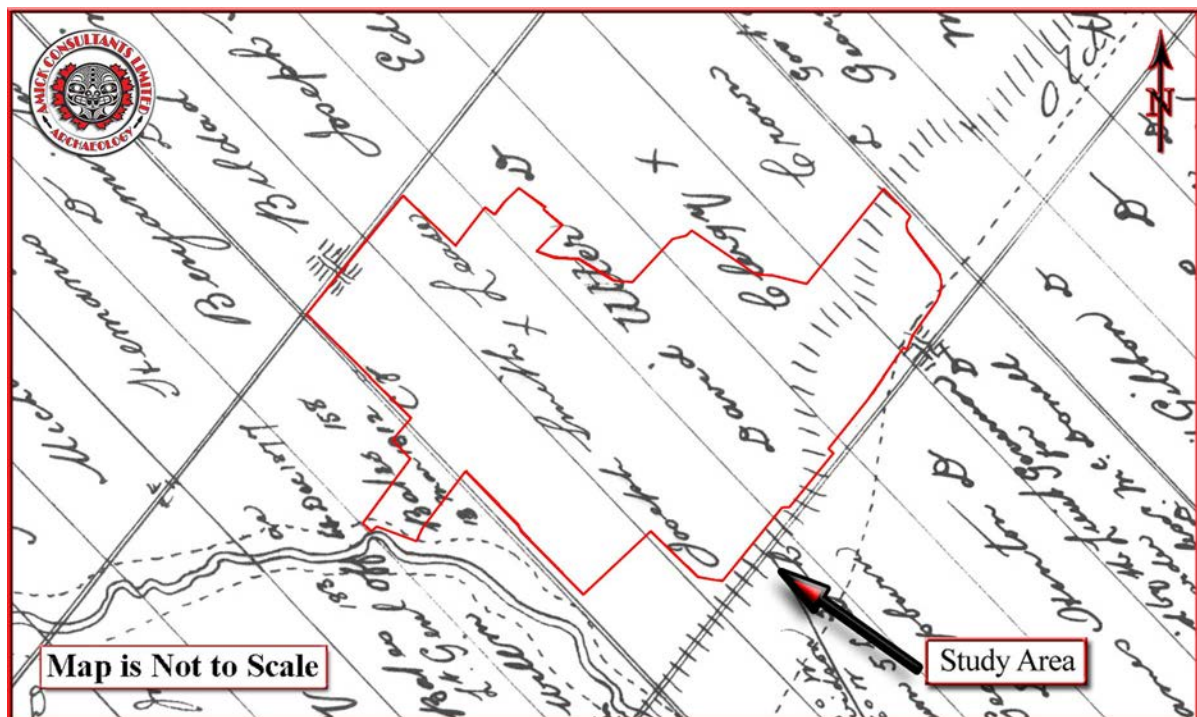


Figure 2 Segment of Samuel Wilmot's 1806 Township Survey (Wilmot 1806)

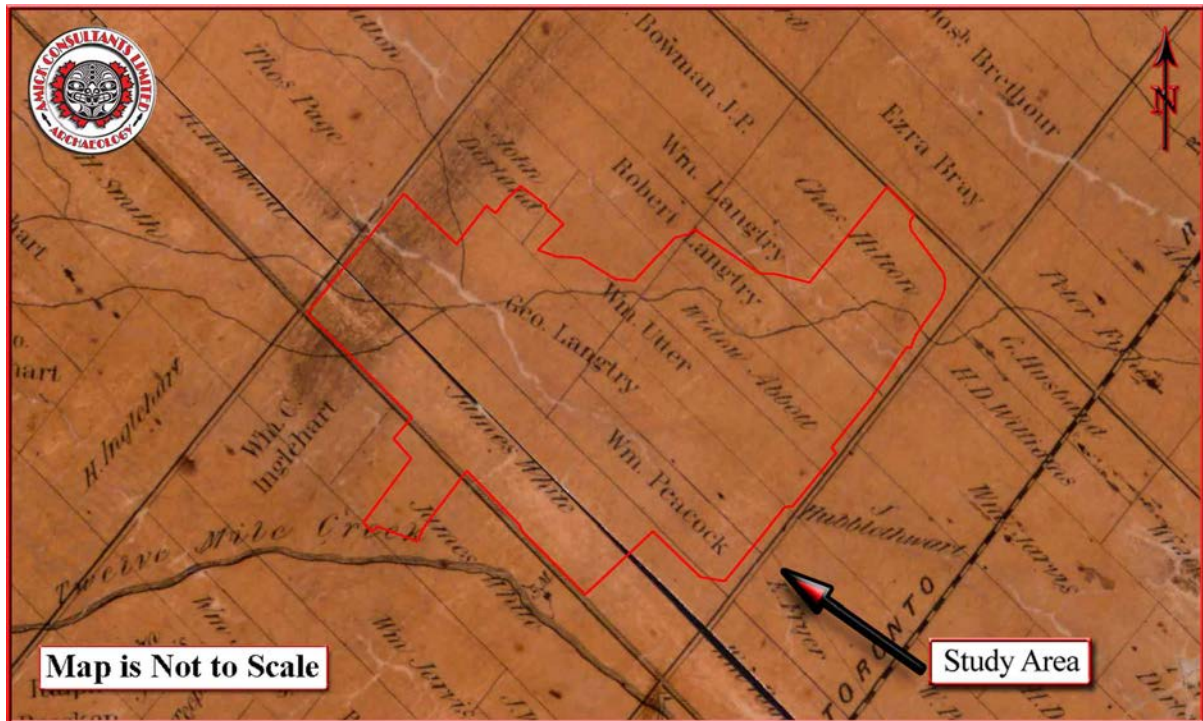


FIGURE 3 SEGMENT OF TREMAINE'S MAP FOR THE COUNTY OF HALTON (1858)
(George Tremain 1858)

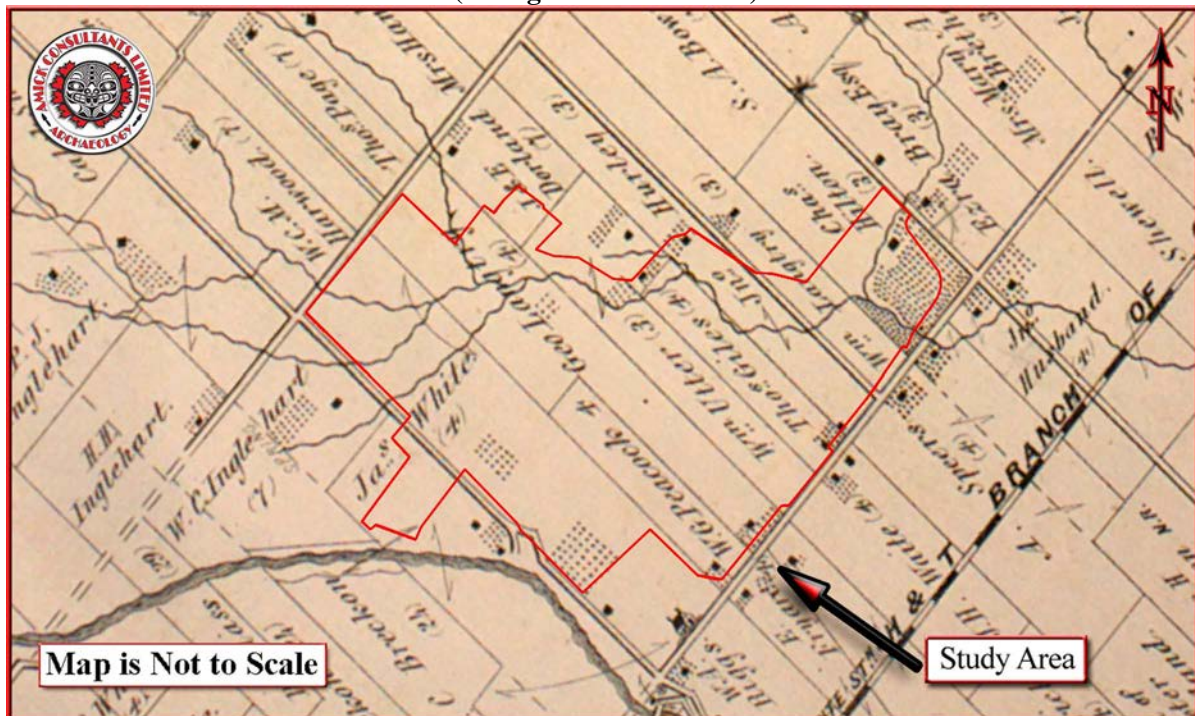


FIGURE 4 SEGMENT OF HISTORIC ATLAS MAP FOR THE TOWNSHIP OF TRAFALGAR (1877)
(Walker & Miles 1877)

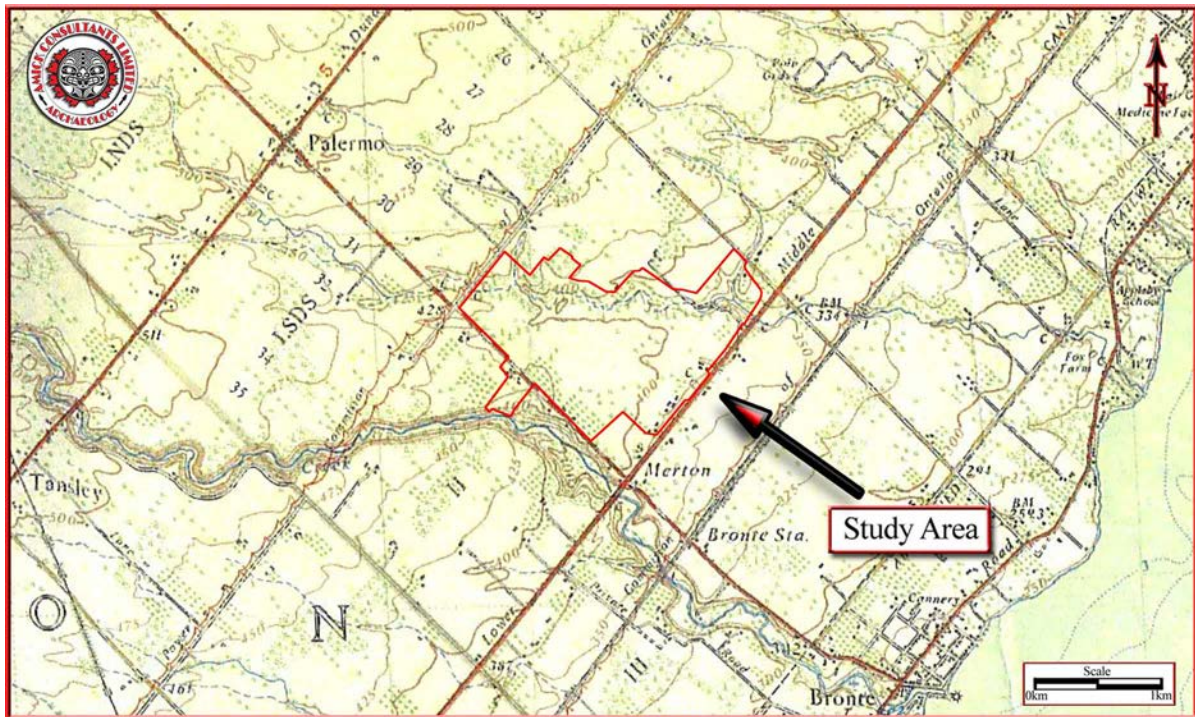


FIGURE 5 OAKVILLE SHEET OF THE 1935 NATIONAL TOPOGRAPHIC SERVICE MAP (Ordnance Board of Canada 1935)

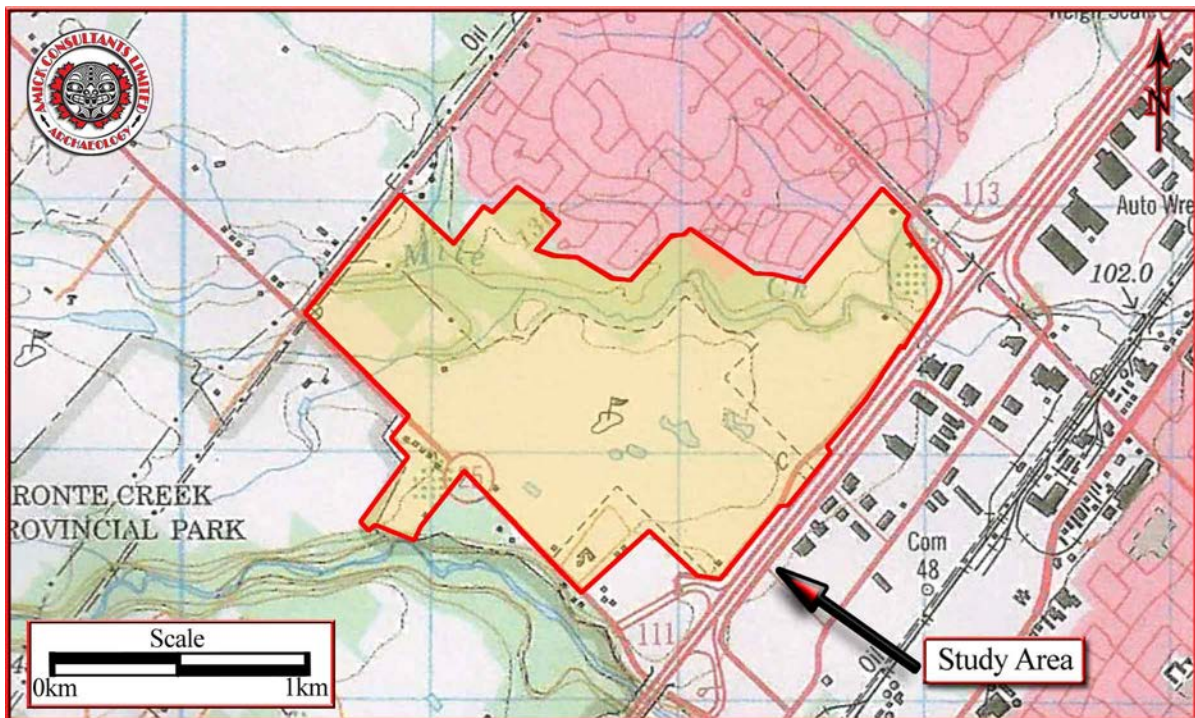


FIGURE 6 RECENT NATIONAL TOPOGRAPHIC SERVICE MAP (NTS 1988)

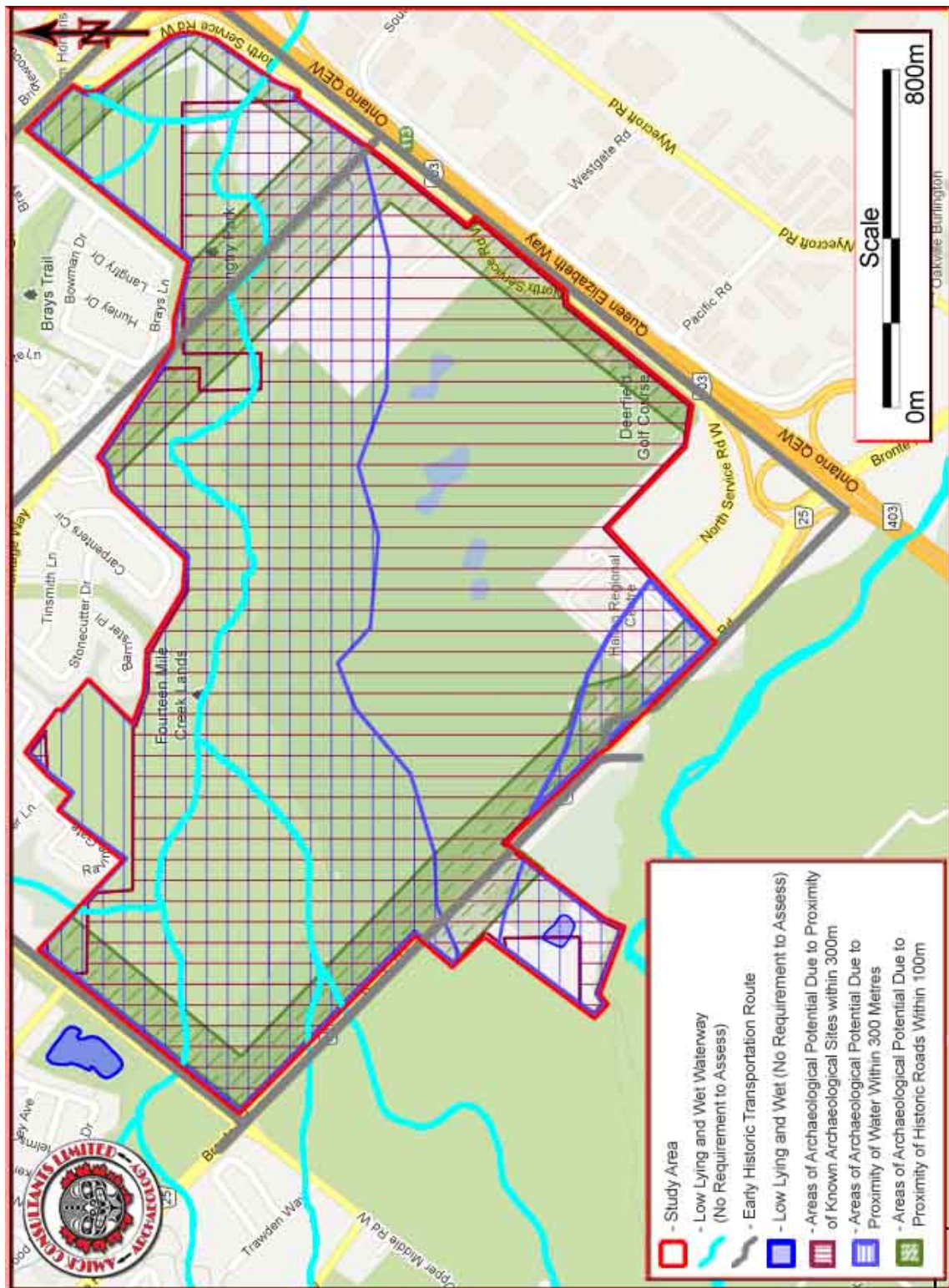


Figure 7 Archaeological Potential Plan of the Study Area (DSEL 2012)

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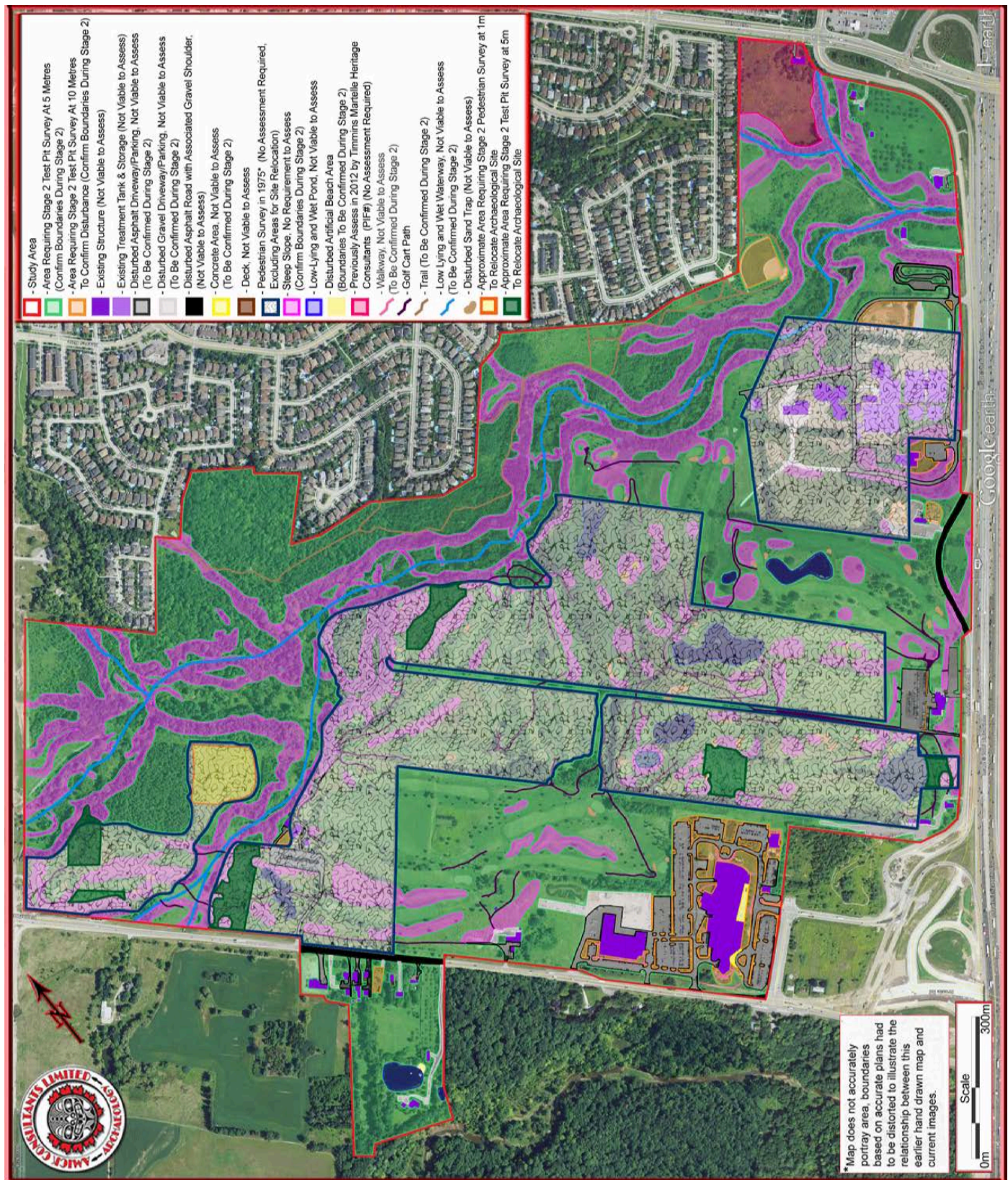
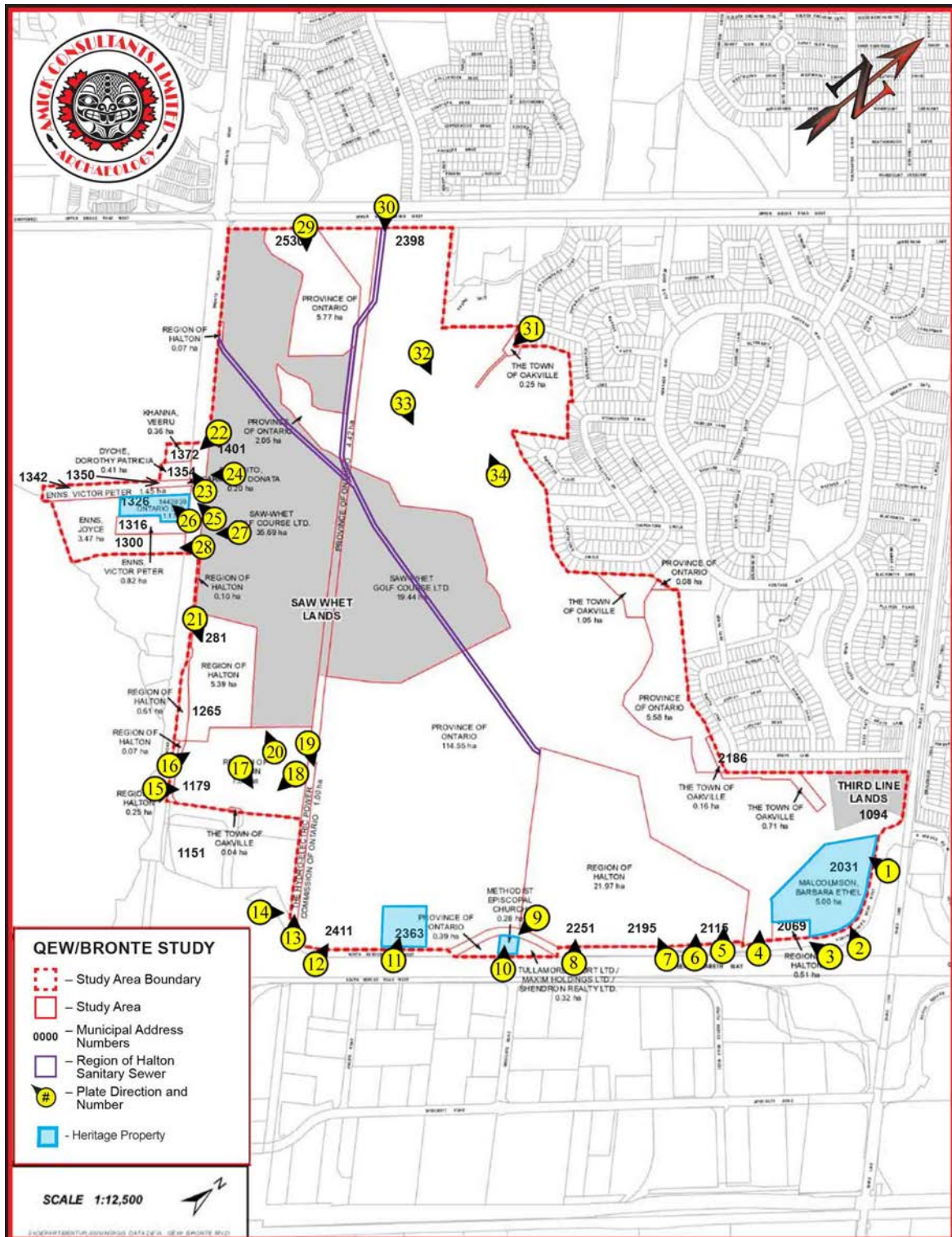


Figure 8 Archaeological Proposed Stage 2 of the Study Area

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12.0 Images



PLATE 1 2031 NORTH SERVICE ROAD WEST –
ONTARIO HERITAGE ACT DESIGNATED HILTON HOUSE
(CA. 1858)



PLATE 2 2031 NORTH SERVICE ROAD WEST – OLD
ORCHARD



PLATE 3 2069 NORTH SERVICE ROAD WEST -
REGION OF HALTON FACILITY



PLATE 4 FOURTEEN MILE CREEK CROSSING AT NORTH
SERVICE ROAD WEST



PLATE 5 2089 NORTH SERVICE ROAD WEST –
PRIVATE HOME



PLATE 6 2115 NORTH SERVICE ROAD – REGION OF
HALTON FACILITY

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PLATE 7 2195 NORTH SERVICE ROAD – REGION OF HALTON FACILITY



PLATE 8 2251 NORTH SERVICE ROAD – COMMERCIAL RECREATION FACILITY



PLATE 9 2363 NORTH SERVICE ROAD – TOWN OF OAKVILLE MERTON CEMETERY



PLATE 10 2363 NORTH SERVICE ROAD – MOUNT PLEASANT CHURCH CORNERSTONE IN THE MERTON CEMETERY



PLATE 11 2363 NORTH SERVICE ROAD – HERITAGE REGISTER LISTED GEORGE LANGTREE HOUSE (CA. 1850)



PLATE 12 2411 NORTH SERVICE ROAD – POTENTIAL HERITAGE STRUCTURE (NOT LISTED OR DESIGNATED)

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PLATE 13 2411 NORTH SERVICE ROAD – HYDRO CORRIDOR ON THE WEST EDGE OF THE PROPERTY



PLATE 14 2411 NORTH SERVICE ROAD – EQUIPMENT SHED TO THE NORTHWEST OF THE HOUSE



PLATE 15 1179 BRONTE ROAD – REGION OF HALTON FACILITY PARKING LOT



PLATE 16 1179 BRONTE ROAD – REGION OF HALTON FACILITY (SOUTH FAÇADE)



PLATE 17 1179 BRONTE ROAD – REGION OF HALTON FACILITY OPTIMIST CLUB BUILDING



PLATE 18 1179 BRONTE ROAD – REGION OF HALTON FACILITY SAFETY VILLAGE

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PLATE 19 1179 BRONTE ROAD – REGION OF HALTON FACILITY DAYCARE BUILDING



PLATE 20 1179 BRONTE ROAD – REGION OF HALTON FACILITY (EAST FAÇADE)



PLATE 21 1265 BRONTE ROAD – REGION OF HALTON FACILITY



PLATE 22 1372 BRONTE ROAD – PRIVATE HOME



PLATE 23 1354 BRONTE ROAD – COMMERCIAL ANIMAL CARE FACILITY



PLATE 24 1350 BRONTE ROAD – PRIVATE HOME

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PLATE 25 1342 BRONTE ROAD – PRIVATE HOME



PLATE 26 1326 BRONTE ROAD – PRIVATE HOME



PLATE 27 1316 BRONTE ROAD – PRIVATE HOME



PLATE 28 1300 BRONTE ROAD – PRIVATE HOME



PLATE 29 FOURTEEN MILE CREEK CROSSING AT UPPER MIDDLE ROAD



PLATE 30 HYDRO CORRIDOR AT UPPER MIDDLE ROAD

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PLATE 31 TOWN OF OAKVILLE FOURTEEN MILE CREEK TRAIL PARK ENTRANCE FROM RAVINE GATE



PLATE 32 FOURTEEN MILE CREEK TRAIL PARK – VALLEY LANDS



PLATE 33 FOURTEEN MILE CREEK TRAIL PARK – VALLEY LANDS



PLATE 34 FOURTEEN MILE CREEK TRAIL PARK – TABLE LAND