

Consultants

Structural / Mechanical / Electrical:
 Morrison Hershfield
 Civil:
 S. Llewellyn & Associates
 Landscape:
 Vertechs Design

Project Name:

**21-020 Halton WWTP
 Maint Facility**

Location:

**2195 North Service Rd
 W, Oakville, ON**

Number:

21-020

Sheet Title:

SITE PLAN & STATISTICS

Scale: As indicated

Drawn: SAI ARCHITECTS

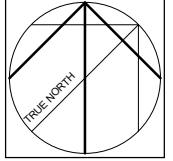
Checked: Checker

Date: 08/12/2022

Issued For:

No.	Description	Date
1	ISSUED FOR SITE PLAN APPROVAL	08/12/2022
2	ISSUED FOR SPA RESUBMISSION	03/17/2023
3	ISSUED FOR 60% COSTING	05/08/2023
4	ISSUED FOR SPA RESUBMISSION	10/07/2023

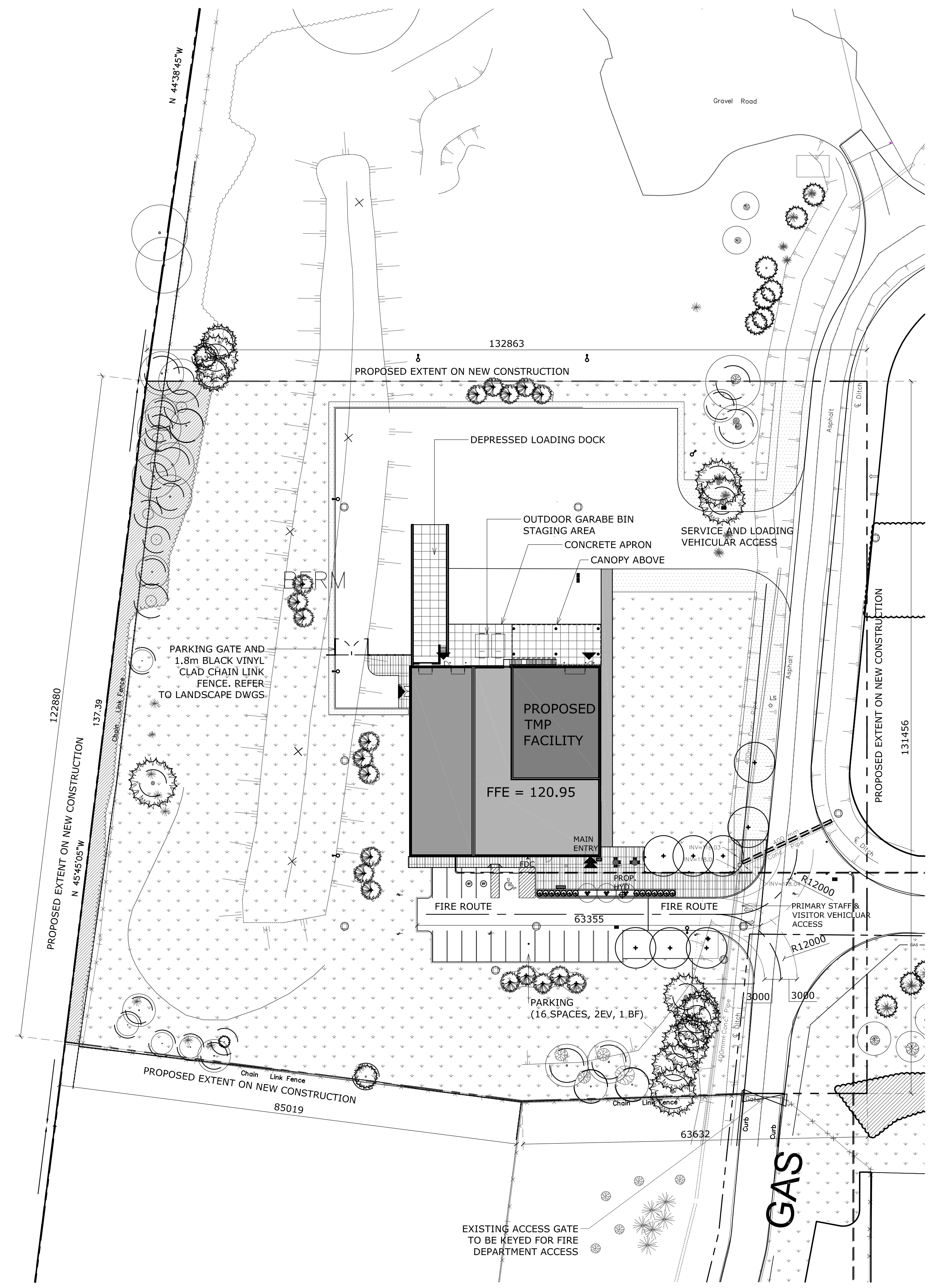
Text in *italics* refer to existing information provided by Client to be confirmed by contractor.

 **A-1001**
 Construction North Drawing Number

 **Strasman Architects Inc.**
 1941 Gerrard Street East
 Toronto, Ontario, M4L 2C2
 Tel: 416 588 1800
 Fax: 416 588 1009
 Email: info@strasmanarch.com
 www.strasmanarch.com

This drawing shall be used only for the purpose indicated below:
 Preliminary Tender
 Permit Construction

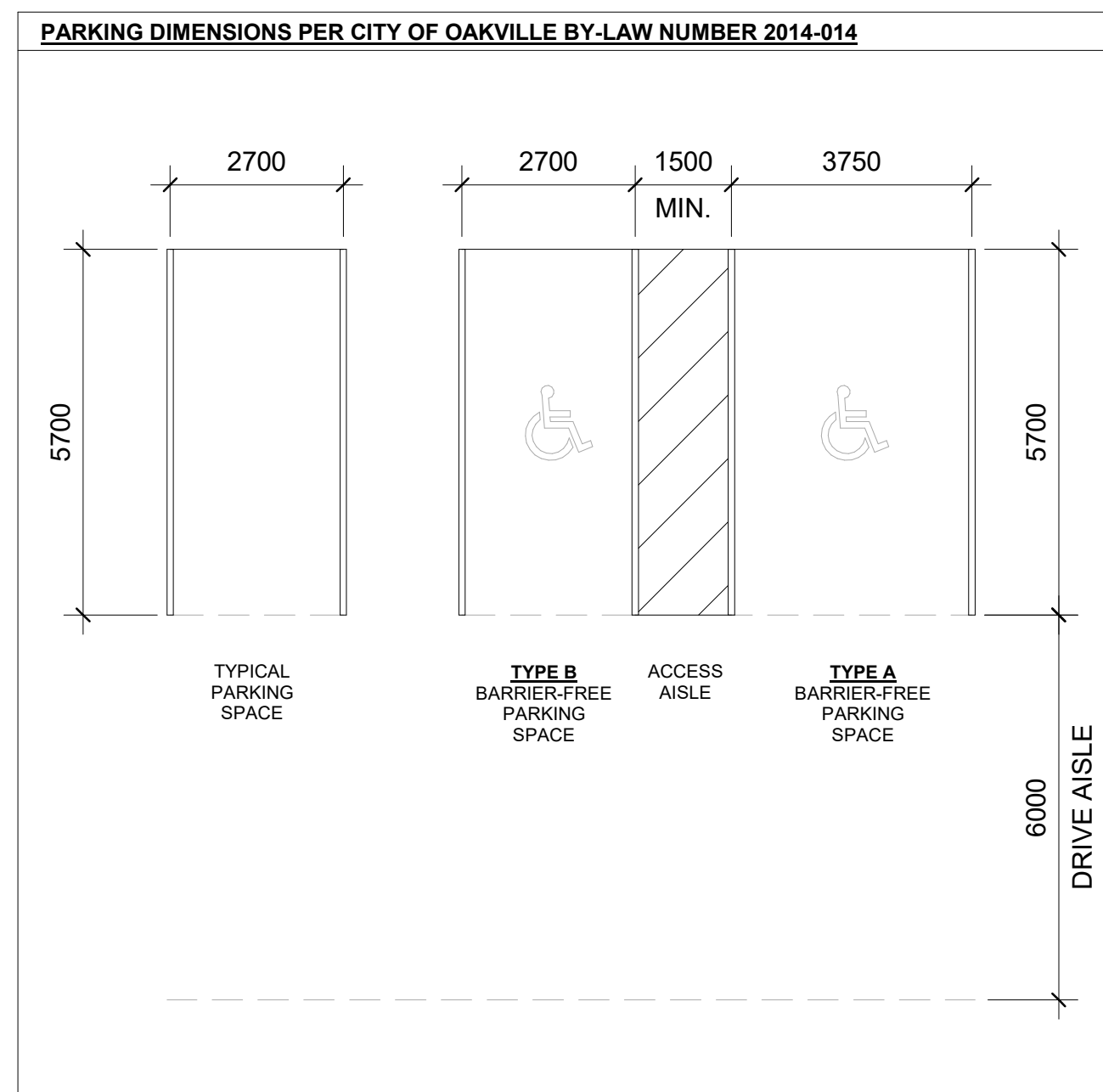
 **ONTARIO ASSOCIATION OF ARCHITECTS**
 RICHARD JERRY SHAW
 6161



ZONING			
BASED ON TOWN OF OAKVILLE BY-LAW NUMBER 2014-014			
PROVISION	REQUIREMENT	PROPOSED	COMPLIANCE
ZONE: PB1 RCP DESIGNATION: URBAN AREA			
PERMITTED USES:	AGRICULTURE CONSERVATION USE MARINA PARK, PUBLIC STORMWATER MANAGEMENT FACILITY	WASTE WATER TREATMENT PLANT MAINTENANCE FACILITY	YES
MIN. LOT AREA	0.8ha	21.29ha	YES
MAX. LOT COVERAGE	25%	15,263.5m ² (EXISTING) + 1,255m ² (PROPOSED) = 16,518.5 (7.75%)	YES
MINIMUM LOT FRONTAGE	25%	N/A	N/A
MIN. FRONT YARD	15.0m	N/A	N/A
MIN. FLANKAGE YARD	15.0m	38.7m	YES
MIN. INTERIOR SIDE YARD	15.0m	31.35m	YES
MIN. REAR YARD	15.0m	N/A	N/A
MAX. HEIGHT	12.0m	11.7m	YES


SITE STATISTICS			
BASED ON TOWN OF OAKVILLE BY-LAW NUMBER 2014-014 LIVABLE BY DESIGN SITE DESIGN MANUAL (SDDSO) 2017			
PROVISION	REQUIREMENT	PROPOSED	COMPLIANCE
PROPOSED AREA OF NEW CONSTRUCTION (DEVELOPMENT AREA)		16,215m ²	
ESTABLISHED GRADE		120.50m	
GROSS FLOOR AREA		1,255m ²	
GROUND FLOOR AREA		1,255m ²	
MEZZANINE AREA		N/A	
BUILDING COVERAGE		1,255m ²	
PAVED AREA (VEHICULAR)		N/A	
TOTAL INTERIOR LANDSCAPE AREA	15% OF VEHICULAR USE AREA: 387.5m ²		
LANDSCAPED AREA (HARD): INCLUDES GRAVEL VEHICULAR AREAS		4237m ²	
LANDSCAPED AREA (SOFT)			
TREE CANOPY COVERAGE	15% FOR SWM FACILITY	N/A	YES
SNOW STORAGE	15% OF ALL HARD SURFACES ON SITE:	635.55m ²	YES, OFFSITE STORAGE
STOREYS ABOVE GRADE		1	YES

PARKING			
BASED ON TOWN OF OAKVILLE BY-LAW NUMBER 2014-014			
PROVISION	REQUIREMENT	PROPOSED	COMPLIANCE
PROPOSED NUMBER OF TYPICAL PARKING SPACES	REPAIR SHOP: 1.0 PER 100.0m ² NET FLOOR AREA PARKING REQUIRED: 18	18	YES
PROPOSED NUMBER OF BARRIER-FREE PARKING SPACES	3 TO 25 SPACES: 1 REQUIRED	2	YES
PROPOSED NUMBER OF LOADING SPACES	LOADING SPACE NOT REQUIRED	2	YES



GENERAL NOTES:

1. FIRE ROUTE SIGNAGE TO CONFORM TO SCHEDULE "B" TO BY-LAW 1981-66



The diagram shows a 'FIRE ROUTE' sign with a red circle and slash over a 'P' symbol. The sign includes the text 'TOWN OF OAKVILLE BY-LAW N° 1981-66' and arrows pointing in both directions. Dimensions for the sign are provided.

GENERAL NOTES:

1. THE SITE PLAN DRAWING IS IN CONFORMANCE WITH THE CITY-WIDE SITE DESIGN MANUAL.
 2. SITE INFORMATION IS BASED ON SURVEY PROVIDED
 3. SITE PLAN AND BUILDING ELEVATIONS CONFORM WITH CITY-WIDE URBAN DESIGN GUIDELINES

SITE PLAN LEGEND

- ▼ EXTERIOR PEDESTRIAN ENTRANCE
- ▽ OVERHEAD DOOR LOCATION (ENTRY/EXIT DOORS)
- LS LIGHT STANDARD; REFER TO ELEC. DWGS. FOR NEW & EXISTING
- SIGNAGE; REFER TO ONTARIO TRAFFIC MANUAL (OTM) FOR TYPE OF PEDESTRIAN SIGNS
- FR FIRE ROUTE SIGNAGE, IN ACCORDANCE WITH CHAPTER 1090
- CHAINLINK FENCE
- SNOW STORAGE
- ▨ PAINTED LINES