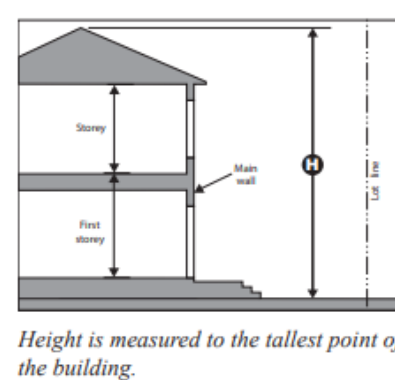


Ontario Building Code Data Matrix Part 9 Housing and Small Buildings				Building Code Reference 1
9.00	Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 89/23		
9.01	Project Type:	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation		[A] 1.1.2.4.
9.02	Major Occupancy Classification:	Description: _____ Use: _____ C RESIDENTIAL		9.10.2.
9.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Description: _____		9.10.2.3.
9.04	Building Area (m <sup>2</sup> ):	Description: _____ Existing _____ New _____ Total _____ BUILDING TYPE A _____ 115 m <sup>2</sup> 575 m <sup>2</sup> BUILDING TYPE B _____ 112 m <sup>2</sup> 224 m <sup>2</sup> _____ _____ Total _____ 277 m <sup>2</sup> 799 m <sup>2</sup>		[A] 1.4.1.2.
9.05	Gross Area (m <sup>2</sup> ):	Description: _____ Existing _____ New _____ Total _____ BUILDING TYPE A _____ 115 m <sup>2</sup> 575 m <sup>2</sup> BUILDING TYPE B _____ 112 m <sup>2</sup> 224 m <sup>2</sup> _____ _____ Total _____ 277 m <sup>2</sup> 799 m <sup>2</sup>		[A] 1.4.1.2.
9.06	Mezzanine Area (m <sup>2</sup> ):	Description: _____ Existing _____ New _____ Total _____		9.10.4.1.
9.07	Building Height:	1 Storeys above grade 6.73 m (m) Above grade N/A Storeys below grade		[A] 1.4.1.2. & 9.10.4.
9.08	Number of Streets/Firefighter access:	1 street(s)		9.10.20.
9.09	Sprinkler System:	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Provided: <input type="checkbox"/> building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none		9.10.8.2.-4. and 3.2.4.8.(4)
9.10	Fire Alarm System:	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input checked="" type="checkbox"/> None		9.10.18.
9.11	Water Service/Supply is Adequate:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		9.31.3.
9.12	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Encapsulated mass timber Actual: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination of combustible and non-combustible <input type="checkbox"/> Encapsulated mass timber <input type="checkbox"/> Combination of encapsulated mass timber and non-combustible Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		9.10.6, 3.1.5., and 3.1.4.7.
9.13	Post-disaster Building:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		[A] 1.1.2.2.(2) and Part 4
9.14	Occupant Load:	Floor Level/Area _____ Occupancy Type _____ Based On _____ Occupant Load (Persons) _____ Posted Limit Required _____ BLDG TYPE A UNIT 1 C DESIGN 2 0 BLDG TYPE A UNIT 2 C DESIGN 2 0 BLDG TYPE B UNIT 1 C DESIGN 2 0 BLDG TYPE B UNIT 2 C DESIGN 2 0 Total: N/A		9.9.1.3. Table 3.1.17.1.
9.15	Barrier-free Design:	<input checked="" type="checkbox"/> Yes Explanation ALL UNITS DESIGNED AS BARRIER FREE <input type="checkbox"/> No		9.5.2. & 3.8
9.16	Hazardous Substances:	<input type="checkbox"/> Yes Explanation _____ <input checked="" type="checkbox"/> No		9.10.1.3.
9.17	Required Fire Resistance Ratings:	Horizontal Assembly _____ Fire Resistance Rating (H) _____ Supporting Assembly(H) _____ Noncombustible in lieu of rating? _____ Floors over basement _____ <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Floors _____ <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Mezzanine _____ <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Roof _____ <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A		9.10.8. and 9.10.11.

	Detached dwellings	Semi-detached dwellings
Minimum lot area	557.5 m <sup>2</sup>	743.0 m <sup>2</sup>
Minimum lot frontage	18.5 m	21.0 m
Minimum front yard (2015-018)	A 7.5 m (-0)	7.5 m
Minimum flankage yard	B 3.5 m	3.5 m
Minimum interior side yard	C 1.8 m and 1.2 m (1)	3.0 m (2)
Minimum rear yard	D 7.5 m (3)	7.5 m
Maximum number of storeys	H n/a (-0)	n/a
Maximum height	I 12.0 m (-0)	12.0 m
Maximum Residential Floor Area Ratio (2023-02)	n/a (-0)	n/a
Maximum lot coverage for the dwelling	35% (-0)	35%

Additional Regulations for Zone Regulations Table 6.3.2

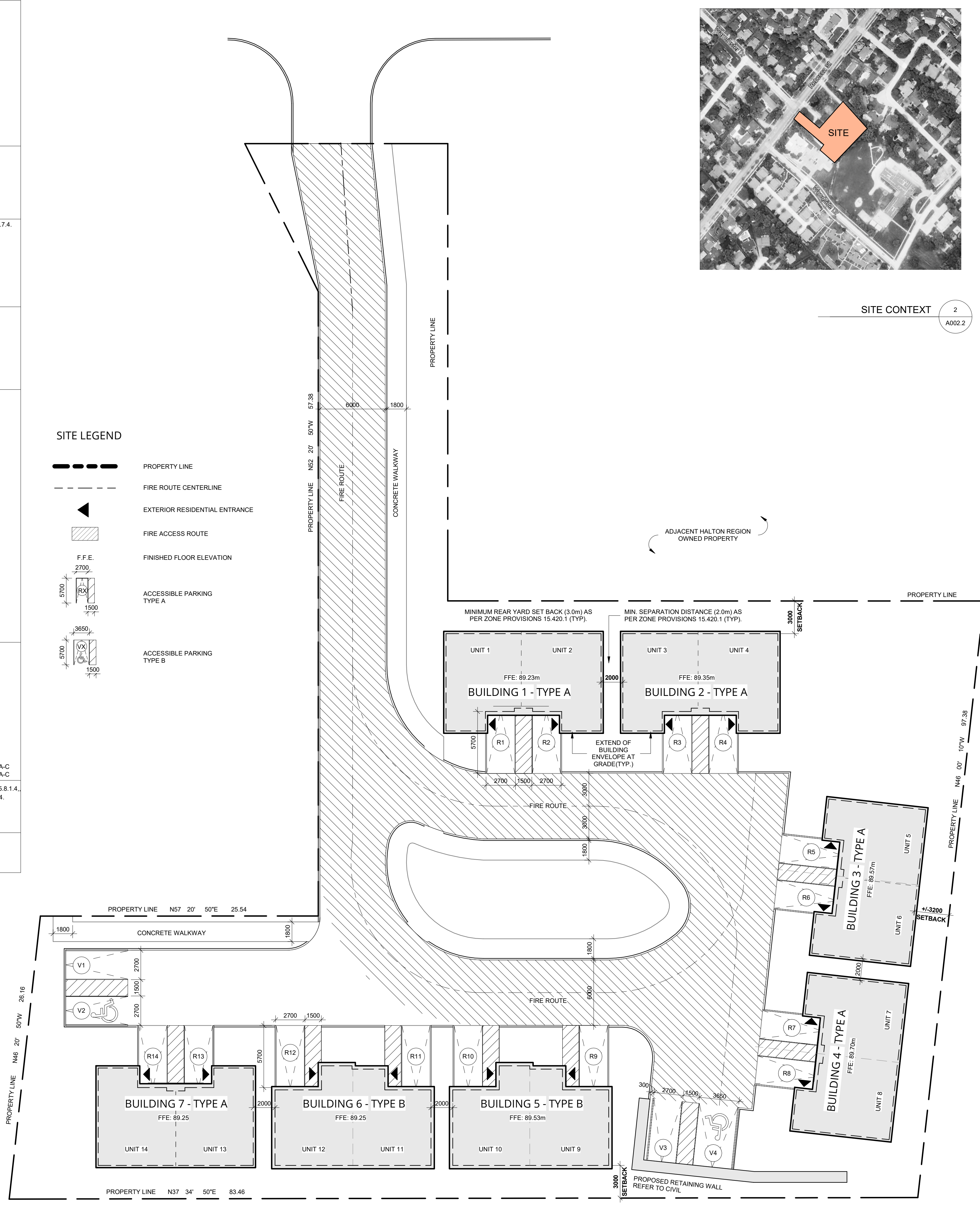
- Where lands are shown on the Part 19 Maps of this By-law to be in the -0 Suffix Zone, the regulations of Section 6.4 shall apply.
- The minimum interior side yard shall be reduced to 1.2 metres on both sides where an attached private garage meeting the minimum dimension requirements of Section 5.2.3(b) of this By-law is provided.
- The minimum interior side yard shall be reduced to 1.8 metres where an attached private garage meeting the minimum dimension requirements of Section 5.2.3(b) of this By-law is provided.
- The minimum rear yard shall be reduced to 3.5 metres on a corner lot where an interior side yard of 3.0 metres is provided.



9.18a	Spatial Separation	Wall	EBF Area (m <sup>2</sup> )	L.D (m)	LH or HL	Required FRR (H)	% Unprotected Openings Permitted	% Unprotected Openings Provided	9.10.14., 9.10.15.	
		A - FRONT	35.0 m <sup>2</sup>	6.7 m	-	-	69 %	06 %		
		A - RIGHT	39.7 m <sup>2</sup>	2 m	-	-	11 %	00 %		
		A - REAR	23.7 m <sup>2</sup>	3 m	-	-	26 %	24 %		
		A - LEFT	39.7 m <sup>2</sup>	2 m	-	-	11 %	00 %		
		B - FRONT	28.6 m <sup>2</sup>	6.4 m	-	-	88 %	07 %		
		B - RIGHT	34.7 m <sup>2</sup>	2 m	-	-	11 %	00 %		
		B - REAR	23.7 m <sup>2</sup>	3 m	-	-	26 %	24 %		
		B - LEFT	34.7 m <sup>2</sup>	2 m	-	-	11 %	00 %		
*EBF Area calculated per unit										
9.18b	Spatial Separation Continued	Wall (repeated)	Construction Type	Cladding Type	9.10.14., 9.10.15.					
				<input type="checkbox"/> Noncombustible						
				<input type="checkbox"/> Noncombustible						
				<input type="checkbox"/> Noncombustible						
				<input type="checkbox"/> Noncombustible						
9.19a	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50 Except as noted otherwise	Floor Level/Area	Occupant Load	OBC Sentence	WCs Required	WCs Provided	9.31. & 3.7.4.		
			BDLG TYPE A UNIT @ 57.5m <sup>2</sup>	2	-	1	-			
			BDLG TYPE B UNIT @ 56.0m <sup>2</sup>	2	-	1	-			
9.19b		Floor Level/Area (repeated)	Barrier-free WCs Required	Barrier-free WCs Provided	Universal Washrooms Required	Universal Washrooms Provided	9.10.14., 9.10.15.			
		BDLG TYPE A UNIT @ 57.5m <sup>2</sup>	-	1	N/A	-				
		BDLG TYPE B UNIT @ 56.0m <sup>2</sup>	-	1	N/A	-				
9.20	Energy Efficiency:	Category:	12.2.1.							
		Non-residential Compliance Option:	<input type="checkbox"/> SB-10 Prescriptive (Div.4) <input type="checkbox"/> SB-10 Performance (Div.2) <input type="checkbox"/> SB-10 Prescriptive (Div.2)							
		Residential Compliance Option:	<input checked="" type="checkbox"/> SB-12 Prescriptive Compliance Packages <input type="checkbox"/> SB-12 Performance Compliance <input type="checkbox"/> SB-12 Other: Energy Star for New Homes <input type="checkbox"/> EnerGuide for New Homes							
		Project Design Conditions:	Climatic Zone: ZONE 1 Fenestration: Gross Above Grade Wall or Roof Area (m <sup>2</sup> ) _____ Fenestration Ratio _____ Vertical (W+D) TYPE A 197.4 m <sup>2</sup> 15.54m <sup>2</sup> 07 % Vertical (W+D) TYPE B 174.0 m <sup>2</sup> 15.54m <sup>2</sup> 08 % Skylights _____ % Vertical (W+D) _____ % Skylights _____ %							
		Space Heating Fuel:	<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Oil <input type="checkbox"/> Electricity <input type="checkbox"/> Propane <input type="checkbox"/> Solid fuel <input type="checkbox"/> Earth energy Heating Equipment Efficiency: <input checked="" type="checkbox"/> ≥92% AFUE <input type="checkbox"/> ≥84% - <92% AFUE Other Conditions: <input type="checkbox"/> ICF Basement <input type="checkbox"/> ICF Above Grade <input type="checkbox"/> Walk-out Basement <input type="checkbox"/> Slab-on-Ground <input type="checkbox"/> Post & Beam <input type="checkbox"/> Blow-in Insulation Above Grade Wall <input type="checkbox"/> Spray-applied Foam Insulation Above Grade Wall <input type="checkbox"/> Drain Water Heat Recovery Unit Provided							
		Compliance Package:	SB-12 T3 1.1.2 A-C T3 1.1.3 A-C							
9.21	Sound Transmission Design:	Is there more than 1 dwelling unit in the building?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							
		Option Implemented:	_____							
		Notes:	_____							
9.22	Notes:	Is an alternative solution used?	<input type="checkbox"/> Yes <input type="checkbox"/> No							

SITE STATISTICS

ADDRESS: 1258 REBECCA STREE, OAKVILLE ONTARIO, CANADA  
 ZONING: RL7, AS PER BYLAW 2014-014, AS AMEND BY #2023-009, SECTION 15.420.1  
 LOT AREA: 4407.6m<sup>2</sup>  
 GROUND FLOOR AREA: TYPE A 115.0m<sup>2</sup> x 5 - 575.0m<sup>2</sup>, TYPE B 112.0m<sup>2</sup> x 2 - 224.0m<sup>2</sup>, TOTAL - 799.0m<sup>2</sup>  
 LOT FRONTAGE MINIMUM: 14m (PROVIDED)  
 REAR YARD MINIMUM: 3m (PROVIDED)  
 NUMBER OF DWELLINGS: 14 (PROVIDED)  
 BUILDING SPARATION: 2m (PROVIDED)  
 BUILDING HEIGHT: 12m MAXIMUM (6.73m PROPOSED)  
 UNCOVERED PLATFORM / BALCONY ENCROCHMENT: 0m (PROVIDED)  
 PARKING SPACES MINIMUM: 1 ACCESSIBLE PER SEMI-DETACHED DWELLING (PROVIDED) ADDITIONAL: 4 ACCESSIBLE VISITOR PARKING (PROVIDED)



OWNER: \_\_\_\_\_

TRUE NORTH CONSTRUCTION NORTH

KEY PLAN

No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	24-02-09

REVISIONS:

DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT / ENGINEER BEFORE PROCEEDING. ONLY FIGURED DIMENSIONS MUST BE USED. THE CONTRACTOR MUST CHECK THE DIMENSIONS ON SITE. THE DRAWING IS PROTECTED BY COPYRIGHT. ALL DIMENSIONS ARE SHOWN IN MILLIMETERS. DO NOT SCALE THE DRAWINGS.

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 TORONTO ON M5J 2M2  
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SEAL: ONTARIO ASSOCIATION OF ARCHITECTS WILLIAM J. NEAL LICENCE 7025

PROJECT: 1258 Rebecca St. Oakville, Ontario

DRAWING TITLE: **SITE PLAN**

DRAWN BY: NC DATE: 2024-01-30  
 CHECKED BY: AM SCALE: AS INDICATED

PROJECT NO: 23073  
 DRAWING NO: \_\_\_\_\_

**A100.S**