



2 Vicinity Plan  
N.T.S.



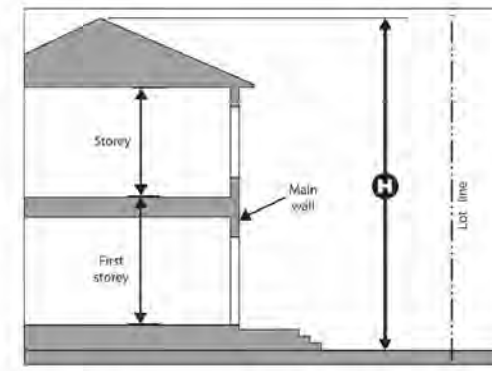
3 SITE MODEL VIEW  
N.T.S.

Table 6.3.2: Regulations in the Residential Low (RL7) Zone

	Detached dwellings	Semi-detached dwellings
Minimum lot area	557.5 m <sup>2</sup>	743.0 m <sup>2</sup>
Minimum lot frontage	18.5 m	21.0 m
Minimum front yard (2015-018)	A 7.5 m (-0)	7.5 m
Minimum flankage yard	B 3.5 m	3.5 m
Minimum interior side yard	C 1.8 m and 1.2 m (1)	3.0 m (2)
Minimum rear yard	D 7.5 m (3)	7.5 m
Maximum number of storeys	H n/a (-0)	n/a
Maximum height	H 12.0 m (-0)	12.0 m
Maximum Residential Floor Area Ratio (2023-024)	n/a (-0)	n/a
Maximum lot coverage for the dwelling	35% (-0)	35%

Additional Regulations for Zone Regulations Table 6.3.2

- 0. Where lands are shown on the Part 19 Maps of this By-law to be in the -0 Suffix Zone, the regulations of Section 6.4 shall apply.
- 1. The minimum interior side yard shall be reduced to 1.2 metres on both sides where an attached private garage meeting the minimum dimension requirements of Section 5.2.3(b) of this By-law is provided.
- 2. The minimum interior side yard shall be reduced to 1.8 metres where an attached private garage meeting the minimum dimension requirements of Section 5.2.3(b) of this By-law is provided.
- 3. The minimum rear yard shall be reduced to 3.5 metres on a corner lot where an interior side yard of 3.0 metres is provided.



Height is measured to the tallest point of the building.

SITE STATISTICS

ADDRESS:  
1258 REBECCA STREET, OAKVILLE

ZONING:  
RL7, AS PER BYLAW 2014-014, AS AMENDED BY #2023-009, SECTION 15.420.1

LOT AREA  
= 4407.6M<sup>2</sup>

GROUND FLOOR AREA  
= 118.9m2 X 7 = 832.3m<sup>2</sup>

LOT FRONTAGE, MIN  
= 14m, PROVIDED

REAR YARD, MIN  
= 3m, PROVIDED

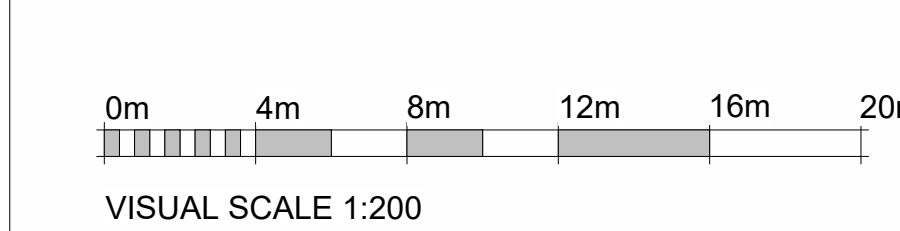
NUMBER OF DWELLING UNITS, MAX  
= 14, PROVIDED, SEMI-DETACHED

BUILDING SEPARATION, MIN  
= 2m, PROVIDED

HEIGHT, MAX  
= 12m, 5.1M PROPOSED

UNCOVERED PLATFORM/BALCONY ENCROACHMENT  
= 0m, PROVIDED

PARKING SPACES, MIN  
= 1/SEMI-DETACHED DWELLING UNIT, PROVIDED  
ADDITIONAL 4 VISITOR PARKING PROVIDED, 2 BEING ACCESSIBLE



NOTE:  
• REFER TO LANDSCAPE DRAWINGS FOR DETAILS OF MATERIALS AND PLANINGS.  
• REFER TO CIVIL DRAWINGS FOR DETAILS OF ROAD/CURB/SIDEWALKS.

1 SITE PLAN - PROPOSED  
1 : 200

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Drawn By: MZE  
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Proposed Site Development  
for HALTON REGION  
1258 Rebecca Street, Oakville, Ontario  
SITE PLAN