

**THE CORPORATION OF THE TOWN OF OAKVILLE**

**BY-LAW NUMBER 2023-XXX**

A by-law to amend the Town of Oakville Zoning By-law 2014-014, as amended, to permit the use of lands described as 106-114 Robinson Street and 71 Water Street (Lot A, 1 and 2, Part of Lots 3 & 4, and Block 51, Plan 1) (Parts of Lot 14, Concession 4 S.D.S.) (Roseville Properties Inc., File No: )

**COUNCIL ENACTS AS FOLLOWS:**

1. Map 19(8) of By-law 2014-014, as amended, is further amended by rezoning the lands as depicted in Schedule 'A' to this By-law from RM4 Zone to RM1 Zone.
2. Part 15, Special Provisions, of By-law 2014-014, as amended, is further amended by deleting Subsection 15.16.1 and replacing it with a new Subsection 15.16.1 as follows:

<b>16</b>	<b>106-114 Robinson Street and 71 Water Street</b>	Parent Zone: RM1
Map 19(8)	Part of Lot 14, Concession 4 S.D.S.	(2010-019) PL090432 PL100204 PL100214
<b>15.16.1 Zone Provisions</b>		
The following regulations apply:		
a)	Maximum number of dwelling units	10
b)	Minimum flankage yard (Navy Street)	2.4 m
c)	Minimum flankage yard (Water Street)	3.0 m
d)	Minimum front yard (Robinson Street)	1.2 m
e)	Minimum setback for below-grade and above-grade access driveway	0.0 m
f)	Maximum height shall be the average height measured from grade at the mid-point of the front face of the porch of each unit abutting Robinson Street or Navy Street	12.5 m
g)	Maximum allowable projections into any yard for balconies and handrails, sills, belt courses, roof features, and eaves	0.5 m
h)	Minimum allowable setback for covered platforms, porches, entry features, and access stairs to a front or flankage property line	0.0 m
i)	Minimum landscape coverage	10%
j)	Motor vehicle access from Robinson Street is not permitted. A maximum of one driveway from Water Street is permitted.	
k)	Yards are measured from the limit of the lands to which the Special Provision applies	
<b>15.16.2 Special Site Figures is rescinded</b>		
<b>15.6.3 Special Site Provisions is rescinded</b>		

3. This By-law comes into force in accordance with Section 34 and Section 36 of the Planning Act, R.S.O. 1990, c. P. 13, as amended.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

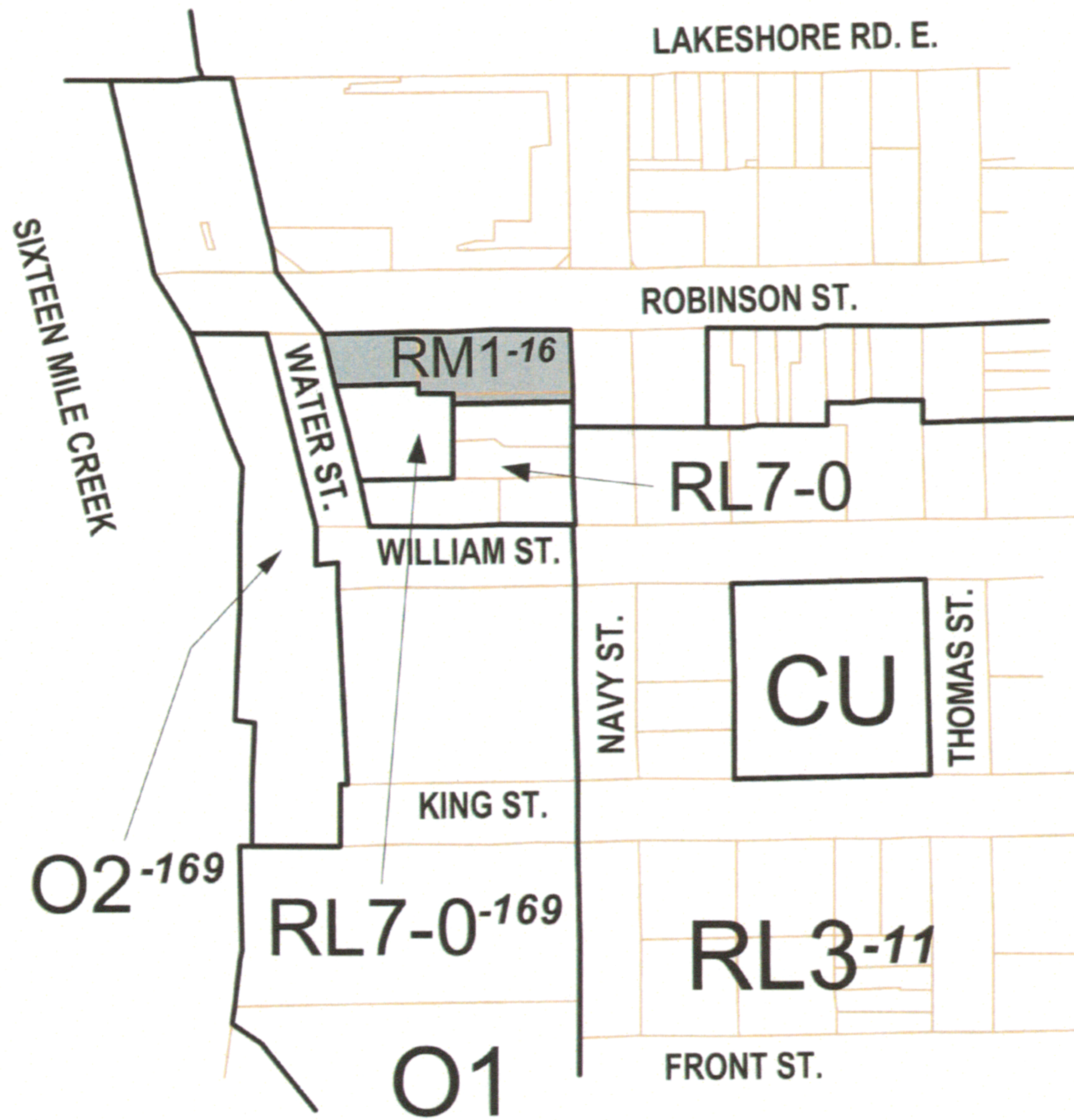
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MAYOR

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CLERK

SCHEDULE "A"  
To By-law 2023-xxx



AMENDMENT TO BY-LAW 2014-014

Re-zoned From: Residential Medium 4 (SP16)  
to Residential Medium 1 (SP16)

EXCERPT FROM MAP  
19(8)



SCALE: NTS