



Figure 4 – Conceptual Rear Elevation



Figure 5 – Conceptual Front Elevation to Robinson Street



Figure 6 – New homes will be designed to provide an upscale architectural character (including style, massing, height and setbacks) that is compatible with architecture within the vicinity



Figure7- Building Relationship to the Street

5.0 APPLICABLE POLICY

Livable by Design: Design Guidelines for Stable Residential Communities takes its direction from the Urban Design policies of the *Livable Oakville plan*. Sections 11.1.8 and 11.1.9 of the Livable Oakville deal with intensification and development within stable residential communities and state the following:

"Intensification within the stable residential communities shall be provided as follows:

- a) *Within stable residential communities, on lands designated Low Density Residential, the construction of a new dwelling on an existing vacant lot, land division, and/or the conversion of an existing building into one or more units, may be considered where it is compatible with the lot area and lot frontages of the surrounding neighbourhood and subject to the policies of section 11.1.9 and all other applicable policies of this Plan;*

11.1.9 Development within all stable residential communities shall be evaluated using the following criteria to maintain and protect the existing neighbourhood character:

- a) *The built form of development, including scale, height, massing, architectural character and materials, is to be compatible with the surrounding neighbourhood.*
- b) *Development should be compatible with the setbacks, orientation and separation distances within the surrounding neighbourhood.*
- c) *Where a development represents a transition between different land use designations or housing forms, a gradation in building height shall be used to achieve a transition in height from adjacent development.*
- e) *Roads and/or municipal infrastructure shall be adequate to provide water and wastewater service, waste management services and fire protection.*



3D PERSPECTIVE
VIEW FROM NAVY ST.



NORTH ELEVATION
VIEW FROM NAVY ST.

Figure 9 – Relationship between the proposed development and the existing semi-detached units to the south.