

DRAWING LEGEND

- PRINCIPLE ENTRANCE
- EXIT/EGRESS DOOR
- AT-GRADE OVERHEAD DOOR
- DOCK LEVEL OVERHEAD DOOR
- LANDSCAPED AREA
- CONCRETE SIDEWALK
- FLUSH CURB WITH TACTILE WARNING INDICATOR
- PAINTED PEDESTRIAN CROSSING
- POURED CONCRETE APRON
- HEAVY DUTY ASPHALT PAVING
- DESIGNATED LOADING SPACE
- SNOW STORAGE AREAS
- 1.2 m HIGH BLACK VINYL COATED CHAINLINK FENCE
- 2.43 m HIGH BLACK VINYL COATED CHAINLINK FENCE
- SIGNAGE
- RETAINING WALL
- TRAFFIC BY: DILLON CONSULTING
- STEEL GUARD / HANDRAIL
- SINGLE HOOP TANDEM BIKE RACK
- WALL PACK LIGHT
- PROPOSED YARD HYDRANT
- PARKING STALL 2.70 m x 5.70 m BARRIER-FREE STALL (TYPE A) - 3.65 m x 5.70 m
- PARKING STALL 2.70 m x 5.70 m BARRIER-FREE STALL (TYPE B) - 2.70 m x 5.70 m
- PARKING COUNT
- STEEL PIPE BOLLARD (SAFETY YELLOW)
- EV CHARGING POST / DESIGNATING PARKING
- 1.2 m HIGH BLACK VINYL COATED CHAINLINK FENCE (at east property line)

DRAWING NOTES

1. FIRE DEPARTMENT CONNECTION - REFER TO CIVIL
2. EXISTING STREET HYDRANT
3. NEW YARD HYDRANT - REFER TO CIVIL
4. POURED CONCRETE TOE WALL - REFER TO CIVIL
5. TANDEM BIKE RACK - 1.2m x 1.8m TYP.
- 6a. MECHANICAL ROOM
- 6b. ELECTRICAL ROOM
7. POURED CONCRETE RETAINING WALL - REFER TO CIVIL
8. POURED CONCRETE STAIRS - REFER ALSO TO CIVIL
9. STEEL TUBE GUARD (1.1m HIGH WITH VERTICAL PICKETS)
10. TRENCH DRAIN WITH GALVANIZED GRATE
11. FUTURE DEMISING WALL
12. EXTENTS OF SECOND FLOOR
13. OUTLINE OF ENTRANCE CANOPY OVER
14. RESERVED
15. STACKED WALL MOUNTED GAS METERS WITH CONCRETE FILLED BOLLARDS - REFER TO MECHANICAL
16. MAILBOX (AS PER CP GUIDELINES)
17. PAD MOUNTED TRANSFORMER - REFER TO ELECTRICAL
18. PRV STATION (1.5 m x 1.5 m CLEAR AREA)
- 19a. GROUND MOUNTED BUILDING SIGNAGE
- 19b. GROUND MOUNTED ADDRESS SIGNAGE
20. ARCHITECTURAL PRECAST SCREEN WALL (1100 mm HIGH)
21. ROOF TOP MECHANICAL UNITS - FITURE BY TENANT
22. LINE OF 10.0 M SETBACK FROM DRIPLINE OF WOODLOT ON ADJACENT PROPERTY (EAST)
23. POURED CONCRETE TOE WALL - REFER TO CIVIL

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
2. REFER TO DRAWINGS AND REPORTS PREPARED BY: SITE SERVICES AND GRADING BY: COUNTERPOINT ENGINEERING -TRAFFIC BY: DILLON CONSULTING -LANDSCAPING BY: INSITE LANDSCAPE ARCHITECTS ELECTRICAL SERVICES BY: EMBS CONSULTING ENGINEERS
3. ALL WASTE AND RECYCLING CONTAINERS SHALL BE STORED INTERNALLY AND COLLECTED UNDER PRIVATE CONTRACT.
4. WASTE AND RECYCLING CONTAINERS SHALL BE PROVIDED AT ALL BUILDING ENTRANCES.
5. SNOW STORAGE (refer to Site Plan for extent): 2741.13 m² REQUIRED (15% OF PARKING AREAS - 18,274.1875 m²)
6. FIRE ROUTES SHALL: 2749.37 m² PROVIDED (landscaped areas + 3 surplus standard parking spaces)
- 6.1. BE A MINIMUM OF 6.0M CLEAR WIDTH WITH A CENTERLINE TURNING RADIUS NO LESS THAN 12.0M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(a) AND (b).
- 6.2. HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(d).
- 6.3. BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(e).
7. PAVEMENT MARKINGS SHALL BE "WHITE" FOR VEHICULAR STALLS AND "YELLOW" FOR STRIPPED AREAS.
8. deleted
9. TRAFFIC CONTROL SIGNAGE & PAVEMENT MARKINGS SHALL MEET TOWN OF OAKVILLE STANDARDS.
10. ILLUMINATION SHALL BE DIRECTED DOWN AND AWAY FROM ADJACENT PROPERTIES. ALL LIGHTING DEVICES SHALL BE FULL CUT-OFF AND NIGHT SKY FRIENDLY, AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0) TO WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES.
11. SIGNAGE INDICATED SHALL BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMITY WITH THE SIGN BY-LAW. SIGNAGE IS UNDER A SEPARATE PERMIT THROUGH MUNICIPAL ENFORCEMENT SERVICES.
12. EXPOSED CONCRETE WALLS AND FOUNDATIONS SHALL BE FREE OF DEFECTS AND PROVIDED WITH A SMOOTH SANDBLAST FINISH.
13. BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.

PARKING CALCULATIONS (Buildings I, II and III)

MINIMUM NUMBER OF PARKING SPACES REQUIRED (Table 5.2.1 of By-Law 2014-01/September 8, 2020):

Industrial: 1 / 100 sm
 Note: Office areas will not exceed 25% of the total net area.
 Building I (total net area = 6744.2 sm)
 Industrial + Office = 674.2 sm / 100 sm = 6.74
 = 68 spaces
 Building II (total net area = 6448.1 sm)
 Industrial + Office = 644.8 sm / 100 sm = 6.45
 = 65 spaces
 Building III (total net area = 5997.7 sm)
 Industrial + Office = 599.8 sm / 100 sm = 5.99
 = 60 spaces

TOTAL SPACES REQUIRED = 193 spaces
 TOTAL SPACES PROVIDED = 271 spaces
 minimum dimensions of parking space: 2700 mm x 5700 mm

BARRIER-FREE PARKING REQUIREMENTS

MINIMUM barrier-free spaces required = 2 + 2% of total parking spaces (required) = 2 + (2% of 271 spaces) = 2 + 5.42 = 7.4 = 8 spaces

TOTAL BARRIER-FREE SPACES PROVIDED = 8 spaces
 Type A / 3650 x 5700 Barrier-free provided = 4 spaces
 Type B / 2700 x 5700 Barrier-free provided = 4 spaces

TOTAL SPACES PROVIDED: 263
 BARRIER FREE SPACES 8
 TOTAL 271

BICYCLE PARKING CALCULATIONS (Buildings I, II and III)

BICYCLE PARKING REQUIREMENTS (Table 5.4.1 of By-Law 2014-01/4)

EMPLOYMENT USE = 2 + 0.25 x 1000.00 sm net floor area
 minimum area for tandem space = 1.2 m x 1.8 m.

BUILDING I (total net area = 6754.9 sm)
 = 2 + (0.25 x 6754.9 sm / 1000 sm) = 2 + (1.69 x 3.69) = 4 spaces
 TOTAL BICYCLE SPACES REQUIRED = 4 spaces
 TOTAL BICYCLE SPACES PROVIDED = 4 spaces

BUILDING II (total net area = 6454.8 sm)
 = 2 + (0.25 x 6454.8 sm / 1000 sm) = 2 + (1.61 x 3.61) = 4 spaces
 TOTAL BICYCLE SPACES REQUIRED = 4 spaces
 TOTAL BICYCLE SPACES PROVIDED = 4 spaces

BUILDING III (total net area = 6004.1 sm)
 = 2 + (0.25 x 6004.1 sm / 1000 sm) = 2 + (1.50 x 3.50) = 4 spaces
 TOTAL BICYCLE SPACES REQUIRED = 4 spaces
 TOTAL BICYCLE SPACES PROVIDED = 4 spaces

SURVEY INFORMATION

PLAN OF SURVEY WITH TOPOGRAPHY OF PART OF LOT 34 CONCESSION 3 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON SPEIGHT, VAN NOSTRAND & GIBSON LIMITED ONTARIO LAND SURVEYORS 2020

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE TOWN OF OAKVILLE BENCHMARK O.B.M. #98.

BEARING NOTE
 BEARINGS SHOWN HEREON ARE UTM GRID AND ARE REFERRED TO THE NORTHERLY LIMIT OF SUPERIOR COURT AS SHOWN ON PLAN 208-11477, HAVING A BEARING OF N44°23'40"E.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON MARCH 17TH, 2020.

DATE: MARCH 18TH, 2020

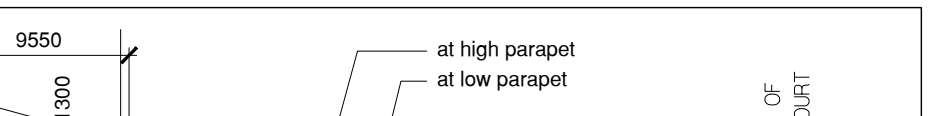
SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
 ONTARIO LAND SURVEYORS
 750 GARDNER ROAD, UNIT 65 & 66
 TORONTO, ONTARIO M6H 2Z4
 TEL: 416 749-5900/7864 FAX: 416 749-7866
 E-MAIL: toronto@svng.com

ASSOCIATION OF ONTARIO LAND SURVEYORS
 217522

DRAWN: F. P. B./M.J. FILE NAME: A200043.DWG
 CHECKED: D. A. W. PLOT SCALE: MET. 1:0=60
 JOB No.: 200-0543 PLOTTED: March 11, 2020
 REF. No.: 1 Cad 3 565 (single) UPDATED: 1

LEGEND

- SURVEY MONUMENT FOUND
- SURVEY MONUMENT PLANTED
- WITNESS MONUMENT
- SHORT STANDARD IRON BAR
- NORTH LINE
- CUT CROSS
- ORIGIN (NORTH, EAST, WEST)
- ORIGIN (NORTH)
- ORIGIN (EAST)
- ORIGIN (WEST)
- MARSH/MARSH/MANHOLE
- MANHOLE
- FIRE HYDRANT
- OVERHEAD WIRE
- SEWER MANHOLE
- WATER VALVE
- DECIDUOUS TREE
- CONIFEROUS TREE
- CONCRETE
- BRICK



REQUIRED WIDTHS OF LANDSCAPING
 EMPLOYMENT ZONE (E2) - TOWN OF OAKVILLE (Table 4.11.2 of By-Law 2014-01)

AT ANY ROAD (Superior Court)	REQUIRED	PROVIDED
ANY ROAD	3.0 m	VARIABLES - REFER TO DWGS
ANY SURFACE PARKING AREA ADJACENT TO:	3.0 m	REFER TO DWGS
ANY INTERIOR SIDE LOT LINE	3.0 m	REFER TO DWGS



2 context plan
 SCALE: n.i.s.

SITE STATISTICS

ZONING BY-LAW	EMPLOYMENT ZONE E2 - (BUSINESS EMPLOYMENT) No. 2014-14 (The Corporation of the Town of Oakville)
SITE AREA	4.05 hectares (10.0 acres) (40,468.482 s.m.)
MINIMUM LANDSCAPED AREA	REQUIRED: 10% OF SITE AREA PROVIDED: 10% = 4058.63/40468.48 = 10.03%
BUILDING CLASSIFICATION (Buildings I, II and III)	
CLASSIFIED UNDER ONTARIO REGULATION 332/12 OBC 3.2.2.69.B. GROUP F, DIVISION 2 UP TO 4 STOREYS, SPRINKLERED	
2 STOREY, MAXIMUM BUILDING AREA = 9000 S.M.	
Building I - Proposed Building Area = 5712.93 s.m. (2 storey)	
Building II - Proposed Building Area = 5476.01 s.m. (2 storey) and	
Building III - Proposed Building Area = 5318.32 s.m. (2 storey).	

EFFECTIVE RESTRICTIONS:

- (1) The building shall be of noncombustible construction, and,
 - (a) Floor assemblies shall be fire separations with a fire-resistance rating not less than 1 hour, and
 - (b) Mezzanines shall have a fire-resistance rating not less than 1 hour, and
 - (c) Loadbearing walls, columns and arches shall have a fire resistance rating not less than that required for the supported assembly.

BUILDING AREAS (Buildings I, II and III)

BUILDING I:	BUILDING AREA:	5712.93 sm
GROSS FLOOR AREA:	Industrial	4074.8 sm
Office	1637.6 sm	
SECOND FLOOR:	Industrial	1637.6 sm
TOTAL	7349.9 sm	
NET FLOOR AREA:	(DEDUCTIONS AS PER TOWN OF OAKVILLE ZONING BY-LAW 2014-14 DEFINITION - exterior walls, demising walls, utility rooms, stair wells and washrooms)	
GROUND FLOOR:	Industrial	4074.8 - 187.2 = 3887.6 sm
Office	1637.6 - 275.0 = 1362.6 sm	
SECOND FLOOR:	Industrial	1637.6 - 159.9 = 1477.7 sm
NET FLOOR AREA (Building I)		6727.9 sm

BUILDING II:

BUILDING AREA:	5476.01 sm	
GROSS FLOOR AREA:	Office	3902.0 sm
Industrial	1574.0 sm	
SECOND FLOOR:	Industrial	1574.0 sm
TOTAL	7050.0 sm	
NET FLOOR AREA:	(DEDUCTIONS AS PER TOWN OF OAKVILLE ZONING BY-LAW 2014-14 DEFINITION - exterior walls, demising walls, utility rooms, stair wells and washrooms)	
GROUND FLOOR:	Industrial	1574.0 - 185.9 = 3716.1 sm
Office	1574.0 - 273.7 = 1300.3 sm	
SECOND FLOOR:	Industrial	1574.0 - 158.6 = 1415.4 sm
NET FLOOR AREA (Building II)		6431.8 sm

BUILDING III:

BUILDING AREA:	5318.32 sm	
GROSS FLOOR AREA:	Ground Floor:	3975.8 sm
Office	1342.5 sm	
SECOND FLOOR:	Industrial	1342.5 sm
TOTAL	6660.8 sm	
NET FLOOR AREA:	(DEDUCTIONS AS PER TOWN OF OAKVILLE ZONING BY-LAW 2014-14 DEFINITION - exterior walls, demising walls, utility rooms, stair wells and washrooms)	
GROUND FLOOR:	Industrial	3975.8 - 190.8 = 3785.0 sm
Office	1342.5 - 302.2 = 1040.3 sm	
SECOND FLOOR:	Industrial	1342.5 - 181.8 = 1160.7 sm
NET FLOOR AREA (Building III)		5886.0 sm

EMPLOYMENT ZONE REGULATIONS + SETBACKS
 EMPLOYMENT ZONE (E2) - TOWN OF OAKVILLE (Table 10.3 of By-Law 2014-01)

	REQUIRED	PROVIDED
MINIMUM LOT AREA	0.2 ha	4.05 ha
MINIMUM LOT FRONTAGE	30 m	178.374 m
MINIMUM FRONT YARD (SUPERIOR COURT)	3.0 m	22.710 m
MINIMUM FRONT YARD	n/a	n/a
MINIMUM INTERIOR YARDS:		
EAST	3.0 m	11.67 m
WEST	3.0 m	14.61 m
MINIMUM INTERIOR YARD	n/a	n/a
MINIMUM REAR YARD	3.0 m	18.98 m
MINIMUM HEIGHT	n/a	n/a

TOWN OF OAKVILLE (Part 5.10 of By-Law 2014-01)

MINIMUM SETBACK (TO STRUCTURE)	1.8 M	REFER TO DWGS
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REQUIRED WIDTHS OF LANDSCAPING
 EMPLOYMENT ZONE (E2) - TOWN OF OAKVILLE (Table 4.11.2 of By-Law 2014-01)

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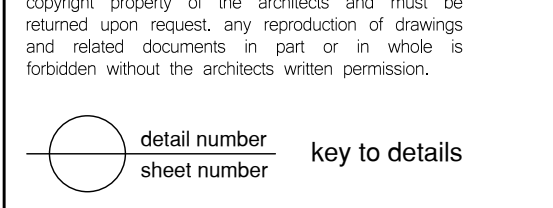


This drawing is not to be used for construction unless signed by the architect.

Contractors must verify all dimensions and be responsible for same, report any discrepancies to the architect before commencing the work.

Prints are not to be scaled.

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SITE PLAN APPROVAL FILE NUMBER:
 SP. 1634.004/01

ADDRESS SPA COMMENTS 17 NOV 22
 ADD 2 BARRIER FREE PARKING SPACES
 INCREASE EAST DRIVEWAY WIDTH TO 7.5 M

50% PERMIT REVIEW 12 OCT 22

ADDRESS SPA COMMENTS 23 AUG 22
 ADD FENCE AND LOADING SPACES
 ADD FENCE AND LOADING SPACES
 SHOW RT/L IN RIGHT LINE
 UPDATE GENERAL NOTE
 IDENTIFY SNOW STORAGE AREAS
 LOCATE SETBACK TO DRIVELINE
 ADD TOE WALL RAILING AT TRANSFORMERS
 EXTEND FIRE ACCESS ROUTE NORTH
 MAILBOXES, SIGNAGE + PRV STATION ADDED
 ADD SPA FILE NUMBER

ISSUED FOR SITE PLAN APPROVAL 15 DEC 21

SUPERIOR COURT DEVELOPMENT
 3 New Warehouse Buildings
 (Three Oaks Business Centre)
 3303 / 3313 / 3323 Superior Court
 Oakville, Ontario

SITE PLAN, NOTES and DETAILS

Project Number: 21008

Checked By: dmik
 Date: JUNE 2021
 Scale: 1:500

A1.0